



Plan Commission Meeting Agenda

May 4, 2026 - 6:00 PM
Council Chambers
3805 S. Casper Drive

Published: 04/27/2026

AGENDA

1. PUBLIC HEARING(S)

- A. (4) NJ CU-2600296 Nick Petit with Tierwiler Construction & Supply Co. on behalf of WisDot - 6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011 & 2182-999-013) (Johnson Sand & Gravel) - Conditional Use for a Temporary Mobile Concrete Batch Plant (PUBLIC HEARING 6:00 PM)
- B. Discussion and possible action to recommend to Common Council approval of (3) NJ RZ-2600594 John Spitz with Western Contractors Inc. - 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 - Rezone from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning. (Public Hearing 6:01 PM)

2. PRIVILEGE OF THE FLOOR

Each speaker will be limited to three (3) minutes. The Privilege of the Floor session shall not exceed a total of thirty (30) minutes.

3. CALL TO ORDER, PLEDGE OF ALLEGIANCE

4. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

5. APPROVAL OF MINUTES

- A. 02/02/2026 Meeting Minutes

6. PLAN COMMISSION SECRETARY'S REPORT

7. CONTINUED BUSINESS

8. NEW BUSINESS

- A. Discussion and possible recommendation to the Common Council to approve (4) KW LD-2600547 Allan Ryan Bassett - 19540 W. Highland Drive (Tax Key #: 1277.001.001) - 1-Lot Certified Survey Map.
- B. (4) NJ CU-2600296 Nick Petit with Tierwiler Construction & Supply Co. on behalf of WisDot - 6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011 & 2182-999-013) (Johnson Sand & Gravel) - Conditional Use for a Temporary Mobile Concrete Batch Plant (PUBLIC HEARING 6:00 PM)
- C. Discussion and possible recommendation to the Common Council to approve (3) NJ LD-2600333 Ken Kroeger with NBG LLC - 19470 W. Lincoln Avenue (Tax Key #: 1172.997.001 & 19400 W. Lincoln Avenue (Tax Key # 1172.997.002) - 1-Lot Certified Survey Map.

- D. (4) KW UA-2600340 Josh Obert with Walters Buildings on behalf of Workman Enterprise - 20203 W. Lawnsdale Road (Tax Key #: 1266.995) - Use, Site, and Architecture for a new 11,520 square foot agricultural building.
- E. (7) KH SP-2600056 John Jewell with JJED Holdings LLC - Five Fields at Historic Coffee Road - Concept Subdivision Review.
- F. (1) KH SG-2600480 La Macchia Group on behalf of Trustone Financial Credit Union - 12800 W. National Avenue - Monument Sign Waiver Requests
- G. Discussion and possible action to recommend to Common Council approval of (3) NJ RZ-2600594 John Spitz with Western Contractors Inc. - 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 - Rezone from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning. (Public Hearing 6:01 PM)
- H. (3) KH CU-2502137 Welcome East Side LLC – 17200 W. Cleveland Avenue – Conditional Use Permit to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition. (Public Hearing 12/8/25)

9. PENDING

10. COMMUNICATIONS

11. ADJOURN

Additional Information

- The agenda packet, including supplemental information related to agenda items, is available online at www.NewBerlinWI.gov. Once finalized by the governing body, approved meeting minutes will also be posted online.
- Agenda items may be taken out of order at the governing body's discretion.
- Members, and possibly a quorum, of other municipal governmental bodies may attend this meeting to gather information. However, no action will be taken by any governmental body other than the one referenced in this notice.
- Accommodations will be provided under the Americans with Disabilities Act (ADA) to meet the needs of individuals with disabilities. If you require assistance or appropriate aids and services, please contact the Office of the City Clerk at (262) 786-8610 with reasonable notice.

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: Nick Petit with Trierweiler Construction & Supply Co. Inc. on behalf of WisDOT / Temporary Mobile Concrete Batch Plant

LOCATION: 6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011 & 2182-999-013) (Johnson Sand & Gravel)

REQUEST: Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to set up a temporary mobile concrete batch plant, located at 6600-6666 S. Crowbar Road.

D.R.C. RECOMMENDATION: Public hearing and possible action to approve a Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to temporarily construct a mobile concrete batch plant, located at 6600-6666 S. Crowbar Road, subject to the application, plans on file and the following conditions of approval:

1. Planning:

- a. Plan of operation shall be consistent with submitted plans on file.
 - i. This batch plant is temporary and shall only be used to supply concrete material for the WisDOT I-43 Rock Freeway construction project. No other projects shall be supplied by this batch plant.
- b. Upon project completion, all mobile batch plant equipment shall be removed from the site.
- c. Typical hours of operation for road construction are 7am to 7pm Monday thru Friday and 8am to 5pm Saturday. Should the Plan Commission approve this permit, the batch plant hours of operation would be 6am to 8pm Monday through Saturday. The premises shall be closed on Sunday and Holidays.
 - i. Any expansion of the hours for this batch plant shall require Plan Commission review and approval, including night time hours.
- d. Applicant shall sign the Zoning Permit.
- e. All machinery and equipment will be operated in such a fashion so as to keep the site in a reasonably dust-free condition and to minimize smoke, air pollution, noise and vibration. Compression Brake usage shall be prohibited, unless required in an emergency.
- f. All permanent and temporary signs require a Sign Application to be filed prior to installation.
- g. Private water supply wells meeting the requirements of the Wisconsin Department of Natural Resources will also be required.
- h. The property, which is located outside of the current MMSD Sewer Service District, will require private on-site waste treatments sites (POWTS) that will meet Waukesha County requirements. Applicant shall coordinate with Waukesha County and WDNR for septic and well permits.
- i. Apply and obtain appropriate electrical permit for any electrical work to be done in conjunction with this batch plant operation.
- j. The State will provide information for the project representative to address concerns 24/7 during the course of the project.
- k. This permit shall expire on December 31, 2028. If the applicant needs additional time, they shall submit a written request for an extension.

2. Engineering:
 - a. All material shall be contained on site.
 - b. On days of heavy trucking, contact the City Engineer so that Mayor and Alderman of the district can be notified if necessary.
 - c. Operator shall abide by DNR erosion control measures.
 - d. Project trucking shall use only County and State highways.
 - e. When the batch plant is in operation, the applicant shall use measures to keep dust and tracking minimal and under control.
 - f. There shall be no net increase in the amount of material left behind on site when the project ends. All materials that come into the site shall be removed from the site.
 - g. All roadways identified on the haul route are arterials and viable truck routes. Regardless, be considerate to residents and drive courteously.
 - h. No engine breaking is allowed within City Limits by Ordinance.
 - i. The truck route for the temp batch plant is identified as north on Crowbar Road, west on National Ave and south on Hwy 164 to I-43. If this route needs to change, notice shall be provided to the City.

3. Building:
 - a. All work must comply with the commercial building code requirements (2021 IBC). No building permit required.
 - b. An electrical permit may be required. Please contact the New Berlin Commercial Electrical Inspector.

4. Streets:
 - a. Any off-site debris tracking shall be swept clean as soon as possible.
 - b. Two – 2A-10BC rated fire extinguishers on site.
 - c. Maintain ingress and egress.

5. Fire:
 - a. Fire extinguishers on site and vehicles.

DETAILS IN ATTACHED STAFF REPORT

**CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT**

Meeting of May 4, 2026

**Nick Petit with Trierweiler Construction & Supply Co. Inc. on behalf of WisDOT / Temporary
Mobile Concrete Batch Plant
6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011 & 2182-999-013) (Johnson Sand &
Gravel)**

DATE STAFF REPORT: February 19, 2026

APPLICANT / OWNER(S): Nick Petit with Trierweiler Construction & Supply Co. Inc. on behalf of WisDOT / Temporary Mobile Concrete Batch Plant

REQUEST / DESCRIPTION OF PROJECT: Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to set up a temporary mobile concrete batch plant, located at 6600-6666 S. Crowbar Road.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 2/2/2026

DATE OF COMPLETENESS DETERMINATION: 2/2/2026
Application Check List Enclosed: N

PRE-APPLICATION CONFERENCE HELD: Yes, via phone call.
Dates of Meetings: N/A
Site Visit: 3/13/2026

CONCEPTUAL PLAN: Yes

SIZE OF DEVELOPMENT / PARCEL(S):
Tax Key #: 2182-999-001 - 24.27 Acres
Tax Key #: 2182-999-013 – 35.10 Acres

CURRENT ZONING: Q-1 (Quarrying and Extractive District) & C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE: Johnson Sand & Gravel & Schmitz Redi-Mix

PROPOSED ZONING: N/A

PROPOSED LAND USE: Office and shop for Schmitz Redi-Mix

PROPOSED LOT SIZE (S): N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

<i>North:</i> Zoning: R-1/R-2/I-1	Land Use: Single-Family Residential/Living Word Church/I-43
<i>South:</i> Zoning: C-1	Land Use: Conservancy / Tans Drive / City of Muskego
<i>East:</i> Zoning: Q-1/C-1	Land Use: Johnson Sand & Gravel
<i>West:</i> Zoning: Q-1/C-1	Land Use: Johnson Sand & Gravel

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes, below is a review of the social, economic and physical factors outlined in the various sections of the Plan:

Chapter 20: Neighborhood J – The Highway Interstate 43 & Racine Avenue interchange: Yes, this submittal meets the intent of this Chapter.

Planning Context / Vision / Development Policies:

Vision:

- *This area will be a third job center for the City of New Berlin. It will be a mix of light manufacturing, office, small-scale retail, and restaurant/hotel uses, much like Westridge, but on a smaller scale.*

Development Policies:

The City recognizes the long-range potential of this area for job producing business uses.

Land use:

- *Future Land Use Map: Quarry*

ZONING CODE (CHAPTER 275): Yes, this request is consistent with the current zoning district outlined in Section 275-37B(1) of the City's Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: Yes

CONDITIONAL USE REQUIRED: Yes

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No

Site Plan Required: Yes

Architectural Review Required: N/A

PROPOSED ARCHITECTURE: The applicant is looking to set up a temporary mobile concrete batch plant.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetlands on Property: No, not in the vicinity of the mobile concrete batch plant.

Conservancy Districts (C-1, C-2): Yes, C-1.

NRCS Map Classification: Not Inventoried.

Floodplain: No

Topography / Geologic: Site location of the mobile concrete batch plant is fairly flat.

ALTERNATIVE TRANSPORTATION PLAN: No improvements identified.

PARK & OPEN SPACE PLAN: No improvements identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Shown on plans. No trees will be disturbed.

Woodland, Tree, and Vegetation Protection: N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: No impact.

STORM WATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin codes, ordinances and plans regarding storm water conveyance and maintenance and/or as

identified by the Department of Community Development. There is a storm water permit for the overall Johnson Sand & Gravel site. Trierweiler Construction also holds a current and valid plant WPDES general permit for wastewater runoff.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: No

Sewershed Capacity Available: N/A

Adequate Linkage: N/A

Onsite System Required: Yes – applicant will utilize portable restrooms if needed.

WATER USAGE CALCULATION: Applicant is proposing to utilize water onsite, either well water or from the pond.

TRAFFIC IMPACT: Slight increase is possible with this mobile temporary batch plant. See Findings section for more information.

Schmitz Redi-Mix trucks operates a batch plant at this location. DCD Staff contacted the current operator on 5/23/2023 to discuss their current operations. Their operations are consistent with what the City has on file.

SCHOOL DISTRICT IMPACT: No impact.

PREVIOUS ACTION: (Specific to past Temporary Batch Plant requests for similar projects.)

5/2/2005	Plan Commission approved two temporary concrete batch plants.
7/9/2007	Plan Commission approval of CU-5-07, Johnson Sand & Gravel set up a temporary batch plant to support a WisDOT project for Moorland Road reconstruction.
1/7/2013	Plan Commission approved U-99-01 an amendment to the Schmitz Ready mix, Inc. plan of operation to allow for temporary overnight work hours.
6/5/2023	Plan Commission approved a Conditional Use request. A public hearing was held.
2/5/2024	Plan Commission reapproved the request as the project.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. The zoning district is Q-1, Quarrying and Extractive District.
2. This application is for a temporary permit to conduct one (1) concrete batch plan operation. The application is seeking the approval to supply ready-mix concrete for the local WisDOT project for the reconstruction of Moorland Road
3. The site currently functions as a source of sand and gravel, operated by Johnson Sand & Gravel, Inc. providing those products to local communities.
4. Duration: the application is looking for operation from May 1, 2026 through July 1, 2028. The contractor will set up spring of 2026 and will take down by no later than December 31, 2028.
5. Roughly 80 production days will be required during the two-year project. With approximately 40 per year.
6. Trucks coming to the site will vary daily depending on work operation and logistical needs. Smaller production days 5 to 10 trucks and larger days 15 to 25 trucks. This is a count of raw materials in (aggregate and cement) and final product out. The number of employees on site will generally be 2 to 3. On paving days, we will have 15-20 trucks total hauling concrete. Total paving days for this project is 45 days. On days they are doing hand work, they will have 4-5 trucks. Total hand work days is 45 days.
7. There will be approximately three to fifteen employees on the ready-mix concrete operation teams.
8. Hours of Operation.
 - a. Schmitz Ready Mix hours of operation per their permit are 6:30 AM to 6:30 PM Monday through Friday; and Saturday's 6:30 AM to 2 PM. No Sunday's or holidays at this time.

- b. Trierweiler Construction & Supply Co. Inc. would like to have the hours for this request match the Moorland Road Project hours, generally they would start up the plant at 6:00AM and be done by 8:00PM. There is the potential for longer shifts on big production days in efforts to advance the project schedule as much as possible. Right now, they don't anticipate any true overnight work. See Conditions for any work outside of these business hours.

9. Sample pictures of the temporary mobile batch plant:



D.R.C RECOMMENDATION:

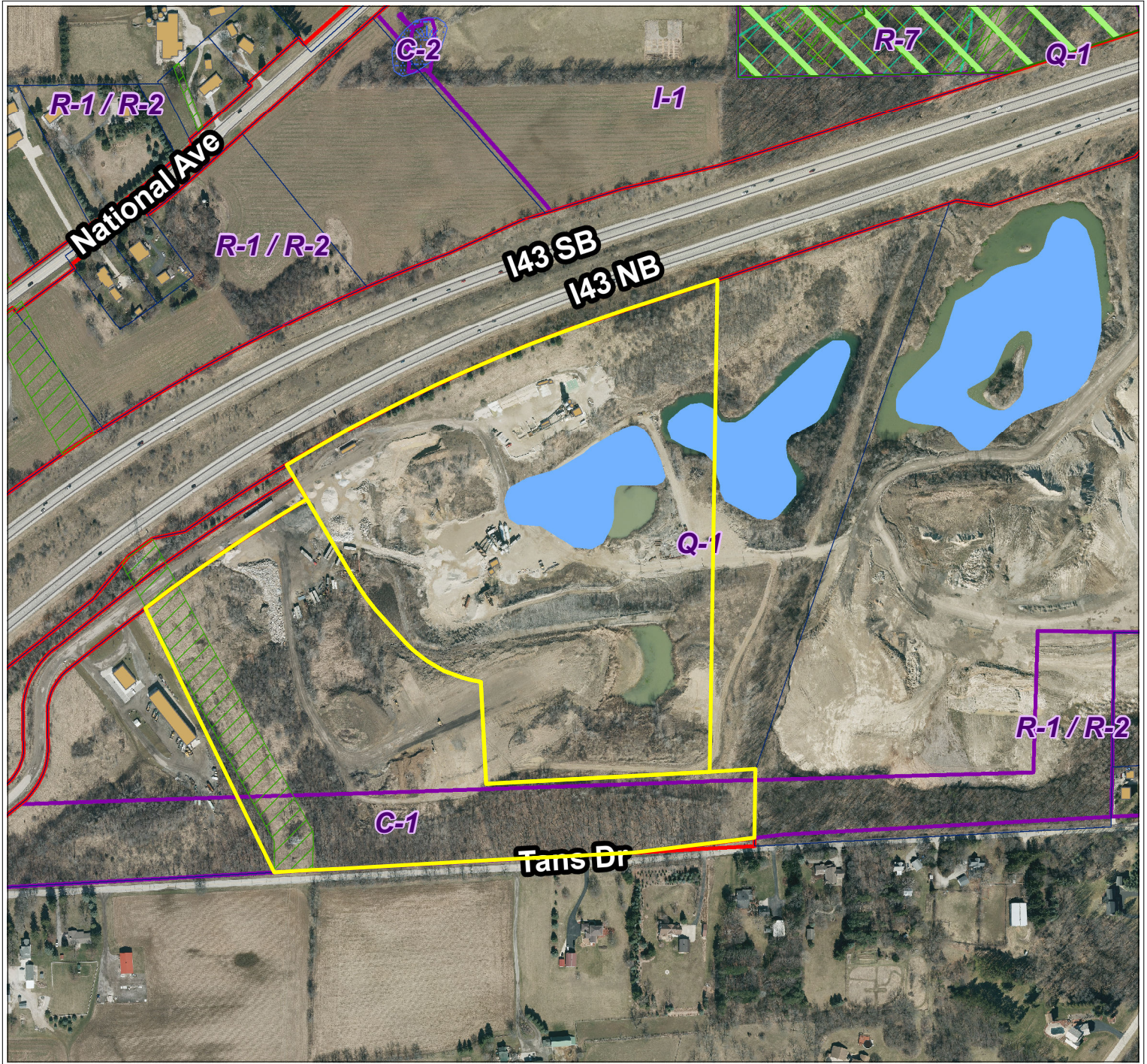
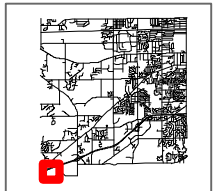
Public hearing and possible action to approve a Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to temporarily construct a mobile concrete batch plant, located at 6600-6666 S. Crowbar Road, subject to the application, plans on file and the following conditions of approval: **SEE EXECUTIVE SUMMARY.**

ATTACHMENTS:

Location Map
Plan of Operation / Site Plan

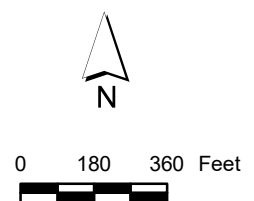


CU-2600296
Trierweiler Constriction & Supply Co. / WisDOT
Temporary Mobile Concrete Batch Plant
6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011
& 2182-999-013) (Johnson Sand & Gravel)



City of New Berlin
 Department of Community Development
 3805 S Casper Dr.
 New Berlin WI 53151
 (262) 797-2445
 www.newberlin.org

Legend	
	Parcels
	Road Right-of-Way
FEMA Flood Zone (2023)	
	FEMA Flood - Zone A
	FEMA Flood - Zone AE
	Zoning Boundaries
Zoning Wetland Registration	
	Registered Wetland
	Outside Wetland
Environmental Corridor	
	Isolated Natural Resource Area
	Primary Environmental Corridor
	Secondary Environmental Corridor
	Wetland
Sewer Service Area (MMSD)	
	Current
	Ultimate



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W220 S6700 Crowbar Drive
Muskego, WI 53150
262/679-4400
Fax 262/679-5565

To Whom It May Concern,

Johnson Sand & Gravel, Inc. hereby grants our permission for Trierweiler to set up and operate a batch plant at our Crowbar Road facility, located at 6700 Crowbar Drive. Trierweiler is a representative of Johnson Sand & Gravel on behalf of the CUP that is being submitted.

If you have any questions or require additional information, please contact Randy Johnson at 414-333-9857.

Sincerely,

A handwritten signature in cursive script that reads "Randy Johnson".

Randy Johnson

Johnson Sand & Gravel, Inc.

TRIERWEILER

CONSTRUCTION & SUPPLY CO. INC.

Heavy & Highway Contracting



I43 Rock Freeway – Conditional Use Permit

2916 South Cherry Ave
Marshfield WI 54449
(715) 387-8451

TRIERWEILER

CONSTRUCTION & SUPPLY CO. INC.

Heavy & Highway Contracting

2916 South Cherry Avenue

Marshfield, WI 54449

Phone 715-387-8451

Fax 715-384-5599

April 15th, 2025

New Berlin
Plan Commission

Subject: Special Exception; Tax Key NBC 2182999011

Trierweiler Construction, as agent on behalf of S & J Development (property owner), is submitting the enclosed applications, drawings, and supporting documentation for your review regarding the proposed temporary ready mix concrete plant on a portion of the property listed above.

Contact Information

Site:

Tax Key: NBC 2182999011
Legal Description: See Attached
New Berlin, WI 53150

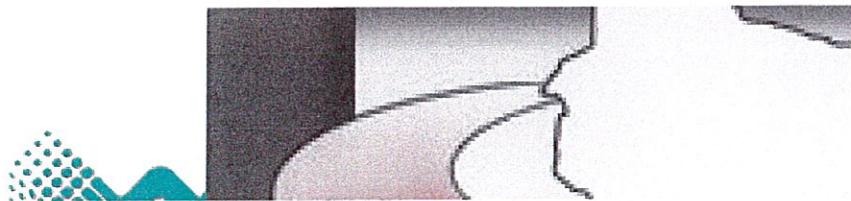
Property Owner:

S & J Development
W220S6700 Crowbar Dr
Muskego, WI 53150

Sincerely,

Nick Petit

Trierweiler Construction & Supply Co., Inc.
Nick Petit
715-240-0315
nick@tpaving.com



An Equal Opportunity Employer

Table of Contents

- Introductions & Intentions
- Written Brief
- Closing Statement
- Conditional Use Permit Application
- Developer's Deposit Finance Form
- General Overview Location Map
- Property Owners Overview
- Scaled Site Layout
- DNR Surface Water Map
- Contour Map
- Pollution Prevention & Spill Response Plan
- Plant Overview
- Legal Description
- Trucking Route

Introduction & Intentions

Ready Mix Concrete

Ready mix concrete (RMC) is an essential building material for use in a variety of civil construction projects such as buildings, roads, bridges, and a variety of other structures. As the Wisconsin Department of Transportation (WisDOT) and a variety of other municipalities continue efforts to update and expand Mooreland Road in Waukesha County, the demand for a locally available and economical option for the production and distribution of RMC is critically important to on-time and on-budget projects to reduce the costs to taxpayers and impacts on commuters for these projects.

Based upon the availability of some ingredient aggregate materials nearby as well as the proximity to the awarded construction work, the Johnson Sand and Gravel site on Crowbar Drive offers an ideal location for the staging of a portable, temporary RMC plant to be used on the I43 Rock Freeway construction project. Trierweiler Construction is requesting this special exception permit beginning on April 1st, 2026, to July 1st, 2028.

Sitting

The site, consisting of Tax Key NBC 2182999011, is currently being used as a gravel pit. The special exception permit area is approximately 5 acres in size, for the exact location and layout please see the attached map. No building or structure beyond the mechanical equipment is proposed as part of the application. The RMC batch plant will be temporary and portable in nature to be located adjacent to where the aggregate stockpiling is occurring.

Site Preparation

No site prep will be needed as it has a gravel floor already. Once work on the WisDOT projects is completed the temporary batch plant will be removed and the site will be left to its original condition.

Operation Description

The proposed temporary/ portable installation of an RMC plant would be utilized to mix concrete and load trucks for the I43 Rock Freeway Project. The exact number of employees varies between 3 and 15 on the RMC operations team. Access to the site will be via the existing driveway currently in use. Parking for the operators will be adjacent to the plant. Operational periods will include generally daytime operating hours (6:00 AM – 8:00 PM) during weekdays and intermittent operation during weekends only as project demands necessitate.

Outdoor storage would consist of piles of aggregates and sand stored within the existing site. Cement materials would be stored in portable enclosed bins and handled in such a manner to minimize any dust exposure. Activities conducted outdoors at the site would include the staging, handling, and mixing of materials, loading of delivery trucks, and washout of trucks. Domestic waste generation would be handled by an onsite dumpster that is regularly emptied by a local waste management service.

Zoning and Setbacks

The plant will be sited on the property to adhere to all setbacks as set forth in the current City of New Berlin zoning regulations that govern the property. See attached mapping for the proposed location within the property.

Erosion Control/ Storm Water Management

As part of participating in WisDOT construction work, strict environmental and erosion control standards must be adhered to and are regularly monitored by WisDOT project staff. Trierweiler Construction also holds a current and valid plant specific WPDES general permit for wastewater runoff.

Noise

The noise emitted by the plant's operations will be less than or equal to the current noise generated by the traffic on I43. Additionally, the plant will only be in operation for approximately 40 total days per year duration the 2 year project.

Dust Control .

Dust will be controlled through the use of enclosed bins for the storage of fine particle materials such as cement. Water is used extensively around the plant site during plant operations as needed to control the dust of the moving trucks. Water as well as sweeping is used on any adjacent roads to control both dust and any debris that may track on to public roadways.

Lighting

If operations occur at night, outdoor lighting will be provided by portable lighting plants for the purpose of employee visibility and safety. The lights would be operated only during periods of night-time operation and as needed for visibility and safety. To mitigate impacts to neighboring residences and roadways, the lights will be directed away from property lines, neighboring parcels, and roads.

Written Brief

The granting of the special exception for the placement of the temporary concrete batch plant is well within the spirit of the ordinance. The placement of the concrete plant will not be a nuisance to neighboring property owners, through noise, dust, or any aspect of public safety. The plant will not affect property values of neighboring properties as it will be temporary, and the property will go back to its original use once construction is completed. The property is not in a flood plain and no wetlands or forest resources will be affected by the proposed plant. Lastly, the siting of the plant at this location will provide the most effective and efficient use of taxpayer's funds by allowing the close proximity of the plant to reduce travel and trucking costs, which in turn reduces the time necessary to complete the work. The reduced cost in terms of both money and user delay due to construction is a win-win for the traveling public.

The granting of the special exception will be in the best interest of both the local population as well as the travelling public. The plant will be situated in a rural area near the project and near the WisDOT project it is intended for. This placement will greatly limit the amount of time the loaded concrete trucks are on the open road and maximize their travel directly to the project, therefore minimizing potential conflicts with the travelling public. Additionally, the drivers at Trierweiler Construction take pride in their driving with common sense and safety when on the road. The general welfare, public health, or safety of the local population will not be significantly impacted due to the placement away from a populated area along with the efforts made by Trierweiler Construction to limit dust through contained storage tanks, the use of water (as mentioned below), and emission of comparable amounts of background noise caused by the Interstate.

Trierweiler Construction makes every effort to be good neighbors, and part of being good neighbors is making our best effort to eliminate as much as possible any issues with noise, dust, smoke, and odors. The noise made by the concrete plant is comparable to the current level of noise created by normal traffic on the I43. The noise created by the other equipment and concrete trucks is similar in nature to the other construction equipment that will be operating in the gravel pit. Dust will be controlled using storage tanks for the cement and fly ash, and water in and around the plant site as needed to prevent dust. As stated below, odor will be eliminated through regular and timely emptying of the waste storage facilities by a local waste management company.

Trierweiler will follow all city and county ordinances along with any town ordinances that apply to this Conditional Use Permit.

Our request will not impact public health, safety or general welfare.

The noise emitted by the plant's operations will be less than or equal to the current noise generated by the traffic on I43. Additionally, the plant will only be in operation for approximately 80 total days during the 2-year duration of the project to complete the concrete paving work.

Dust will be controlled through the use of enclosed bins for the storage of fine particle materials such as cement. Water is used extensively around the plant site during plant operations as needed to control the dust of the moving trucks. Water as well as sweeping is used on any adjacent roads that to control both dust and any debris that may track on to public roadways

Granting this special exception to Trierweiler Construction provides an important service to the community because it is the most prudent choice to preserve taxpayer dollars. The ability to locate the temporary concrete plant as close as possible to the project allows the contractors the ability to provide the most competitive pricing to the Department of Transportation and in turn the best value to the Wisconsin taxpayers. The close location to the project also limits the amount of on road traffic by construction vehicles which minimizes any potential issues with local traffic. Lastly the efficient repair and replacement of the I43 Rock Freeway will provide economic impacts to the local communities by safer and more efficient travel, and one of the most efficient ways to complete the construction in a timely manner is the close placement of equipment and materials to the project.

Closing Statement

Trierweiler Construction (agent) on behalf of S&J Development (property owner) is submitting the enclosed Conditional Use Permit for the proposed temporary ready-mix concrete batch plant along with the required fees and attachments. We are requesting approval for the operation from May 1st, 2026 to July 1st, 2028 in support of the WisDOT I43 Rock Freeway projects. If you have any questions or concerns, or require additional information, or clarification, please feel free to contact me via the contact information listed on the front page.

Sincerely,


Nick Petit

Trierweiler Construction

Trierweiler Site

Write a description for your map.

Legend

-  TCI Plant Site



Property Owners Overview

Write a description for your map.

Legend



Google Earth
Image Landsat / Copernicus

Plant Site Layout

Write a description for your map.

Legend

Water Source For Plant



Memory Care of New Berlin

Google Earth

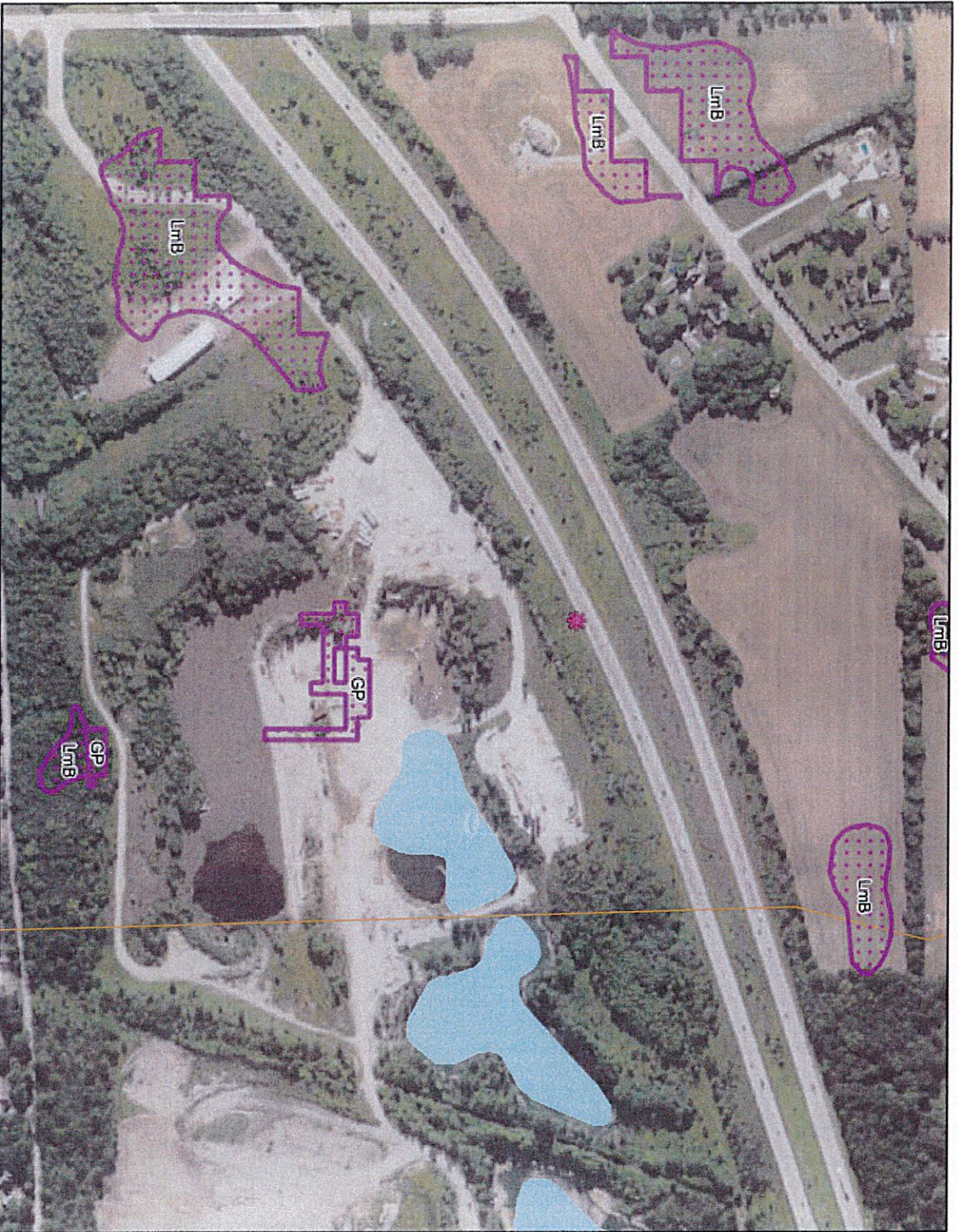
Image Landsat / Copernicus

500 ft





WV: Surface Water Data Viewer (SWDV_VS_App)



- Legend:** (Some map layers may not be displayed)
- Watersheds
 - USDA Wetspots
 - Wetland Indicators
 - Open Water
 - Open Water
 - 24k Lakes and Open Water
 - Latest Leaf On Index
 - Latest Leaf On Imagery

Notes:

Service Layer Credits:
 Wetland Indicators & Soils¹, Surface Water Data Viewer Team, DNR Basic Feature VTL (WTM): Wisconsin Department of Natural Resources, GIS Section, Latest Leaf On², Priority Navigable Watersways: Waterway Protection, WDNR, Surface Water (Cached): WDNR, USGS, and other data

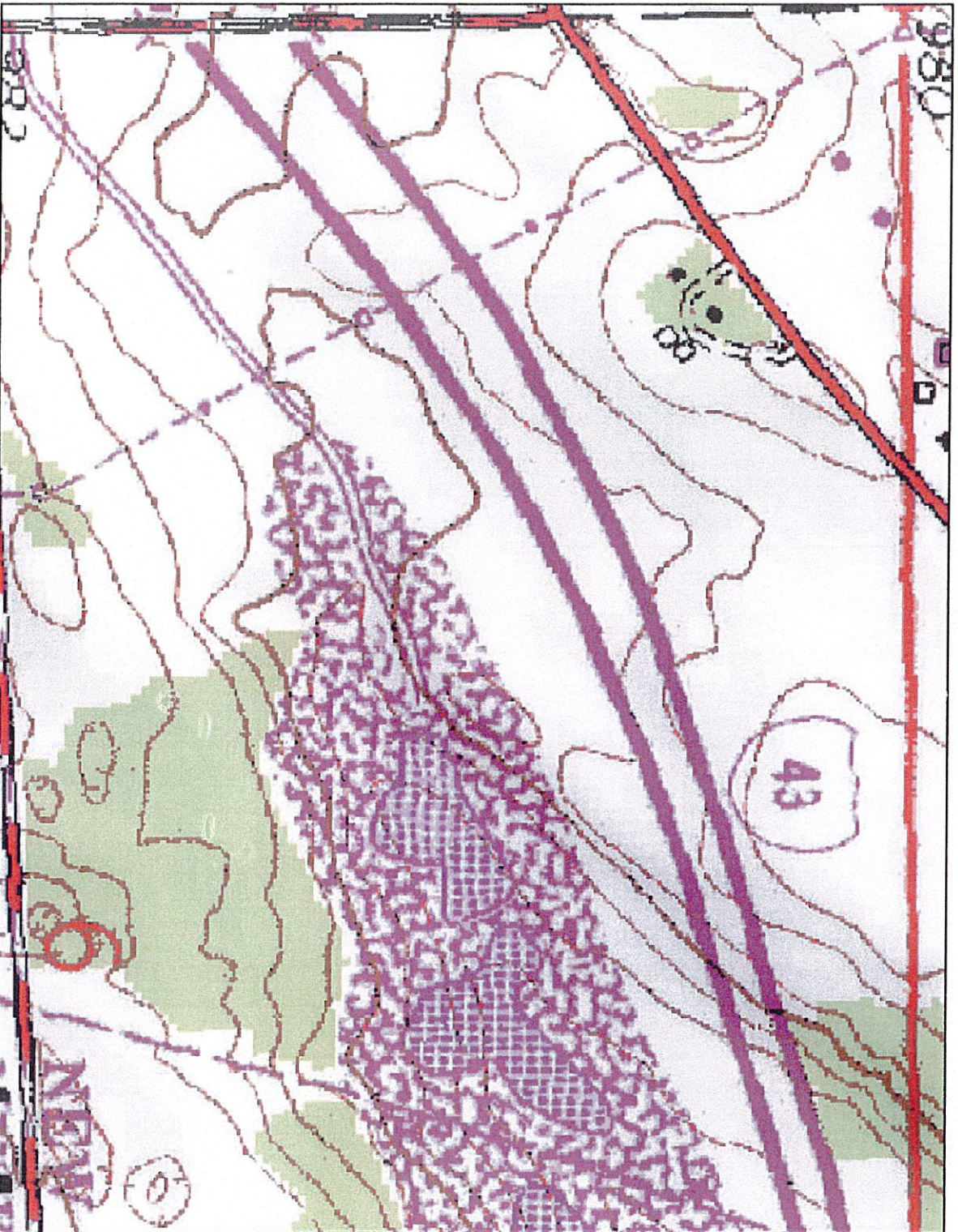
Map projection: NAD 1983 HARN Wisconsin TM

This map is a product generated by a GIS web mapping application.
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WY: Surface Water Data Viewer (SWDV_VS_App)



Service Layer Credits:
 DNR Basic Feature VTL (WTM): Wisconsin Department of Natural Resources, GIS Section, Latest Leaf On.
 Topographic Maps:
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Legend: (Some map layers may not be displayed)
 24K USGS DRGS

- 0
 - 1
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 - 3
 - 4
 - 5
 - 6
 - 8
 - 9
 - 10
 - 11
 - 12
- Hill Shade
- 85.00000001 - 93
 - 93.00000001 - 102
 - 102.00000001 - 110
 - 110.00000001 - 119

Notes:



TRIERWEILER

CONSTRUCTION & SUPPLY CO. INC.

Ground Water and Storm Water

Pollution Prevention and Spill Response Plan

For

Temporary Concrete Batch Plant

Purpose and Scope

This pollution prevention plan concentrates on identifying potential pollutants at the work site, and adopting management practices that eliminate their contact with sensitive waters of the state. The primary focus of this plan is to provide education for field employees, thereby reducing human error as a contributor to environmental pollution.

I. Potential Pollutants

A. #2 Fuel Oil

1. Spills during equipment refueling
2. Bulk Shipment deliveries – overfill
3. Broken or leaking fuel lines and hoses

B. Lubricating Oils

1. Overfilling gearboxes
2. Leaking seals and mechanical equipment
3. Engine breather pipes
4. Spills during oil changes
5. Improper storage of oil inventory

C. Grease

1. Over greasing bearings and wear surfaces
2. Improper disposal of cleaning towels

D. Antifreeze

1. Leakage from damaged radiators

2. Overfill/Spill

E. Sediment

1. Runoff not contained on site
2. Poor operating techniques

II. Implementation of Best Management Practices (BMP)

A. Education

1. The pollution prevention plan is reviewed at the Trierweiler annual safety meeting. The intent of the plan is stressed, changes or improvement are noted. Field employees discuss the plan, and exchange ideas for potential plan improvement. Any new ideas that contribute to the intent of the plan are included in the written pollution prevention plan for the next year.
2. Information about the importance of pollution prevention is routinely stressed at scheduled tailgate safety meetings. Topics for discussion include safe petroleum product handling, proper maintenance procedures and routine inspection of the equipment during operation. Personnel are encouraged to take a pro-active role in prevention of spills. Good housekeeping practices are stressed for control of minor drips and leaks from daily maintenance and operation.

B. Inspection and Supervision

1. The temporary Concrete Batch Plant is routinely inspected each day of operation to ensure that all equipment is functioning properly, all valves are closed, and significant materials are properly stored and secure.
2. Fuel Transfers are supervised to ensure that spills do not occur. Plant personnel assist tanker drivers as needed to provide safe and effective transfer of fuels.
3. Refueling of the Batch Plant equipment is monitored at all times to eliminate overfilling.

C. Communication and Response

1. The emergency response plan for spills is posted in the repair trailer for the Batch Plant operations. Employees are aware of the location of the listing and follow the outlined procedure in a spill situation.
2. Plant personnel respond immediately to a spill situation to mitigate effects and isolate/control source of spill. Operations are immediately shut down when necessary to redirect on-site resources and manpower in spill response.

3. Company contact personnel and emergency phone numbers are posted in the repair trailer to provide operators with immediate access to company support. Contact with Jeremy Iwanski is established as soon as possible after the spill so that proper reporting requirements can be met.

D. Selection of Plant Sites

1. Environmental impacts in equipment and work areas are considered prior to set up in and location.
2. Whenever possible, Batch Plant equipment is located in a pit or quarry that provides natural, on site containment of storm water runoff, and ample protection for sensitive ground water supplies.
3. In locations where there is increased environmental sensitivity because of proximity to receiving waters, lack of natural containment, or other critical factors, berms or diking will be constructed that will contain runoff or protect a potential spill from releasing into the ground water in the immediate equipment area.

E. Petroleum Product Storage

1. All fuel tanks shall have drip pans or absorbent material available for nozzle storage between refueling. Tanks and hoses are inspected daily for integrity and any problems are corrected.
2. Lubricants and grease are stored in the repair or service trailer until needed. The storage area is secured at the end of each operating cycle.
3. Drip pans and contaminated absorbent material are replaced at the end of each work shift and at the onset of precipitation to eliminate ground water and surface water exposure to petroleum products. Containers are located in the service trailer for storage of used absorbents and other cleanup materials.
4. Used oil and grease from equipment service and repair is stored inside the plant service trailer until collected for off-site disposal.

F. Repair and Maintenance

1. Engines and gearboxes will be inspected and fully serviced as needed during the off-season to eliminate leaking seals, fuel lines, and gaskets. Leaks that develop during operations are contained by drip pans, absorbents, or other acceptable means, until company maintenance personnel repair the problem. In cases where continued

operation may cause uncontrollable fluid losses, plant operations will cease until the problem is corrected.

2. Batch Plant employees are instructed in proper lubrication procedures for plant equipment. Manufacturer's specifications are followed to eliminate over-fills of gearboxes and crankcases. Greasing of bearings and wear surfaces is carefully monitored to eliminate unnecessary grease contact with the ground. Overflow from bearings is collected and disposed of with contaminated absorbent material.

3. Routine engine oil changes are done with adequate absorbent material to provide for drips and spills associated with maintenance operations. Waste oil is stored in spill proof containers until picked up for off-site disposal.

4. Any leaks that develop during the course of operation may, at the foeman's discretion, be contained with drip pans or petroleum absorbent material, as long as plant operation ceases prior to a storm event and containment vessels are cleaned and free of petroleum to prevent contact with ground water or storm water.

5. Repair and maintenance procedures are conducted in the shop, service trailer or outside with adequate containment for degreasing and cleaning. Petroleum absorbent material is available as needed to supplement containment.

G. Use of Available Resources

1. Housekeeping supplies, including drip pans and absorbent materials, are kept on inventory in the repair trailer at all times. All plant personnel have access to these materials, and are instructed in their use. Additional booms or pads are available upon request.

2. All plant personnel are available to respond to petroleum spills as needed. Other resources may be mobilized to mitigate the effects of a petroleum release, such as subcontractors, additional equipment, or additional personnel.

3. If necessary, plant loading equipment may be used to construct temporary berms or place aggregates for absorbing free flowing liquids. Loading equipment can also be used for backfilling or removing impacted soils or aggregates.

H. Construction of Containment

1. When a plant must be placed in an area where additional containment is needed because of the amount of fines being produced; field employees may elect to construct berms or temporary basins for collection and control of contaminated water.

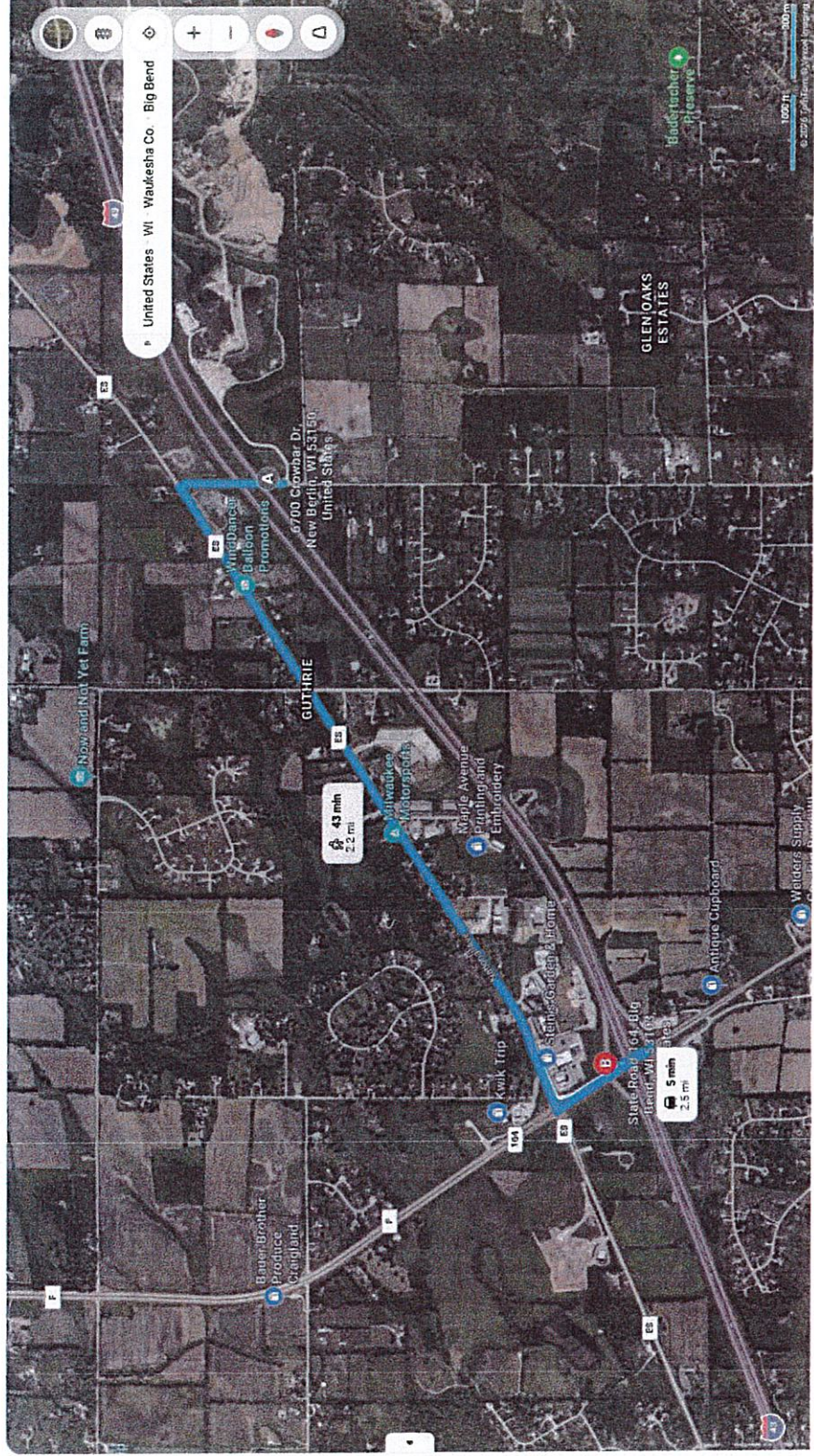
Necessity of construction is based on slope of plant site, area drained, soil type, and proximity to receiving waters. Other influences may be considered on a site-specific basis as needed to fulfill the purpose of the plan.

2. Water collected in on-site-basins is routinely inspected by field personnel for evidence of petroleum sheen or odor. If no evidence of contamination is apparent, the water may be released by gravity flow or by pumping. Release of water must be done in a manner that will not induce erosion or release water with high sediment loadings into receiving waters. Water collected on-site basins that show evidence of petroleum contamination is pumped into disposal tanks for transport to approved facilities.

3. Erosion control measures outside of plant and equipment work areas may be identified by field personnel. In these situations, company officials should be notified, so that site-specific BMP's can be implanted.

Plant Overview

Trucking Route



Directions

- A** 6700 Crowbar Dr, New Berlin, WI 53150, United States
 - B** State Road 164, Big Bend, WI 53103, United States
- Leave now + Add stop

Via County Hwy-ES, WI-164
 Fastest route · 1 min delay
 Close

- A** 6700 Crowbar Dr, New Berlin, WI 53150, United States
- 1** Leave from Crowbar Dr about 0.3 mi, less than 1 min
- 1** Turn left onto National Ave/County Hwy-ES 1.6 mi, about 3 min
- 1** Turn left onto State Road 164/WI-164/County Hwy-F 0.3 mi, about 1 min
- 1** Make a U-turn at State Road 164/WI-164/County Hwy-F about 0.1 mi, less than 1 min
- ?** You have arrived at State Road 164/WI-164/County Hwy-F. Your destination is on the right
- B** State Road 164, Big Bend, WI 53103, United States

STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: John Spitz with Western Contractors Inc. / Rezoning

LOCATION: 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991

REQUEST: Request to rezone 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning.

D.R.C. RECOMMENDATION: Public hearing and possible recommendation to Common Council adoption of Ordinance # 2718 that approves the rezoning of the property located 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of May 4, 2026

John Spitz with Western Contractors Inc. / Rezoning
2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) &
Tax Key #: 1185.991

DATE STAFF REPORT PREPARED: April 22, 2026

APPLICANT / OWNER(S): John Spitz with Western Contractors Inc. / John and Marilyn Spitz Joint Trust

REQUEST / DESCRIPTION OF PROJECT: Request to rezone 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 4/8/2026

DATE OF COMPLETENESS DETERMINATION: 4/8/2026

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): Several meetings with the most recent meeting on April 7, 2026.
Staff Site Visit: Most recent visit - 4/23/2026

CONCEPTUAL PLAN: Yes

SIZE OF DEVELOPMENT / PARCEL(S): 10.767 acres (recently combined via CSM)

CURRENT ZONING: M-1/SPO (Light Manufacturing District / Special Plan Overlay), C-1 (Upland Resource Conservancy District) & C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE: City of New Berlin – Jacob’s Ridge Lift Station

PROPOSED ZONING: M-1/SPO (Light Manufacturing District / Special Plan Overlay) & C-2 (Shoreland Wetland Holding District)

PROPOSED LAND USE: Light Industrial

PROPOSED LOT SIZES: N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: M-1/SPO, C-1	Land Use: Industrial
South: Zoning: M-1/SPO, C-1	Land Use: Industrial
East: Zoning: M-1/SPO	Land Use: Industrial
West: Zoning: M-1/SPO, C-1, C-2	Land Use: Industrial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 12: Neighborhood B: West Lincoln Avenue & Western Area: Yes, the concepts meet the intent of this Chapter.

Vision:

- *The area of New Berlin generally west of Calhoun Road should be a regional model of rural development. Any development shall occur as a mix of conservation development, farms, large areas of preserved open spaces, rural trails and facilities, and small-scale neighborhood-oriented retail. Development in this area will incorporate environmental protection as a basic value, including its importance as an aquifer recharge area.*

Development Policies:

- *Public sanitary sewer service shall not be extended into this area, with the exception of parcels designated to be within the Urban Service Area Boundary as amended by the City.*
- *While agricultural uses are encouraged to remain, it is recognized that the area may develop for residential conservation subdivisions. Residential uses shall be permitted and accommodated pursuant to these policies. As agricultural lands transition to residential developments, the subdivision design should incorporate farming and agriculture uses as viable open space options.*
- *Where development may occur, encourage rural open space subdivisions that preserve the rural character and sensitive natural areas. Regulations have been developed that require open spaces to be incorporated into these subdivisions, while allowing smaller lots to be clustered on lands most suited for development. Areas that are environmentally sensitive such as wetlands and recharge areas shall be established as priority areas for open space preservation.*
- *The allowable base density, before incentives or bonuses, is one dwelling unit per five acres for new developments, with a requirement that an applicant demonstrate the capability of providing private on-site wastewater treatments systems that satisfy County and State regulations. Applicants should refer to the City Zoning and Development Code for regulations relating to this standard.*
- *While it is recognized that State regulations for private on-site sewage treatment systems may evolve over time, it is the policy of the City of New Berlin that these possible changes do not affect this maximum allowable density.*
- *Explore and implement amenities that are consistent with a rural theme, such as equestrian facilities, trails, bed and breakfasts, nature preserves, parks, community gardens, agricultural businesses, and others.*

Land Use

- *Future Land Use Map: Business Park / Industrial*

ZONING CODE (Chapter 275): The lots meet the requirements in §275-35B(4) & §275-37B(4).

DEVELOPMENT CODE (CHAPTER 235): N/A

REZONING REQUIRED: Yes, to remove the C-1 zoning district.

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: Yes, a public hearing will be held on May 4, 2026.

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No, concept plan submitted.

Site Plan Required: No, concept plan submitted.

Architectural Review Required: N/A

PROPOSED ARCHITECTURE: N/A

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetland On Property: Yes, a wetland delineation was conducted on 8/12/21 by Dave Meyer with Wetland & Waterway Consulting, LLC. The wetlands have been registered on the City's Zoning map.

Conservancy Districts (C-1, C-2): Yes, C-1 & C-2

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: Site slopes from the north and south to the center of the property.

BIKE & PEDESTRIAN FACILITIES PLAN: No improvements

PARK & OPEN SPACE PLAN: No improvements.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: Yes, a wetland delineation was conducted on 8/12/21 by Dave Meyer with Wetland & Waterway Consulting, LLC. The wetlands have been registered on the City's Zoning map.

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Basin Capacity Available: Yes

Adequate Linkage: Yes

Onsite System Required: No

WATER USAGE CALC.: N/A

TRAFFIC IMPACT: Will be determined at the time of Use, Site and Architecture approval for any future users.

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

2345 S. 179th Street (Tax Key #: 1185.994 & Tax Key #: 1185.991)

4/1/2002 Plan Commission approval for a wet well, lift station, and above ground emergency power generator unit including a 12' x 20' building.

5/2/2011 Violation for filling on this parcel and the parcel directly to the west. Plan Commission approved an after-the-fact grading plan File #: UA-11-016 for this parcel at the parcel directly to the west. Plan Commission held a public hearing to rezone and the wetlands File #: RZ-11-003.

1/7/2026 Plan Commission held a public hearing on a Conditional Use Permit to rebuild Jacob's Ridge Lift Station and approved the project.

2445 S. 179th Street (Tax Key #: 1185.990)

1991 Building constructed. A variety of re-occupancies have occurred in this building over the years.

2/2/2026 Plan Commission approved a 1-Lot Certified Survey Map to combine 3 parcels.

2/10/2026 Common Council approved a 1-Lot Certified Survey Map to combine 3 parcels.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. The rezoning must meet the following criteria outlined in §275-22(F):

- a. The proposed rezoning is consistent with the Comprehensive Plan and the stated purposes of Chapter 275;

The rezoning request is consistent with the Future Land Use Map in the City's Comprehensive Plan, which identifies this area as Business Park Industrial. The wetland registration is in accordance with Section 275-37F of the Zoning Code.

Upon reviewing SEWRPC's Natural Resource Inventory Composite Maps, Wetland Report, zoning compliance inspection, staff's determination is that no significant natural resource exists in the areas of C-1 that are proposed to be rezoned to M-1. These areas have been graded and filled over the years.

- b. Adequate public facilities and services (including sewage and waste disposal, water, gas, electricity, schools, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;

Yes, the proposed rezoning is compliant. This property is served by public sanitary sewer and water facilities.

- c. Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of the City to provide them;

Yes, the proposed development is compliant.

- d. The proposed development has taken into account impacts on surrounding properties or the natural environment, including air, water, noise, storm water management, soils, wildlife, and vegetation;

Yes, the proposed rezoning is compliant.

Soil evaluation reports have been submitted to indicate the soils have been shown to be suitable for typical business buildings with proper engineering measures.

- e. The land proposal for rezoning is suitable for development and will not cause unreasonable soil erosion or have an unreasonable adverse effect on rare or irreplaceable natural areas;

Yes, the proposed rezoning is compliant.

Soil evaluation reports have been submitted to indicate the soils have been shown to be suitable for typical business buildings with proper engineering measures.

- f. The proposed rezoning will not be used to legitimize, or "spot zone," a nonconforming use or structure; and

No, it will not be spot zoning and will be consistent with the Comprehensive Plan.

- It will be consistent with the surrounding M-1, C-1 and C-2 Zoning Districts and the Future Land Use map.

- The C-1 was an overlay that was placed on this land during the citywide rezoning.

- A historical review of several documents indicates that this land was intended to have a future land use of "Business Park/Industrial". The review includes the following documents:

✓ 1961 Land Development Plan;

- ✓ SEWRPC Land Use & Urban Design Plan for the City of New Berlin: 2010;
- ✓ Growth & Development Master Plan Update – 2001; and
- ✓ Comprehensive Plan

- g. The proposed rezoning is the minimum action necessary to accomplish the intent of the petition, and an administrative modification, variance, or conditional use permit could not be used to achieve the same result.

Yes, the proposed rezoning is the minimum action necessary to accomplish the intent of the petition.

2. The owner of the property prepared a wetland delineation report dated 11/16/2021. The wetland delineation was conducted on 8/12/21 by Dave Meyer with Wetland & Waterway Consulting, LLC. The wetlands have been registered on the City's Zoning map.
3. The City has an easement for Jacob's Ridge Permanent Sanitary Sewerage Lift Station and Force Main Easement. The document was recorded on July 15, 2003.
4. The C-1 was an overlay that was placed on this land during the citywide rezoning in 1993.
5. A historical review of planning and assessor documents indicate that this land was intended to have a future land use of "Business Park/Industrial".
6. The applicant submitted three soil reports prepared by CGC, Inc. The first report dated October 8, 2021 was to explore overall soil on the land for future parking lot and storage yard. The second report dated November 22, 2025 was to explore the soil as it relates to storm water management for future development. The third report dated March 31, 2026 was confirmed the land is suitable for buildings. The report is on file with the city.
7. Per Section 275-37B(3)(b) of the Zoning Code the applicant shall address the items below. The applicant has submitted information to address each point below.

[1] Petitions to remove the C-1 Zoning District. The original boundaries of the C-1 Zoning District were identified using aerial photography and were not field-verified. Petitions to remove any C-1 zoned lands shall identify that there are no significant resources, as described in 275-37B(3)(a) and (b), being protected. The applicant shall submit, at a minimum, the following information:

[a] The applicant shall supply soil boring tests to the City along with a report identifying the findings. Findings shall include:

[i] Soil suitability for the construction of buildings.

[ii] Soil report indicating whether the soils are capable of supporting buildings.

[iii] Presence of high groundwater.

[iv] Any other unique or limiting soil characteristics (i.e., peat, bedrock, etc.).

[b] The applicant shall verify with City staff the most-recent copy of the SEWRPC Environmental Corridor Maps along with any historical data, including but not limited to historical aerial photos, drain tile data, etc.

[c] Any primary environmental corridor, secondary environmental corridor and isolated natural resources areas shall be field-verified in accordance with § 275-37D(6). The applicant shall provide a concurrence letter from the Southeast Wisconsin Regional Planning Commission.

[d] Complete an endangered species review with the Wisconsin Department of Natural Resources.

[e] Map of existing floodplain areas.

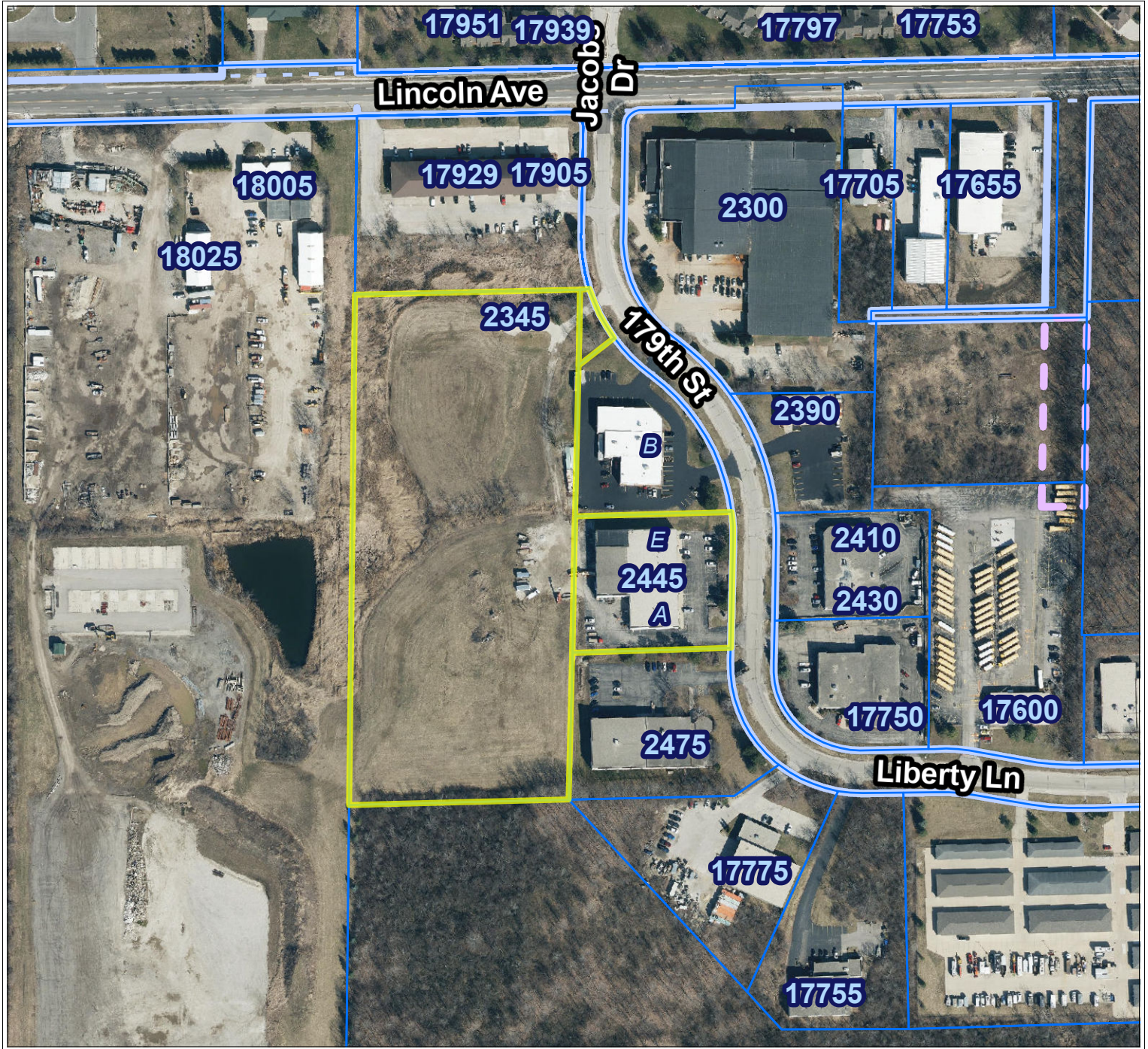
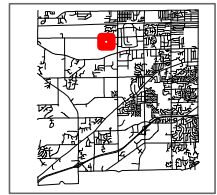
[2] If there are remaining C-1 lands after the modification, those lands shall be placed within a conservation easement.

D.R.C. RECOMMENDATION:















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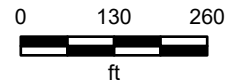
ATTACHMENTS:

Location Map
Plan of Operation Letter
Concept Plan
Ordinance #2718



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

- | | |
|--|--|
|  Parcels |  Wetland |
|  Road Right-of-Way | Zoning Wetland Registration |
|  Conservation Easement |  Registered Wetland |
|  Environmental Corridor |  Outside Wetland |
| Floodplain FEMA DFIRM | Zoning Overlay |
|  FEMA DFIRM - Zone A |  PUD |
|  FEMA DFIRM - Zone AE |  Special Conditions Apply |
|  FEMA DFIRM - 0.2% Chance |  SPO |
| |  Zoning Boundaries |



Scale is estimate - not survey

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DECEMBER 4, 2025

RE: SPITZ PARCEL – 179TH ST REZONE PETITION

TaxKey: NBC 1185994 8.9481 acres

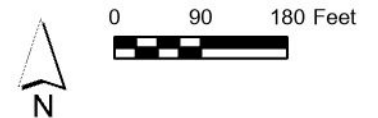
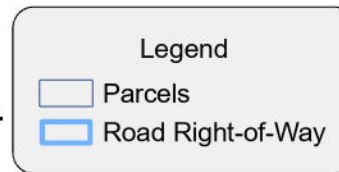
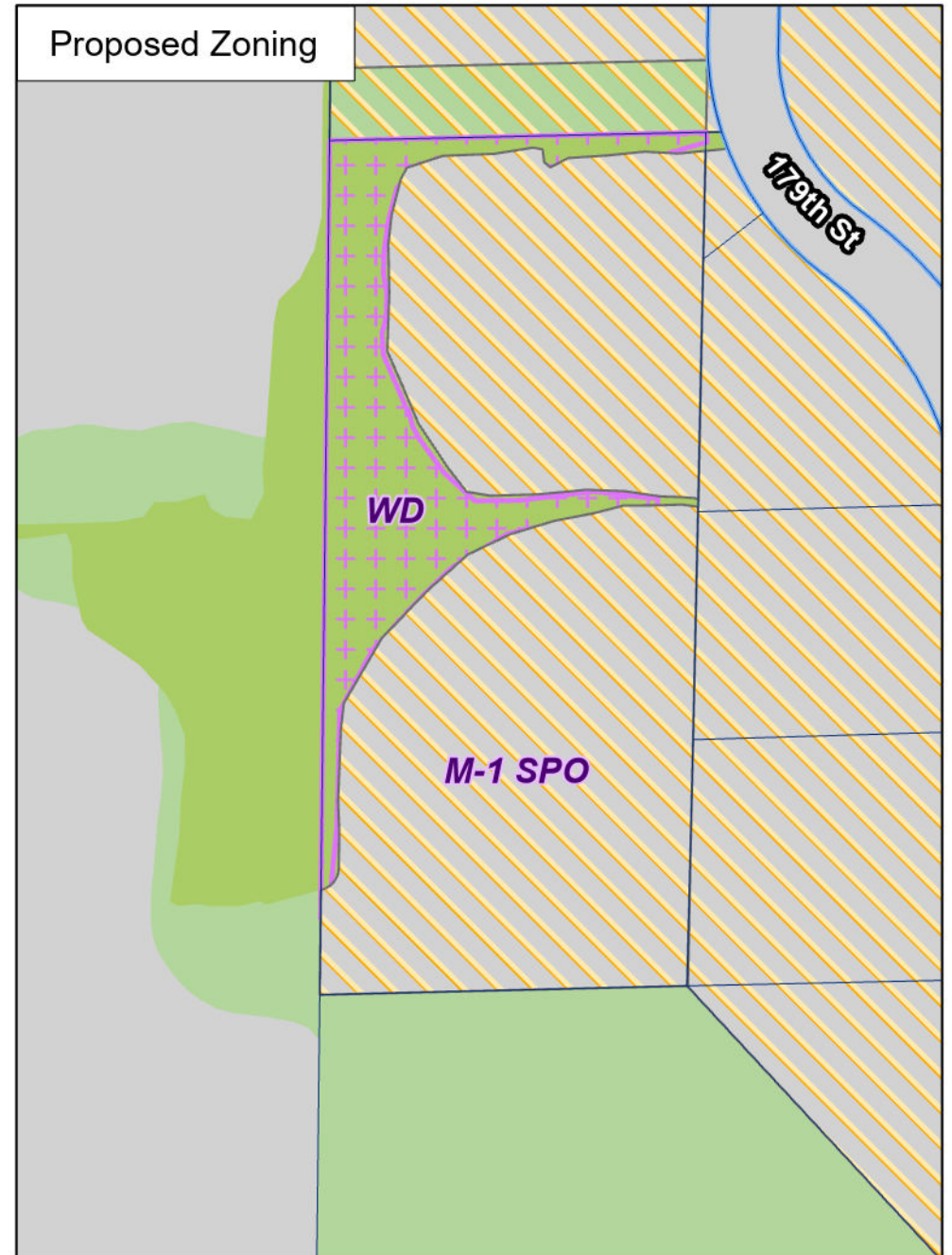
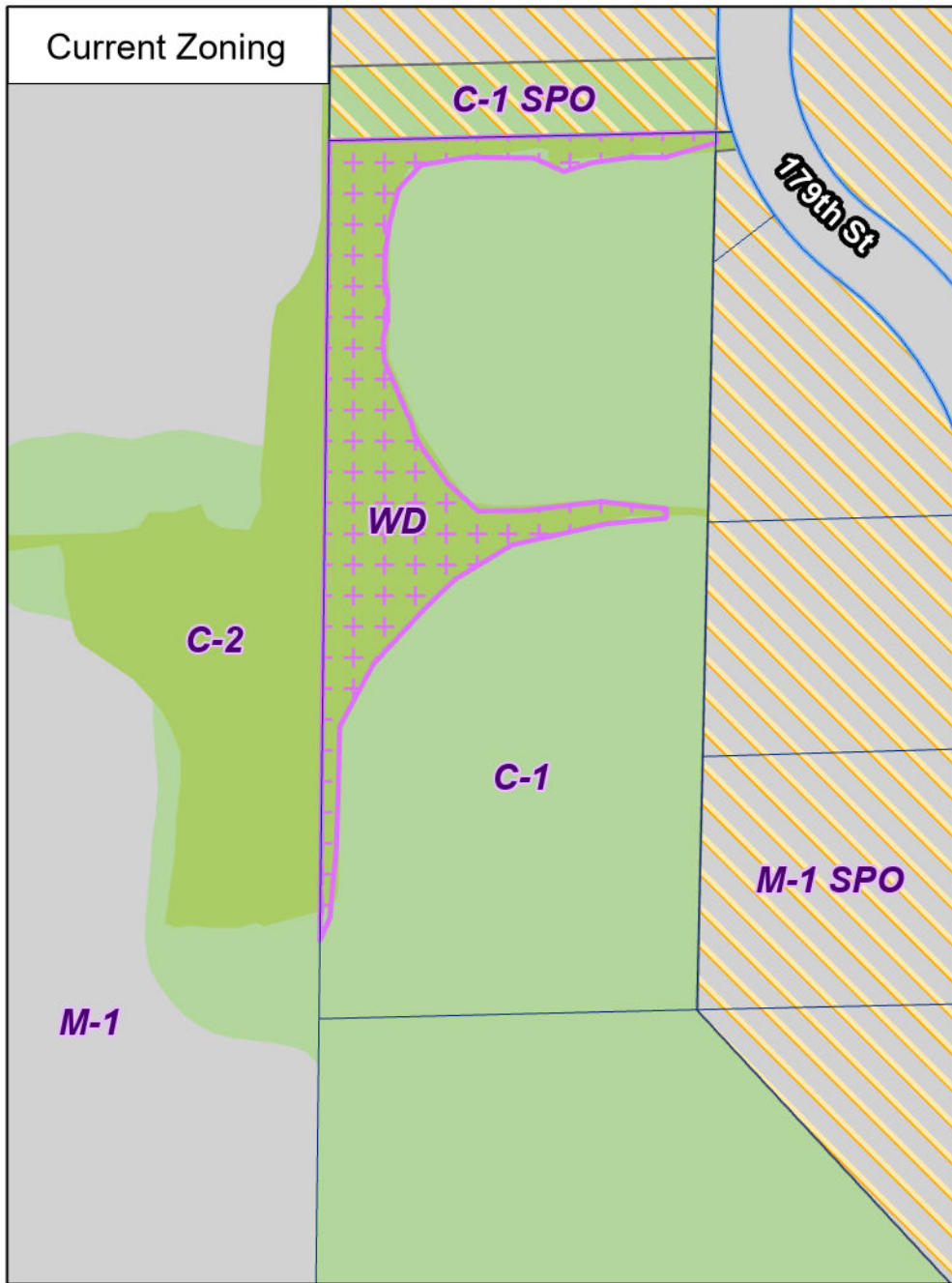
Legal Description: PT NE1/4 SEC 9 T6N R20E; LYING S OF LOTS 1-3 OF CSM #4748 VOL 38/192 REC AS DOC #1301030 AND LYING W OF CSM #5350 VOL 43/83 REC AS DOC #1453515 AND W OF CSM #5351 VOL 43/86 REC AS DOC #1453516

TaxKey: NBC 1185991 0.1184 acres

Legal Description OUTLOT 1 CSM #5351 VOL 43/86 REC AS DOC #1453516 PT NW1/4 OF NE1/4 SEC 9 T6N R20E

TO WHOM IT MAY CONCERN:

- The parcels we are asking to be rezoned are currently zoned as M-1 and C-1. The current master plan shows this. We are requesting that the two parcels be zoned M-1 only. The M-1 is consistent with the zoning ordinance.
- Adequate public facilities are currently available to service the parcels. Sanitary sewer exists on site. City water is available at 179th Street. Primary electric is along the entire east property line. We Energies gas is available from 179th Street West ROW. Area is serviced by fire hydrants along 179th Street.
- M-1 zoning surrounds parcels on east, north, and west property lines
- Wetlands that currently exist as delineated will remain intact.
- The proposed grading plan shows the storm water containment and treatment ponds to be compliant with the current City of New Berlin stormwater ordinances
- No illegal “spot” zoning is required
- No variances and/or conditional use permits will be required.



SUMMARY ORDINANCE NO. 2718

A rezoning petition has been filed by John Spitz with Western Contractors Inc. to rezone the property located at 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning. The matter came before the City Plan Commission which held a public hearing on the proposed rezoning May 4, 2026 and recommended approval on May 4, 2026 subject to the application, plans on file and Ordinance # 2718 approved by the City Attorney, and the matter having been considered on May 14, 2026, by the Common Council. The Council approved that rezoning on May 12, 2026 as requested in the petition.

The full text of the ordinance is available for inspection in the City Clerk's office of the City of New Berlin at 3805 S. Casper Dr. during normal business hours.

Plan Commission MEETING MINUTES



February 2, 2026 - 6:00 PM
Council Chambers
3805 S. Casper Drive

MINUTES

1. PRIVILEGE OF THE FLOOR

No one spoke at Privilege of the Floor

2. CALL TO ORDER, PLEDGE OF ALLEGIANCE

Mayor Ament called the meeting to order at 06:07 PM and led the Pledge of Allegiance.

3. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Deputy City Clerk Megan Godshall took the roll call as follows:

Present: Commissioner Schulpius, Commissioner Felda, Mayor Ament, Commissioner Gardner, Mayor Dave Ament

Excused: Commissioner Theodore Anderson

Absent: Commissioner Rafel, Alderman Stribl

Staff Present: City Attorney Mark Blum, DCD Director Greg Kessler, DCD Deputy Director Nikki Jones, Principal Planner Kelly Wall, Deputy City Clerk Megan Godshall

The Deputy City Clerk confirmed that a quorum was present and that the meeting was properly posted in compliance with open meetings law.

4. APPROVAL OF MINUTES

A. January 7, 2026 Meeting Minutes

MOTION: Motion to approve

VOTE: Motion by: Commissioner Schulpius
Second by: Commissioner Gardner
Motion Passed 4-0

5. NEW BUSINESS

- A. Discussion and possible recommendation to the Common Council approval of (7) KW RZ-2502434 Dianne Keller – 3820 S. Woelfel Road (Tax Key #: 1216.999.003) and adoption of Ordinance 2716 that approves the rezoning from A-1 & C-1 to A-2, R-1/R-2 & C-1.

MOTION: Motion to approve

VOTE: Motion by: Commissioner Schulpus
Second by: Commissioner Felda
Motion Passed 4-0

- B.** Discussion and possible action to recommend to Common Council approval of (7) KW LD-2502436 Dianne Keller - 3820. S. Woelfel Rd (Tax Key #: 1216.991.003) - 3-Lot Certified Survey Map.

MOTION: Motion to approve

VOTE: Motion by: Commissioner Schulpus
Second by: Commissioner Gardner
Motion Passed 4-0

- C.** Discussion and possible action to recommend to Common Council approval of (3) NJ LD-2502502 John Spitz with Western Contractors Inc. - 2445 S. 179th Street (Tax Key #: 1185.990) & 2345 S. 179th Street (Tax Key #'s: 1185.994 & 1185.991) - 1-Lot Certified Survey Map.

MOTION: Motion to approve

VOTE: Motion by: Commissioner Felda
Second by: Commissioner Schulpus
Motion Passed 4-0

6. PENDING

- A.** (3) KH CU-2502137 Welcome East Side LLC – 17200 W. Cleveland Avenue – Conditional Use Permit to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition. (Public Hearing 12/8/25)

Item not discussed

7. ADJOURN

MOTION: Motion to adjourn at 6:11 PM

VOTE: Motion by: Commissioner Schulpus
Second by: Commissioner Gardner
Motion Passed 4-0

**Respectfully Submitted,
Megan Godshall, Deputy City Clerk**

STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: Allan Ryan Bassett / CSM

LOCATION: 19540 W. Highland Drive (Tax Key #: 1277.001.001) and
Tax Key #: 1277.001.002.

REQUEST: 1-Lot Certified Survey Map

REVIEW SCHEDULE:

CSM Received:	4/1/2026
Completeness Determination:	4/1/2026
90-Day time limit expires:	6/30/2026
Final Common Council Action (expected):	5/12/2026

D.R.C. RECOMMENDATION: Recommend to Common Council approval of the 1-Lot Certified Survey Map located at 19540 W. Highland Drive (Tax Key #: 1277.001.001) and Tax Key #: 1277.001.002, subject to the application, plans on file and the following conditions:

1. Applicant shall correct all drafting errors and requested changes identified by Staff on the final CSM prior to the City signing.
2. A final copy of the CSM shall be submitted and reviewed prior to City signing. All owners and surveyor must sign prior to City signing the CSM. Surveyor Stamp is required.
3. The CSM shall be recorded with Waukesha County Register of Deeds prior to the issuance of any new zoning or building permits.
4. Applicant and/or new property owners shall apply for and obtain appropriate building, plumbing and electrical permits prior to any construction on any parcel.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of May 4, 2026

Allan Ryan Bassett / 1-Lot Certified Survey Map
19540 W. Highland Drive (Tax Key #: 1277.001.001) and Tax Key #: 1277.001.002

DATE STAFF REPORT PREPARED: April 2, 2026

APPLICANT / OWNER(S): Allan Ryan Bassett / Owner

REQUEST / DESCRIPTION OF PROJECT: Approval of the 1-Lot Certified Survey Map located at 19540 W. Highland Drive (Tax Key #: 1277.001.001) and Tax Key #: 1277.001.002.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 4/1/2026

DATE OF COMPLETENESS DETERMINATION: 4/1/2026

PRE-APPLICATION CONFERENCE HELD: No
Date(s) of Meeting(s): Several counter visits

CONCEPTUAL PLAN: Yes, CSM is attached.

SIZE OF DEVELOPMENT / PARCEL(S):
Lot 1 – 19540 W Highland Drive: 0.46 Acres
Lot 2 – Tax Key #: 1277.001.002: 0.36 Acres

CURRENT ZONING: R-3 (Suburban Single-Family Residential District)

CURRENT LAND USE: Single-Family Residential

PROPOSED ZONING: N/A

PROPOSED LAND USE: Joining vacant parcel with residential parcel.

PROPOSED LOT SIZE(S): 0.8101 Acres / 35,287 Square Feet (After CSM is recorded)

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: R-1/R-2	Land Use: Single-Family Residential
South: Zoning: R-3	Land Use: Single-Family Residential
East: Zoning: R-3	Land Use: Single-Family Residential
West: Zoning: R-3	Land Use: Single-Family Residential

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 19: Neighborhood I: National Avenue West

Planning Context / Vision / Development Policies:

Neighborhood I:

Vision:

- *The National Avenue West area, like the Western Area neighborhood (Neighborhood B), should be a regional model of rural development.*

Development Policies:

- *Develop the area immediately west of Calhoun Road as a gateway into rural western New Berlin. Permit the development of this area for a mix of commercial and residential uses, but require that commercial use to be oriented to a rural theme.*

Land Use

- *Future Land Use Map: Suburban Residential*

ZONING CODE (Chapter 275): Yes, this request is consistent with Section 275-33B(3) of the Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): Yes

REZONING REQUIRED: No

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No

Site Plan Required: Yes, a Certified Survey Map was submitted.

Architectural Review Required: No

PROPOSED ARCHITECTURE: N/A

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetland On Property: No

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: N/A

Floodplain: No

Topography / Geologic: Site slopes to the south.

BIKE & PEDESTRIAN FACILITIES PLAN: None identified.

PARK & OPEN SPACE PLAN: None identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): N/A

Woodland, Tree, and Vegetation Protection: N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

Environmental Impact: N/A

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: No

Basin Capacity Available: N/A

Adequate Linkage: N/A

Onsite System Required: Yes, a system in place serves the existing home.

WATER USAGE CALC.: No increase.

TRAFFIC IMPACT: N/A

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

1956 Existing home was built at 19540 W. Highland Drive.
1975 Addition

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

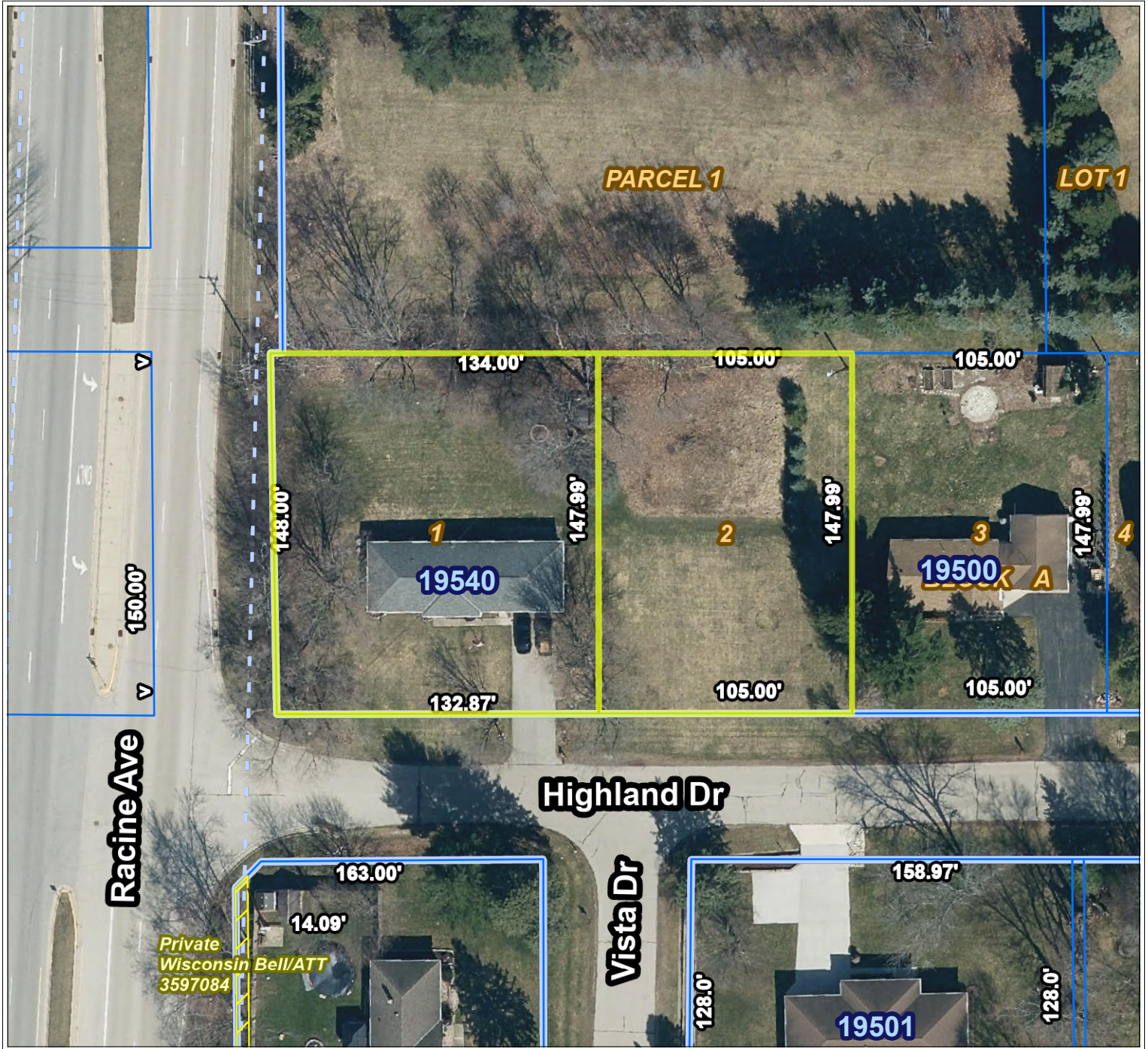
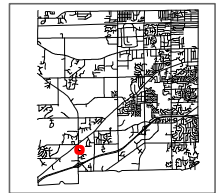
1. The lots are zoned R-3, Suburban Single-Family Residential District. Under Section 275-33D, the minimum lot size is 20,000 square feet and the minimum lot width is 110 feet. The proposed lot meets these requirements.
2. In 2016, the owner requested that the lots be un-joined and revert to Lot 1 and Lot 2 as originally platted. This became effective as of 1/1/2017.

STAFF RECOMMENDATION:

Recommend Council approval of the 1-Lot Certified Survey Map located at 19540 W. Highland Drive (Tax Key #: 1277.001.001) and Tax Key #: 1277.001.002 subject to the application, plans on file and the following conditions: **See Executive Summary.**

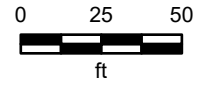
ATTACHMENTS:

Location Map
CSM



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

- | | |
|--------------------------|-----------------------------|
| Parcels | Wetland |
| Road Right-of-Way | Zoning Wetland Registration |
| Conservation Easement | Registered Wetland |
| Environmental Corridor | Outside Wetland |
| Floodplain FEMA DFIRM | Zoning Overlay |
| FEMA DFIRM - Zone A | PUD |
| FEMA DFIRM - Zone AE | Special Conditions Apply |
| FEMA DFIRM - 0.2% Chance | SPO |
| | Zoning Boundaries |



Scale is estimate - not survey

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

Certified Survey Map

A Combination of Lots 1 and 2 in Block A of Highland Meadows in the the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 6 North, Range 20 East, in the City of New Berlin, Waukesha County, Wisconsin

PREPARED FOR:

Allan Ryan Bassett
19540 West Highland Drive
New Berlin, Wisconsin 53146

SURVEYOR:

Phillip J. Landry, S-3176
Land Surveys Inc.
N19W24400 Riverwood Drive, Suite 350
Waukesha, Wisconsin 53188



N19W24400 Riverwood Drive Suite 350
Waukesha, WI 53188 (262) 312-1034
landsurveysinc.com

RACINE AVENUE / C.T.H. "Y"
(VAR. R.O.W.)

120.0'

Southwest Corner of the Northeast 1/4 of Section 32-6-20

S 00°29'12" E
988.25'
P.O.C.

Northwest Corner of the Northeast 1/4 of Section 32-6-20

1674.27'
West Line of the Northeast 1/4 of Section 32-6-20
N 00°29'12" W 2662.52'

Concrete Curb

(SOUTH)
N 00°29'12" W 148.00'

50.00'
1" I.P. Fd.
3.3' S
2.0' W

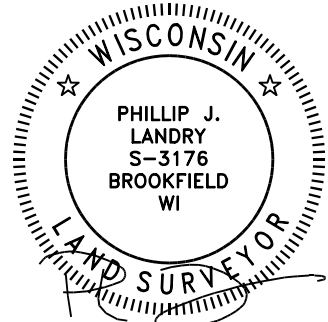
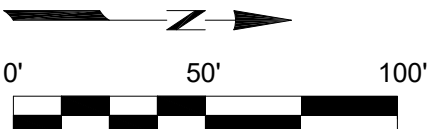
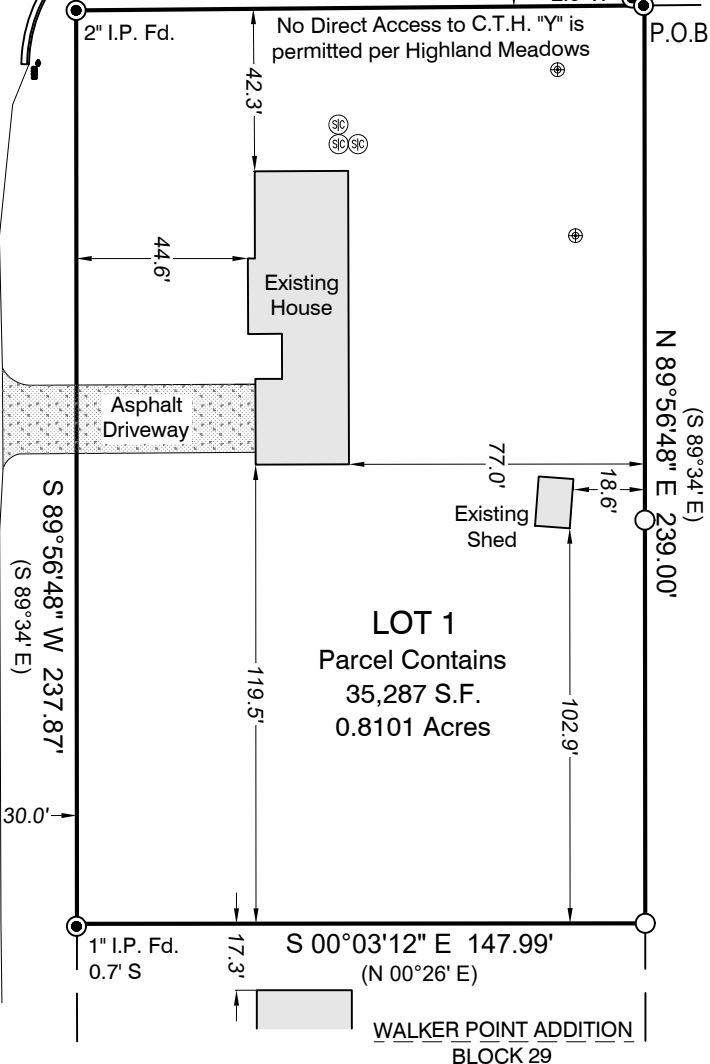
2" I.P. Fd.

NOTES:

1. BEARINGS ARE REFERENCED TO NAD 83/2011 IN WHICH THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 32, T 6 N, R 20 E, BEARS N 00°12'29" W.
2. NO WELLS FOUND IN HARVEST CANYON ESTATES WITHIN 50 FEET OF PROPERTY LINE.

LEGEND

- SEWRPC BRASS DISC IN CONCRETE
- 3/4"X18" IRON ROD SET 1.50Lbs./LINEAL FOOT
- IRON PIPE FOUND AS NOTED (Measured Outside Diam.)
- ⊙ SEPTIC COVER
- ⊕ SEPTIC VENT PIPE
- () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT



Certified Survey Map _____

A Combination of Lots 1 and 2 in Block A of Highland Meadows in the the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 6 North, Range 20 East, in the City of New Berlin, Waukesha County, Wisconsin

SURVEYOR'S CERTIFICATE:

I Phillip J. Landry, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a Combination of Lots 1 and 2 in Block A of Highland Meadows in the the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 6 North, Range 20 East, in the City of New Berlin, Waukesha County, Wisconsin, now being more particularly bounded and described and follows:

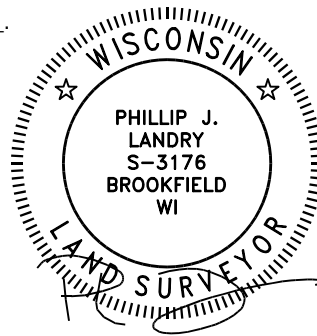
Commencing at the Northwest Corner of the Northeast 1/4 of said Section 32, thence South 00°29'12" East along the West line of said Section, 988.25 feet to a point on said West line; thence North 89°56'48" East, 50.00 feet to a point on the North Line of Highland Meadows and the Point of Beginning; thence continuing North 89°56'48" East along said North Line 239.00 feet to a point on the East Line of Lot 2 of Highland Meadows; thence South 00°03'12" East along said East Line, 147.99 feet to a point on the North Right-of-Way line of Highland Drive; thence South 89°56'48" West along said North Right-of-Way line, 237.87 feet to a point on the East Right-of-Way line of Racine Avenue/C.T.H. "Y"; thence North 00°29'12" West along said East Right-of-Way line, 148.00 feet to to the place of beginning of this description.

The gross area of said parcel contains 35,287 Square Feet or 0.8101 Acres of land more or less.

That I have made such survey, land division and map by the direction of Allan Ryan Bassett, owner of said land. That such map is a correct representation of all exterior boundaries of land surveyed and land division made thereof. That I have fully complied with the provision of chapter 236 of the Wisconsin Statutes and the Platting ordinance of the City of New Berlin in surveying, dividing and mapping same.

Dated this _____ day of _____, 20_____.

Phillip J. Landry PLS
Professional Land Surveyor S-3176



N19W24400 Riverwood Drive Suite 350
Waukesha, WI 53188 (262) 312-1034
landsurveysinc.com

Certified Survey Map _____

A Combination of Lots 1 and 2 in Block A of Highland Meadows in the the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 6 North, Range 20 East, in the City of New Berlin, Waukesha County, Wisconsin

MORTGAGE CERTIFICATE:

As mortgage holder of the herein described land, *(Bank Name)* _____, does hereby consent to the surveying, dividing, and mapping of the lands described in this map and to the certificate of Allan Ryan Bassett, as owner(s).

WITNESS the hand and seal of *(Bank Name)* _____, has caused this instrument to be executed by *(First Name)* _____ *(Last Name)* _____, its *(Title)* _____, and *(First Name)* _____ *(Last Name)* _____, its *(Title)* _____, in the *(Select One (1) City, Village or Town)* of *(City Name)* _____, Wisconsin, this _____ day of _____, 20_____ .

In the presence of:

(Bank Name)

(Print - First Name, Last Name and Title)

(Signature)

(Print - First Name, Last Name and Title)

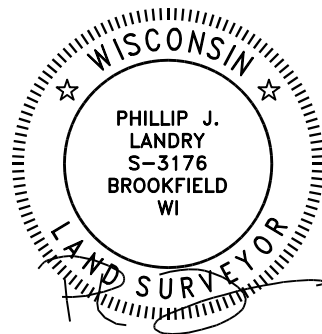
(Signature)

STATE OF WISCONSIN)
)ss.
County of _____)

Personally came before me this _____ day of _____, 20_____, *(First Name)* _____ *(Last Name)* _____, its *(Title)* _____, and *(First Name)* _____ *(Last Name)* _____, its *(Title)* _____, of the above named corporation, to me known to be the person(s) who executed the foregoing instrument, and to me known to be the *(Title)* _____ and *(Title)* _____ respectively of the corporation, and acknowledged that they, he, or she executed the foregoing instrument and acknowledged the same.

Print Name _____
Notary Public, _____ County, WI.

My Commission Expires: _____



N19W24400 Riverwood Drive Suite 350
Waukesha, WI 53188 (262) 312-1034
landsurveysinc.com

Certified Survey Map _____

A Combination of Lots 1 and 2 in Block A of Highland Meadows in the the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 6 North, Range 20 East, in the City of New Berlin, Waukesha County, Wisconsin

CITY OF NEW BERLIN PLAN COMMISSION APPROVAL:

Approved by the Plan Commission of the City of New Berlin on this _____ day of _____, 20_____.

David Ament, Plan Commission Chairman

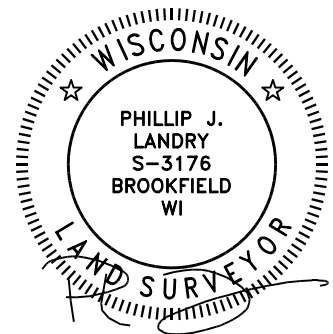
Nikki Jones, Secretary/Deputy Director of Community Development

CITY OF NEW BERLIN COMMON COUNCIL APPROVAL:

This Map, being a part of the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 6 North, Range 20 East in the City of New Berlin, Waukesha County, Wisconsin, having been approved by the Planning Commission being the same, is hereby approved and accepted by the Common Council of the City of New Berlin on this _____ day of _____, 20_____.

David Ament, Mayor

Rubina Medina, Clerk



LAND SURVEYS INC.

N19W24400 Riverwood Drive Suite 350
Waukesha, WI 53188 (262) 312-1034
landsurveysinc.com

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: Nick Petit with Trierweiler Construction & Supply Co. Inc. on behalf of WisDOT / Temporary Mobile Concrete Batch Plant

LOCATION: 6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011 & 2182-999-013) (Johnson Sand & Gravel)

REQUEST: Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to set up a temporary mobile concrete batch plant, located at 6600-6666 S. Crowbar Road.

D.R.C. RECOMMENDATION: Public hearing and possible action to approve a Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to temporarily construct a mobile concrete batch plant, located at 6600-6666 S. Crowbar Road, subject to the application, plans on file and the following conditions of approval:

1. Planning:

- a. Plan of operation shall be consistent with submitted plans on file.
 - i. This batch plant is temporary and shall only be used to supply concrete material for the WisDOT I-43 Rock Freeway construction project. No other projects shall be supplied by this batch plant.
- b. Upon project completion, all mobile batch plant equipment shall be removed from the site.
- c. Typical hours of operation for road construction are 7am to 7pm Monday thru Friday and 8am to 5pm Saturday. Should the Plan Commission approve this permit, the batch plant hours of operation would be 6am to 8pm Monday through Saturday. The premises shall be closed on Sunday and Holidays.
 - i. Any expansion of the hours for this batch plant shall require Plan Commission review and approval, including night time hours.
- d. Applicant shall sign the Zoning Permit.
- e. All machinery and equipment will be operated in such a fashion so as to keep the site in a reasonably dust-free condition and to minimize smoke, air pollution, noise and vibration. Compression Brake usage shall be prohibited, unless required in an emergency.
- f. All permanent and temporary signs require a Sign Application to be filed prior to installation.
- g. Private water supply wells meeting the requirements of the Wisconsin Department of Natural Resources will also be required.
- h. The property, which is located outside of the current MMSD Sewer Service District, will require private on-site waste treatments sites (POWTS) that will meet Waukesha County requirements. Applicant shall coordinate with Waukesha County and WDNR for septic and well permits.
- i. Apply and obtain appropriate electrical permit for any electrical work to be done in conjunction with this batch plant operation.
- j. The State will provide information for the project representative to address concerns 24/7 during the course of the project.
- k. This permit shall expire on December 31, 2028. If the applicant needs additional time, they shall submit a written request for an extension.

2. Engineering:
 - a. All material shall be contained on site.
 - b. On days of heavy trucking, contact the City Engineer so that Mayor and Alderman of the district can be notified if necessary.
 - c. Operator shall abide by DNR erosion control measures.
 - d. Project trucking shall use only County and State highways.
 - e. When the batch plant is in operation, the applicant shall use measures to keep dust and tracking minimal and under control.
 - f. There shall be no net increase in the amount of material left behind on site when the project ends. All materials that come into the site shall be removed from the site.
 - g. All roadways identified on the haul route are arterials and viable truck routes. Regardless, be considerate to residents and drive courteously.
 - h. No engine breaking is allowed within City Limits by Ordinance.
 - i. The truck route for the temp batch plant is identified as north on Crowbar Road, west on National Ave and south on Hwy 164 to I-43. If this route needs to change, notice shall be provided to the City.
3. Building:
 - a. All work must comply with the commercial building code requirements (2021 IBC). No building permit required.
 - b. An electrical permit may be required. Please contact the New Berlin Commercial Electrical Inspector.
4. Streets:
 - a. Any off-site debris tracking shall be swept clean as soon as possible.
 - b. Two – 2A-10BC rated fire extinguishers on site.
 - c. Maintain ingress and egress.
5. Fire:
 - a. Fire extinguishers on site and vehicles.

DETAILS IN ATTACHED STAFF REPORT

**CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT**

Meeting of May 4, 2026

**Nick Petit with Trierweiler Construction & Supply Co. Inc. on behalf of WisDOT / Temporary
Mobile Concrete Batch Plant
6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011 & 2182-999-013) (Johnson Sand &
Gravel)**

DATE STAFF REPORT: February 19, 2026

APPLICANT / OWNER(S): Nick Petit with Trierweiler Construction & Supply Co. Inc. on behalf of WisDOT / Temporary Mobile Concrete Batch Plant

REQUEST / DESCRIPTION OF PROJECT: Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to set up a temporary mobile concrete batch plant, located at 6600-6666 S. Crowbar Road.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 2/2/2026

DATE OF COMPLETENESS DETERMINATION: 2/2/2026
Application Check List Enclosed: N

PRE-APPLICATION CONFERENCE HELD: Yes, via phone call.
Dates of Meetings: N/A
Site Visit: 3/13/2026

CONCEPTUAL PLAN: Yes

SIZE OF DEVELOPMENT / PARCEL(S):
Tax Key #: 2182-999-001 - 24.27 Acres
Tax Key #: 2182-999-013 – 35.10 Acres

CURRENT ZONING: Q-1 (Quarrying and Extractive District) & C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE: Johnson Sand & Gravel & Schmitz Redi-Mix

PROPOSED ZONING: N/A

PROPOSED LAND USE: Office and shop for Schmitz Redi-Mix

PROPOSED LOT SIZE (S): N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

<i>North:</i> Zoning: R-1/R-2/I-1	Land Use: Single-Family Residential/Living Word Church/I-43
<i>South:</i> Zoning: C-1	Land Use: Conservancy / Tans Drive / City of Muskego
<i>East:</i> Zoning: Q-1/C-1	Land Use: Johnson Sand & Gravel
<i>West:</i> Zoning: Q-1/C-1	Land Use: Johnson Sand & Gravel

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes, below is a review of the social, economic and physical factors outlined in the various sections of the Plan:

Chapter 20: Neighborhood J – The Highway Interstate 43 & Racine Avenue interchange: Yes, this submittal meets the intent of this Chapter.

Planning Context / Vision / Development Policies:

Vision:

- *This area will be a third job center for the City of New Berlin. It will be a mix of light manufacturing, office, small-scale retail, and restaurant/hotel uses, much like Westridge, but on a smaller scale.*

Development Policies:

The City recognizes the long-range potential of this area for job producing business uses.

Land use:

- *Future Land Use Map: Quarry*

ZONING CODE (CHAPTER 275): Yes, this request is consistent with the current zoning district outlined in Section 275-37B(1) of the City's Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: Yes

CONDITIONAL USE REQUIRED: Yes

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No

Site Plan Required: Yes

Architectural Review Required: N/A

PROPOSED ARCHITECTURE: The applicant is looking to set up a temporary mobile concrete batch plant.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetlands on Property: No, not in the vicinity of the mobile concrete batch plant.

Conservancy Districts (C-1, C-2): Yes, C-1.

NRCS Map Classification: Not Inventoried.

Floodplain: No

Topography / Geologic: Site location of the mobile concrete batch plant is fairly flat.

ALTERNATIVE TRANSPORTATION PLAN: No improvements identified.

PARK & OPEN SPACE PLAN: No improvements identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Shown on plans. No trees will be disturbed.

Woodland, Tree, and Vegetation Protection: N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: No impact.

STORM WATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin codes, ordinances and plans regarding storm water conveyance and maintenance and/or as

identified by the Department of Community Development. There is a storm water permit for the overall Johnson Sand & Gravel site. Trierweiler Construction also holds a current and valid plant WPDES general permit for wastewater runoff.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: No

Sewershed Capacity Available: N/A

Adequate Linkage: N/A

Onsite System Required: Yes – applicant will utilize portable restrooms if needed.

WATER USAGE CALCULATION: Applicant is proposing to utilize water onsite, either well water or from the pond.

TRAFFIC IMPACT: Slight increase is possible with this mobile temporary batch plant. See Findings section for more information.

Schmitz Redi-Mix trucks operates a batch plant at this location. DCD Staff contacted the current operator on 5/23/2023 to discuss their current operations. Their operations are consistent with what the City has on file.

SCHOOL DISTRICT IMPACT: No impact.

PREVIOUS ACTION: (Specific to past Temporary Batch Plant requests for similar projects.)

5/2/2005	Plan Commission approved two temporary concrete batch plants.
7/9/2007	Plan Commission approval of CU-5-07, Johnson Sand & Gravel set up a temporary batch plant to support a WisDOT project for Moorland Road reconstruction.
1/7/2013	Plan Commission approved U-99-01 an amendment to the Schmitz Ready mix, Inc. plan of operation to allow for temporary overnight work hours.
6/5/2023	Plan Commission approved a Conditional Use request. A public hearing was held.
2/5/2024	Plan Commission reapproved the request as the project.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. The zoning district is Q-1, Quarrying and Extractive District.
2. This application is for a temporary permit to conduct one (1) concrete batch plan operation. The application is seeking the approval to supply ready-mix concrete for the local WisDOT project for the reconstruction of Moorland Road
3. The site currently functions as a source of sand and gravel, operated by Johnson Sand & Gravel, Inc. providing those products to local communities.
4. Duration: the application is looking for operation from May 1, 2026 through July 1, 2028. The contractor will set up spring of 2026 and will take down by no later than December 31, 2028.
5. Roughly 80 production days will be required during the two-year project. With approximately 40 per year.
6. Trucks coming to the site will vary daily depending on work operation and logistical needs. Smaller production days 5 to 10 trucks and larger days 15 to 25 trucks. This is a count of raw materials in (aggregate and cement) and final product out. The number of employees on site will generally be 2 to 3. On paving days, we will have 15-20 trucks total hauling concrete. Total paving days for this project is 45 days. On days they are doing hand work, they will have 4-5 trucks. Total hand work days is 45 days.
7. There will be approximately three to fifteen employees on the ready-mix concrete operation teams.
8. Hours of Operation.
 - a. Schmitz Ready Mix hours of operation per their permit are 6:30 AM to 6:30 PM Monday through Friday; and Saturday's 6:30 AM to 2 PM. No Sunday's or holidays at this time.

b. Trierweiler Construction & Supply Co. Inc. would like to have the hours for this request match the Moorland Road Project hours, generally they would start up the plant at 6:00AM and be done by 8:00PM. There is the potential for longer shifts on big production days in efforts to advance the project schedule as much as possible. Right now, they don't anticipate any true overnight work. See Conditions for any work outside of these business hours.

9. Sample pictures of the temporary mobile batch plant:



D.R.C RECOMMENDATION:

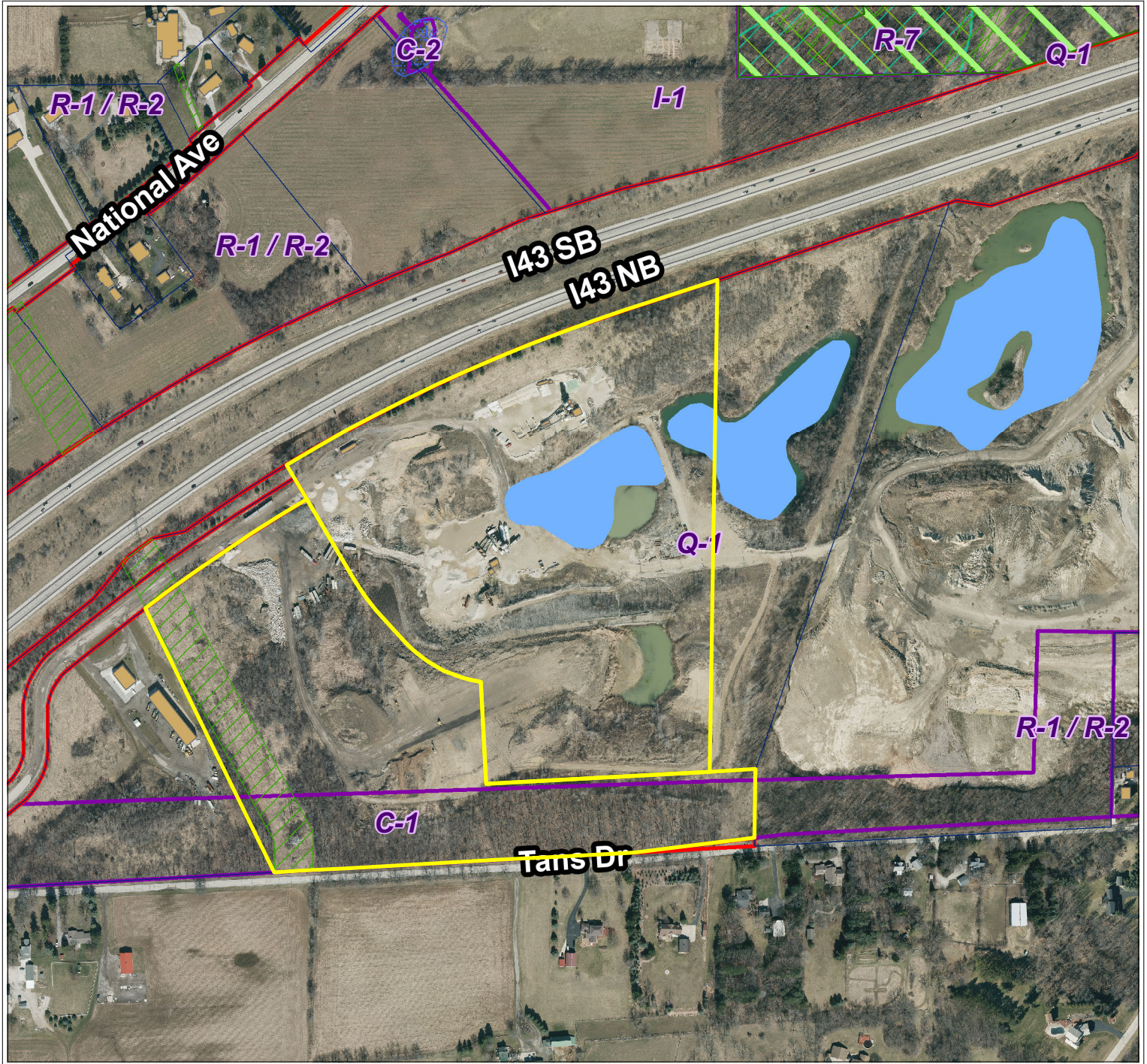
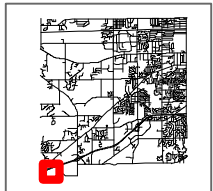
Public hearing and possible action to approve a Conditional Use Permit for Trierweiler Construction & Supply Co. Inc. to temporarily construct a mobile concrete batch plant, located at 6600-6666 S. Crowbar Road, subject to the application, plans on file and the following conditions of approval: **SEE EXECUTIVE SUMMARY.**

ATTACHMENTS:

- Location Map
- Plan of Operation / Site Plan

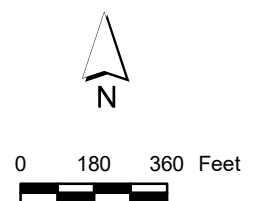


CU-2600296
Trierweiler Constriction & Supply Co. / WisDOT
Temporary Mobile Concrete Batch Plant
6600-6666 S. Crowbar Road (Tax Key #'s: 2182-999-011
& 2182-999-013) (Johnson Sand & Gravel)



City of New Berlin
 Department of Community Development
 3805 S Casper Dr.
 New Berlin WI 53151
 (262) 797-2445
 www.newberlin.org

Legend	
	Parcels
	Road Right-of-Way
FEMA Flood Zone (2023)	
	FEMA Flood - Zone A
	FEMA Flood - Zone AE
	Zoning Boundaries
Zoning Wetland Registration	
	Registered Wetland
	Outside Wetland
Environmental Corridor	
	Isolated Natural Resource Area
	Primary Environmental Corridor
	Secondary Environmental Corridor
	Wetland
Sewer Service Area (MMSD)	
	Current
	Ultimate



The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.



W220 S6700 Crowbar Drive
Muskego, WI 53150
262/679-4400
Fax 262/679-5565

To Whom It May Concern,

Johnson Sand & Gravel, Inc. hereby grants our permission for Trierweiler to set up and operate a batch plant at our Crowbar Road facility, located at 6700 Crowbar Drive. Trierweiler is a representative of Johnson Sand & Gravel on behalf of the CUP that is being submitted.

If you have any questions or require additional information, please contact Randy Johnson at 414-333-9857.

Sincerely,

A handwritten signature in cursive script that reads "Randy Johnson".

Randy Johnson

Johnson Sand & Gravel, Inc.

TRIERWEILER

CONSTRUCTION & SUPPLY CO. INC.

Heavy & Highway Contracting



I43 Rock Freeway – Conditional Use Permit

2916 South Cherry Ave
Marshfield WI 54449
(715) 387-8451

TRIERWEILER

CONSTRUCTION & SUPPLY CO. INC.

Heavy & Highway Contracting

2916 South Cherry Avenue

Marshfield, WI 54449

Phone 715-387-8451

Fax 715-384-5599

April 15th, 2025

New Berlin
Plan Commission

Subject: Special Exception; Tax Key NBC 2182999011

Trierweiler Construction, as agent on behalf of S & J Development (property owner), is submitting the enclosed applications, drawings, and supporting documentation for your review regarding the proposed temporary ready mix concrete plant on a portion of the property listed above.

Contact Information

Site:

Tax Key: NBC 2182999011
Legal Description: See Attached
New Berlin, WI 53150

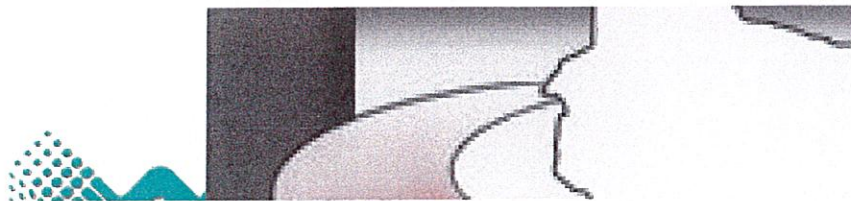
Property Owner:

S & J Development
W220S6700 Crowbar Dr
Muskego, WI 53150

Sincerely,

Nick Petit

Trierweiler Construction & Supply Co., Inc.
Nick Petit
715-240-0315
nick@tpaving.com



An Equal Opportunity Employer

Table of Contents

- Introductions & Intentions
- Written Brief
- Closing Statement
- Conditional Use Permit Application
- Developer's Deposit Finance Form
- General Overview Location Map
- Property Owners Overview
- Scaled Site Layout
- DNR Surface Water Map
- Contour Map
- Pollution Prevention & Spill Response Plan
- Plant Overview
- Legal Description
- Trucking Route

Introduction & Intentions

Ready Mix Concrete

Ready mix concrete (RMC) is an essential building material for use in a variety of civil construction projects such as buildings, roads, bridges, and a variety of other structures. As the Wisconsin Department of Transportation (WisDOT) and a variety of other municipalities continue efforts to update and expand Mooreland Road in Waukesha County, the demand for a locally available and economical option for the production and distribution of RMC is critically important to on-time and on-budget projects to reduce the costs to taxpayers and impacts on commuters for these projects.

Based upon the availability of some ingredient aggregate materials nearby as well as the proximity to the awarded construction work, the Johnson Sand and Gravel site on Crowbar Drive offers an ideal location for the staging of a portable, temporary RMC plant to be used on the I43 Rock Freeway construction project. Trierweiler Construction is requesting this special exception permit beginning on April 1st, 2026, to July 1st, 2028.

Sitting

The site, consisting of Tax Key NBC 2182999011, is currently being used as a gravel pit. The special exception permit area is approximately 5 acres in size, for the exact location and layout please see the attached map. No building or structure beyond the mechanical equipment is proposed as part of the application. The RMC batch plant will be temporary and portable in nature to be located adjacent to where the aggregate stockpiling is occurring.

Site Preparation

No site prep will be needed as it has a gravel floor already. Once work on the WisDOT projects is completed the temporary batch plant will be removed and the site will be left to its original condition.

Operation Description

The proposed temporary/ portable installation of an RMC plant would be utilized to mix concrete and load trucks for the I43 Rock Freeway Project. The exact number of employees varies between 3 and 15 on the RMC operations team. Access to the site will be via the existing driveway currently in use. Parking for the operators will be adjacent to the plant. Operational periods will include generally daytime operating hours (6:00 AM – 8:00 PM) during weekdays and intermittent operation during weekends only as project demands necessitate.

Outdoor storage would consist of piles of aggregates and sand stored within the existing site. Cement materials would be stored in portable enclosed bins and handled in such a manner to minimize any dust exposure. Activities conducted outdoors at the site would include the staging, handling, and mixing of materials, loading of delivery trucks, and washout of trucks. Domestic waste generation would be handled by an onsite dumpster that is regularly emptied by a local waste management service.

Zoning and Setbacks

The plant will be sited on the property to adhere to all setbacks as set forth in the current City of New Berlin zoning regulations that govern the property. See attached mapping for the proposed location within the property.

Erosion Control/ Storm Water Management

As part of participating in WisDOT construction work, strict environmental and erosion control standards must be adhered to and are regularly monitored by WisDOT project staff. Trierweiler Construction also holds a current and valid plant specific WPDES general permit for wastewater runoff.

Noise

The noise emitted by the plant's operations will be less than or equal to the current noise generated by the traffic on I43. Additionally, the plant will only be in operation for approximately 40 total days per year duration the 2 year project.

Dust Control .

Dust will be controlled through the use of enclosed bins for the storage of fine particle materials such as cement. Water is used extensively around the plant site during plant operations as needed to control the dust of the moving trucks. Water as well as sweeping is used on any adjacent roads to control both dust and any debris that may track on to public roadways.

Lighting

If operations occur at night, outdoor lighting will be provided by portable lighting plants for the purpose of employee visibility and safety. The lights would be operated only during periods of night-time operation and as needed for visibility and safety. To mitigate impacts to neighboring residences and roadways, the lights will be directed away from property lines, neighboring parcels, and roads.

Written Brief

The granting of the special exception for the placement of the temporary concrete batch plant is well within the spirit of the ordinance. The placement of the concrete plant will not be a nuisance to neighboring property owners, through noise, dust, or any aspect of public safety. The plant will not affect property values of neighboring properties as it will be temporary, and the property will go back to its original use once construction is completed. The property is not in a flood plain and no wetlands or forest resources will be affected by the proposed plant. Lastly, the siting of the plant at this location will provide the most effective and efficient use of taxpayer's funds by allowing the close proximity of the plant to reduce travel and trucking costs, which in turn reduces the time necessary to complete the work. The reduced cost in terms of both money and user delay due to construction is a win-win for the traveling public.

The granting of the special exception will be in the best interest of both the local population as well as the travelling public. The plant will be situated in a rural area near the project and near the WisDOT project it is intended for. This placement will greatly limit the amount of time the loaded concrete trucks are on the open road and maximize their travel directly to the project, therefore minimizing potential conflicts with the travelling public. Additionally, the drivers at Trierweiler Construction take pride in their driving with common sense and safety when on the road. The general welfare, public health, or safety of the local population will not be significantly impacted due to the placement away from a populated area along with the efforts made by Trierweiler Construction to limit dust through contained storage tanks, the use of water (as mentioned below), and emission of comparable amounts of background noise caused by the Interstate.

Trierweiler Construction makes every effort to be good neighbors, and part of being good neighbors is making our best effort to eliminate as much as possible any issues with noise, dust, smoke, and odors. The noise made by the concrete plant is comparable to the current level of noise created by normal traffic on the I43. The noise created by the other equipment and concrete trucks is similar in nature to the other construction equipment that will be operating in the gravel pit. Dust will be controlled using storage tanks for the cement and fly ash, and water in and around the plant site as needed to prevent dust. As stated below, odor will be eliminated through regular and timely emptying of the waste storage facilities by a local waste management company.

Trierweiler will follow all city and county ordinances along with any town ordinances that apply to this Conditional Use Permit.

Our request will not impact public health, safety or general welfare.

The noise emitted by the plant's operations will be less than or equal to the current noise generated by the traffic on I43. Additionally, the plant will only be in operation for approximately 80 total days during the 2-year duration of the project to complete the concrete paving work.

Dust will be controlled through the use of enclosed bins for the storage of fine particle materials such as cement. Water is used extensively around the plant site during plant operations as needed to control the dust of the moving trucks. Water as well as sweeping is used on any adjacent roads that to control both dust and any debris that may track on to public roadways

Granting this special exception to Trierweiler Construction provides an important service to the community because it is the most prudent choice to preserve taxpayer dollars. The ability to locate the temporary concrete plant as close as possible to the project allows the contractors the ability to provide the most competitive pricing to the Department of Transportation and in turn the best value to the Wisconsin taxpayers. The close location to the project also limits the amount of on road traffic by construction vehicles which minimizes any potential issues with local traffic. Lastly the efficient repair and replacement of the I43 Rock Freeway will provide economic impacts to the local communities by safer and more efficient travel, and one of the most efficient ways to complete the construction in a timely manner is the close placement of equipment and materials to the project.

Closing Statement

Trierweiler Construction (agent) on behalf of S&J Development (property owner) is submitting the enclosed Conditional Use Permit for the proposed temporary ready-mix concrete batch plant along with the required fees and attachments. We are requesting approval for the operation from May 1st, 2026 to July 1st, 2028 in support of the WisDOT I43 Rock Freeway projects. If you have any questions or concerns, or require additional information, or clarification, please feel free to contact me via the contact information listed on the front page.

Sincerely,


Nick Petit

Trierweiler Construction

Trierweiler Site

Write a description for your map.

Legend

-  TCI Plant Site



Property Owners Overview

Write a description for your map.

Legend



Plant Site Layout

Write a description for your map.

Legend

Water Source For Plant



Memory Care of New Berlin

Google Earth

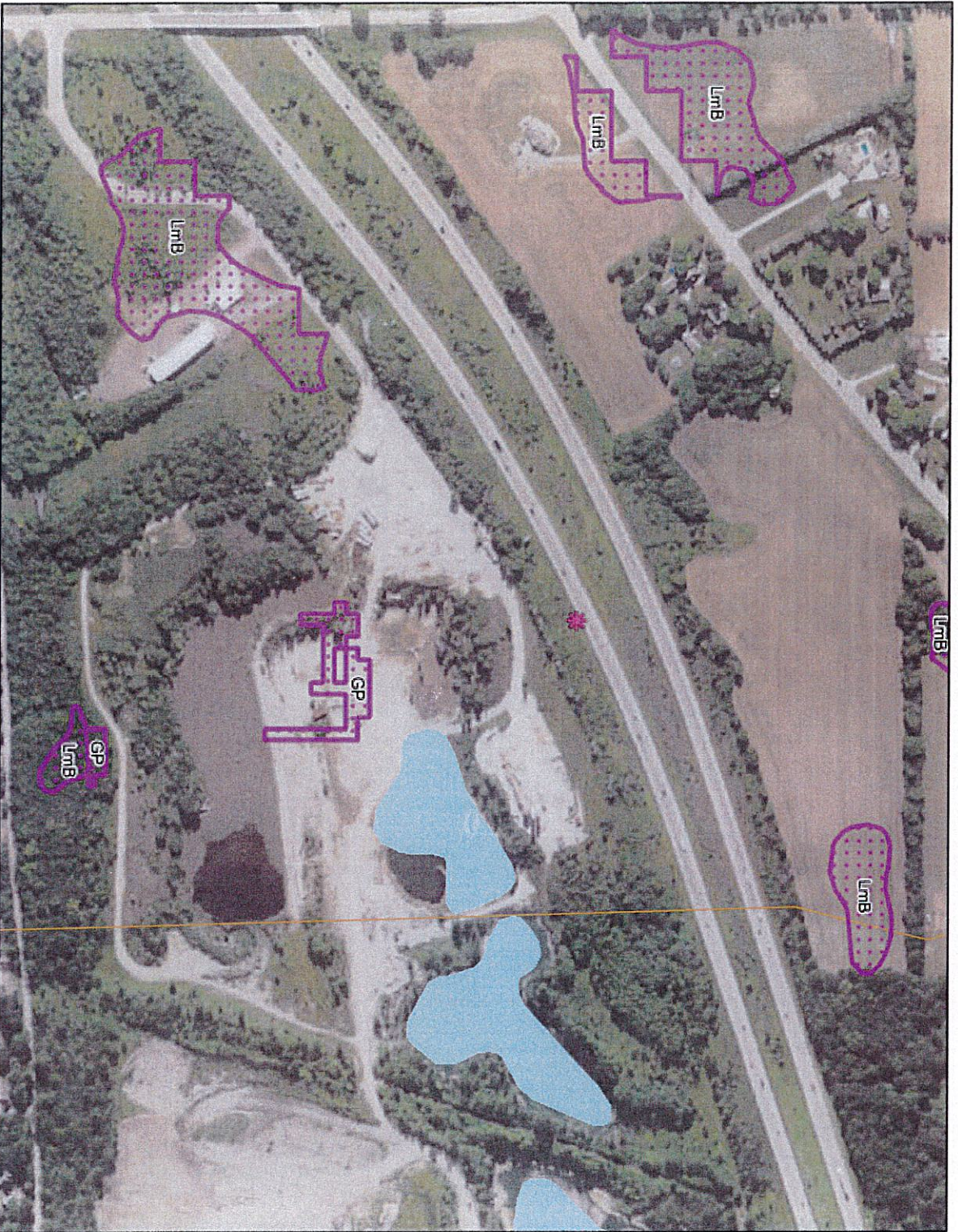
Image Landsat / Copernicus

500 ft





WV: Surface Water Data Viewer (SWDV_VS_App)



- Legend:** (Some map layers may not be displayed)
- Watersheds
 - USDA Wetspots
 - Wetland Indicators
 - Open Water
 - Open Water
 - 24K Lakes and Open Water
 - Latest Leaf On Index
 - Latest Leaf On Imagery

Notes:

Service Layer Credits:
 Wetland Indicators & Soils¹, Surface Water Data Viewer Team, DNR Basic Feature VTL (WTL): Wisconsin Department of Natural Resources, GIS Section, Latest Leaf On², Priority Navigable Waterways: Waterway Protection, WDNR, Surface Water (Cached): WDNR, USGS, and other data

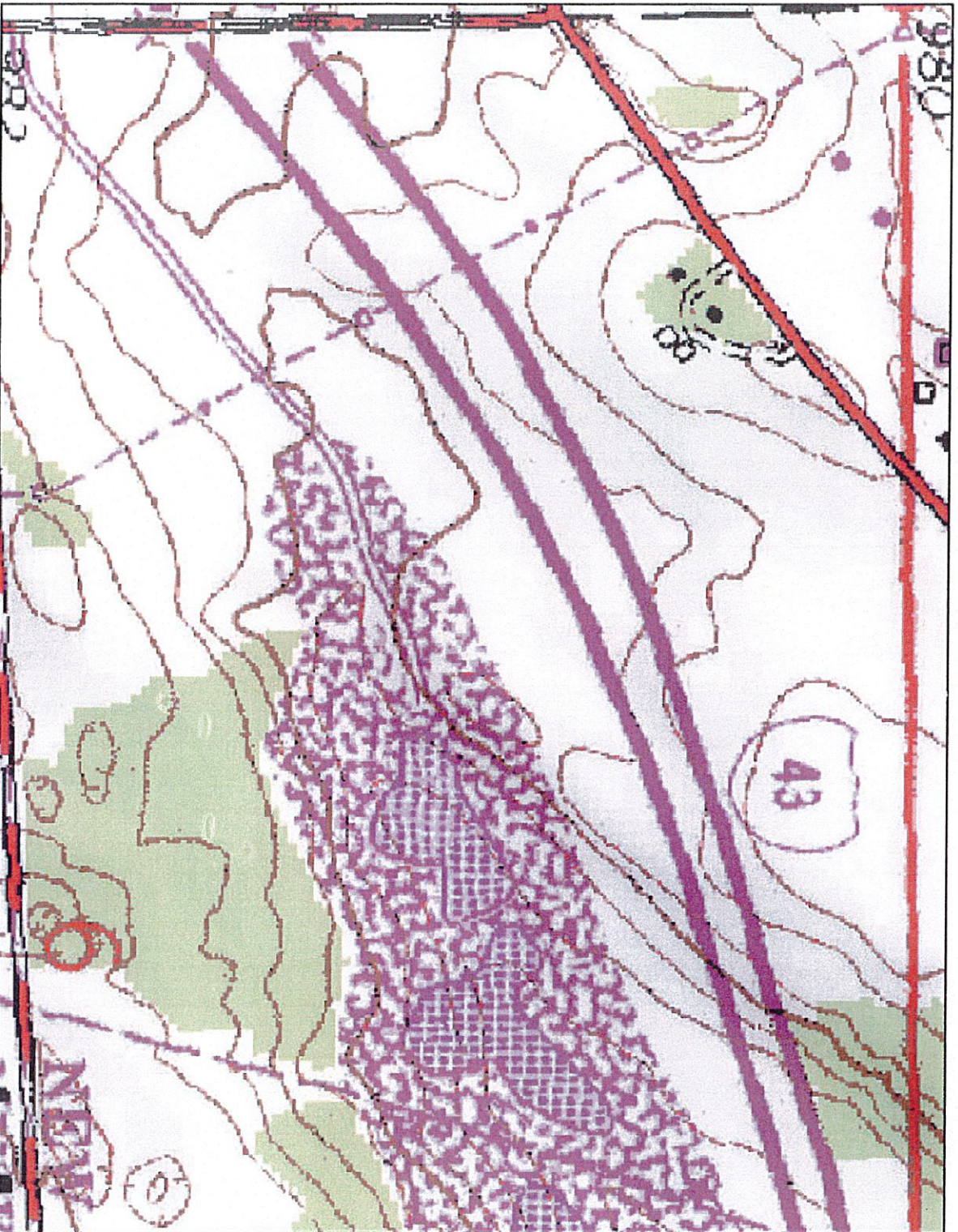
Map projection: NAD 1983 HARN Wisconsin TM

This map is a product generated by a GIS web mapping application.
 This map is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The user is solely responsible for verifying the accuracy of information before using for any purpose. By using this product for any purpose user agrees to be bound by all disclaimers found here: <https://dnr.wisconsin.gov/legal>

Date Printed: 2/2/2026 6:42 AM



WY: Surface Water Data Viewer (SWDV_VS_App)



Service Layer Credits:
 DNR Basic Feature VTL (WTM); Wisconsin Department of Natural Resources, GIS Section, Latest Leaf On;
 Topographic Maps:

Map projection: NAD 1983 HARN Wisconsin TM

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Date Printed: 2/2/2026 6:45 AM

Legend: (Some map layers may not be displayed)
 24K USGS DRGS

0
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8
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10
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12
Hill Shade
85.00000001 - 93
93.00000001 - 102
102.00000001 - 110
110.00000001 - 119

Notes:



TRIERWEILER

CONSTRUCTION & SUPPLY CO. INC.

Ground Water and Storm Water

Pollution Prevention and Spill Response Plan

For

Temporary Concrete Batch Plant

Purpose and Scope

This pollution prevention plan concentrates on identifying potential pollutants at the work site, and adopting management practices that eliminate their contact with sensitive waters of the state. The primary focus of this plan is to provide education for field employees, thereby reducing human error as a contributor to environmental pollution.

I. Potential Pollutants

A. #2 Fuel Oil

1. Spills during equipment refueling
2. Bulk Shipment deliveries – overfill
3. Broken or leaking fuel lines and hoses

B. Lubricating Oils

1. Overfilling gearboxes
2. Leaking seals and mechanical equipment
3. Engine breather pipes
4. Spills during oil changes
5. Improper storage of oil inventory

C. Grease

1. Over greasing bearings and wear surfaces
2. Improper disposal of cleaning towels

D. Antifreeze

1. Leakage from damaged radiators

2. Overfill/Spill

E. Sediment

1. Runoff not contained on site
2. Poor operating techniques

II. Implementation of Best Management Practices (BMP)

A. Education

1. The pollution prevention plan is reviewed at the Trierweiler annual safety meeting. The intent of the plan is stressed, changes or improvement are noted. Field employees discuss the plan, and exchange ideas for potential plan improvement. Any new ideas that contribute to the intent of the plan are included in the written pollution prevention plan for the next year.
2. Information about the importance of pollution prevention is routinely stressed at scheduled tailgate safety meetings. Topics for discussion include safe petroleum product handling, proper maintenance procedures and routine inspection of the equipment during operation. Personnel are encouraged to take a pro-active role in prevention of spills. Good housekeeping practices are stressed for control of minor drips and leaks from daily maintenance and operation.

B. Inspection and Supervision

1. The temporary Concrete Batch Plant is routinely inspected each day of operation to ensure that all equipment is functioning properly, all valves are closed, and significant materials are properly stored and secure.
2. Fuel Transfers are supervised to ensure that spills do not occur. Plant personnel assist tanker drivers as needed to provide safe and effective transfer of fuels.
3. Refueling of the Batch Plant equipment is monitored at all times to eliminate overfilling.

C. Communication and Response

1. The emergency response plan for spills is posted in the repair trailer for the Batch Plant operations. Employees are aware of the location of the listing and follow the outlined procedure in a spill situation.
2. Plant personnel respond immediately to a spill situation to mitigate effects and isolate/control source of spill. Operations are immediately shut down when necessary to redirect on-site resources and manpower in spill response.

3. Company contact personnel and emergency phone numbers are posted in the repair trailer to provide operators with immediate access to company support. Contact with Jeremy Iwanski is established as soon as possible after the spill so that proper reporting requirements can be met.

D. Selection of Plant Sites

1. Environmental impacts in equipment and work areas are considered prior to set up in and location.

2. Whenever possible, Batch Plant equipment is located in a pit or quarry that provides natural, on site containment of storm water runoff, and ample protection for sensitive ground water supplies.

3. In locations where there is increased environmental sensitivity because of proximity to receiving waters, lack of natural containment, or other critical factors, berms or diking will be constructed that will contain runoff or protect a potential spill from releasing into the ground water in the immediate equipment area.

E. Petroleum Product Storage

1. All fuel tanks shall have drip pans or absorbent material available for nozzle storage between refueling. Tanks and hoses are inspected daily for integrity and any problems are corrected.

2. Lubricants and grease are stored in the repair or service trailer until needed. The storage area is secured at the end of each operating cycle.

3. Drip pans and contaminated absorbent material are replaced at the end of each work shift and at the onset of precipitation to eliminate ground water and surface water exposure to petroleum products. Containers are located in the service trailer for storage of used absorbents and other cleanup materials.

4. Used oil and grease from equipment service and repair is stored inside the plant service trailer until collected for off-site disposal.

F. Repair and Maintenance

1. Engines and gearboxes will be inspected and fully serviced as needed during the off-season to eliminate leaking seals, fuel lines, and gaskets. Leaks that develop during operations are contained by drip pans, absorbents, or other acceptable means, until company maintenance personnel repair the problem. In cases where continued

operation may cause uncontrollable fluid losses, plant operations will cease until the problem is corrected.

2. Batch Plant employees are instructed in proper lubrication procedures for plant equipment. Manufacturer's specifications are followed to eliminate over-fills of gearboxes and crankcases. Greasing of bearings and wear surfaces is carefully monitored to eliminate unnecessary grease contact with the ground. Overflow from bearings is collected and disposed of with contaminated absorbent material.

3. Routine engine oil changes are done with adequate absorbent material to provide for drips and spills associated with maintenance operations. Waste oil is stored in spill proof containers until picked up for off-site disposal.

4. Any leaks that develop during the course of operation may, at the foeman's discretion, be contained with drip pans or petroleum absorbent material, as long as plant operation ceases prior to a storm event and containment vessels are cleaned and free of petroleum to prevent contact with ground water or storm water.

5. Repair and maintenance procedures are conducted in the shop, service trailer or outside with adequate containment for degreasing and cleaning. Petroleum absorbent material is available as needed to supplement containment.

G. Use of Available Resources

1. Housekeeping supplies, including drip pans and absorbent materials, are kept on inventory in the repair trailer at all times. All plant personnel have access to these materials, and are instructed in their use. Additional booms or pads are available upon request.

2. All plant personnel are available to respond to petroleum spills as needed. Other resources may be mobilized to mitigate the effects of a petroleum release, such as subcontractors, additional equipment, or additional personnel.

3. If necessary, plant loading equipment may be used to construct temporary berms or place aggregates for absorbing free flowing liquids. Loading equipment can also be used for backfilling or removing impacted soils or aggregates.

H. Construction of Containment

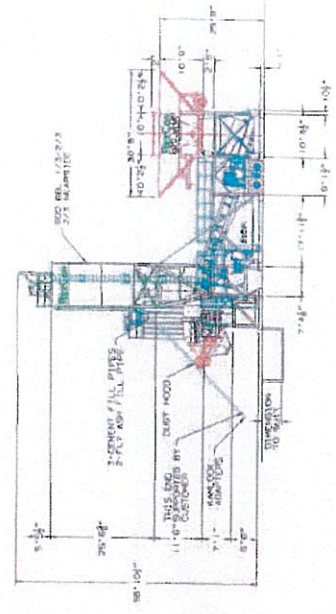
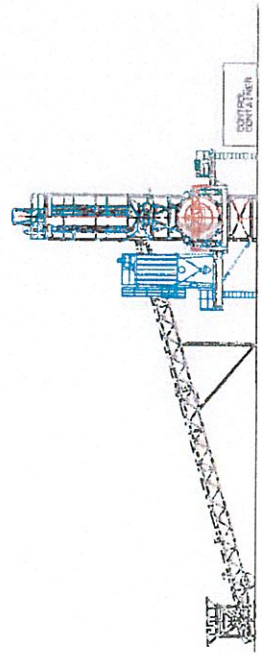
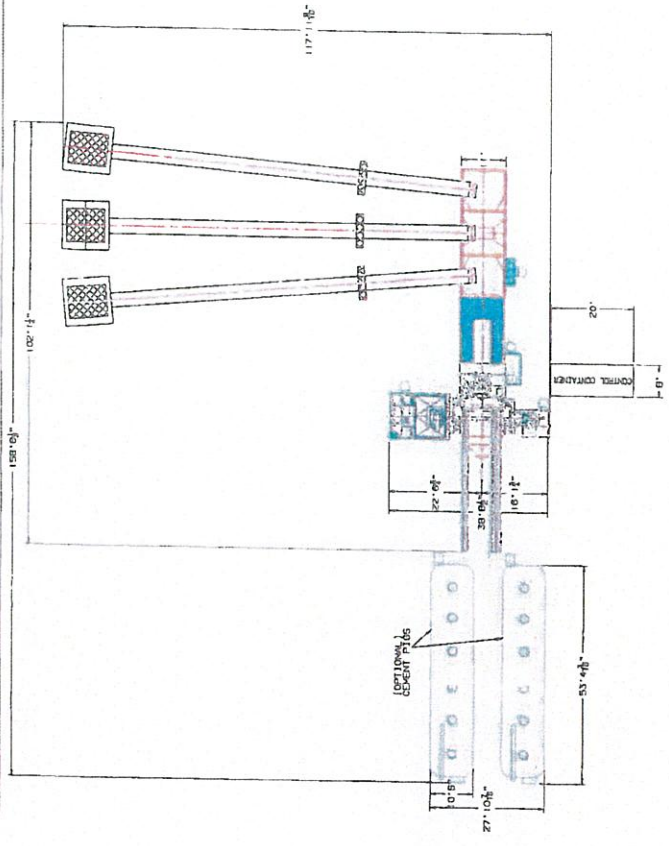
1. When a plant must be placed in an area where additional containment is needed because of the amount of fines being produced; field employees may elect to construct berms or temporary basins for collection and control of contaminated water.

Necessity of construction is based on slope of plant site, area drained, soil type, and proximity to receiving waters. Other influences may be considered on a site-specific basis as needed to fulfill the purpose of the plan.

2. Water collected in on-site-basins is routinely inspected by field personnel for evidence of petroleum sheen or odor. If no evidence of contamination is apparent, the water may be released by gravity flow or by pumping. Release of water must be done in a manner that will not induce erosion or release water with high sediment loadings into receiving waters. Water collected on-site basins that show evidence of petroleum contamination is pumped into disposal tanks for transport to approved facilities.

3. Erosion control measures outside of plant and equipment work areas may be identified by field personnel. In these situations, company officials should be notified, so that site-specific BMP's can be implanted.

Plant Overview

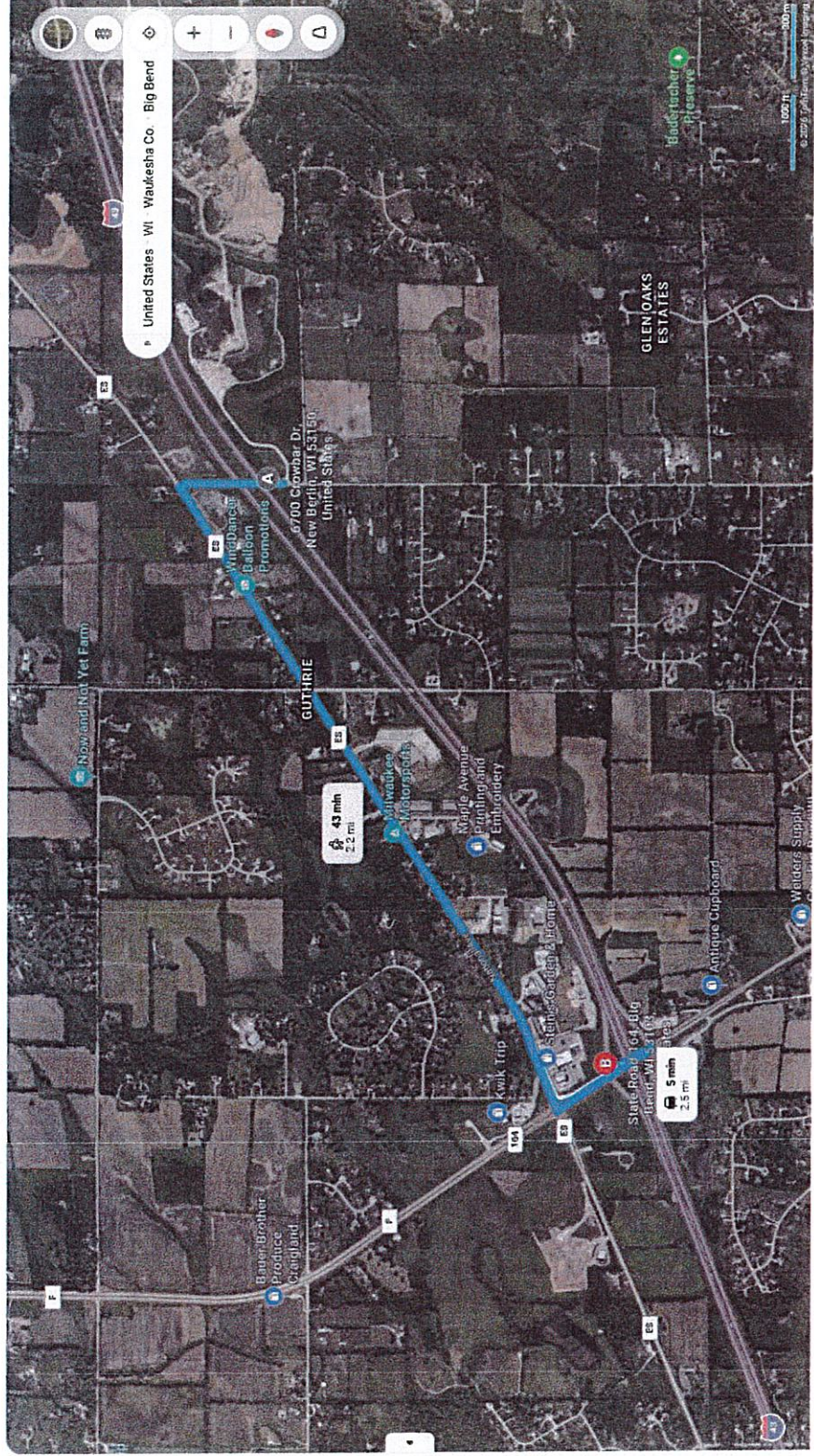


TRIERWEILER CONSTRUCTION

COPYRIGHT ALL RIGHTS RESERVED PROPERTY OF	
D.C. MOYER, INC.	
DATE	1/7/55
BY	D.C. MOYER
CHECKED BY	D.C. MOYER
APPROVED BY	D.C. MOYER
SCALE	AS SHOWN
PROJECT	AGG BINS
NO.	5
DATE	JAN 1955
DRAWN BY TRIERWEILER CONSTRUCTION	
D22-1B	

PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

Trucking Route



Directions

Best routes

- A 6700 Crowbar Dr, New Berlin, WI 53150, United States
- B State Road 164, Big Bend, WI 53103, United States

Leave now Add stop

Via County Hwy-ES, WI-164
 Fastest route · 1 min delay
 Close

5 min
 2.5 mi

- 6700 Crowbar Dr, New Berlin, WI 53150, United States
- 1 Leave from Crowbar Dr about 0.3 mi, less than 1 min
- Turn left onto National Ave/County Hwy-ES 1.6 mi, about 3 min
- Turn left onto State Road 164/WI-164/County Hwy-F 0.3 mi, about 1 min
- Make a U-turn at State Road 164/WI-164/County Hwy-F about 0.1 mi, less than 1 min
- You have arrived at State Road 164/WI-164/County Hwy-F. Your destination is on the right
- State Road 164, Big Bend, WI 53103, United States

STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: Ken Kroeger / New Berlin Grading LLC / 1-Lot Certified Survey Map

LOCATION: 19400 W. Lincoln Avenue (Tax Key #: 1172997002) & 19470 W. Lincoln Avenue (Tax Key #'s: 1172997001)

REQUEST: Approval of a 1-Lot Certified Survey Map

REVIEW SCHEDULE:

CSM Received:	2/25/2026
Completeness Determination:	2/25/2026
90-day time limit expires:	5/26/2026
Final Common Council Action:	4/28/2026

D.R.C. RECOMMENDATION: Recommend to Common Council approval of a 1-Lot Certified Survey Map for the properties located at 19400 W. Lincoln Avenue (Tax Key #: 1172997002) & 19470 W. Lincoln Avenue (Tax Key #'s: 1172997001), subject to the application, plans on file and the following conditions:

1. Applicant shall correct all drafting errors and requested changes identified by Staff on the final CSM prior to the City signing.
2. A final copy of the CSM shall be submitted and reviewed prior to City signing. All owners and surveyor must sign prior to City signing the CSM. Surveyor Stamp is required.
3. The CSM shall be recorded with Waukesha County Register of Deeds prior to the issuance of any new zoning or building permits.
4. Applicant and/or property owner shall apply for and obtain appropriate building, plumbing and electrical permits prior to any construction on any parcel.
5. Final inspection from demo permit BP-2501564 to indicate home has been removed and area restored.
6. On page 4 of the CSM under the Common Council approval section, please correct the City Clerk to Rubina Medina On pages 3 and 4 verify if the Consent of Mortgagee is listed correctly.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of May 4, 2026

Ken Kroeger / New Berlin Grading LLC / 1-Lot Certified Survey Map
19400 W. Lincoln Avenue (Tax Key #: 1172997002) &
19470 W. Lincoln Avenue (Tax Key #'s: 1172997001)

DATE STAFF REPORT PREPARED: March 16, 2026

APPLICANT / OWNER(S): Ken Kroeger / New Berlin Grading LLC / NBG LLC

REQUEST / DESCRIPTION OF PROJECT: Approval of a 1-Lot Certified Survey Map for the properties located at 19400 W. Lincoln Avenue (Tax Key #: 1172997002) & 19470 W. Lincoln Avenue (Tax Key #'s: 1172997001)

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 2/25/2026

DATE OF COMPLETENESS DETERMINATION: 2/25/2026

PRE-APPLICATION CONFERENCE HELD: Yes
Date(s) of Meeting(s): 5/21/2025 and several phone calls.
Staff Site Visit: 3/20/2026

CONCEPTUAL PLAN: CSM submitted.

SIZE OF DEVELOPMENT / PARCEL(S):
19400 W. Lincoln Avenue 16.18 Acres
19470 W. Lincoln Avenue 16.28 Acres

CURRENT ZONING: M-1 (Light Manufacturing District), C-1 (Upland Resource Conservancy District) & C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE:
19400 W. Lincoln Avenue New Berlin Grading
19470 W. Lincoln Avenue Single-family home – Wrecking/demo permit applied for.

PROPOSED ZONING:
Additional storage area for New Berlin Grading. A separate application for Use, Site and Architecture has been submitted for grading and storm water management.

PROPOSED LAND USE: No change

PROPOSED LOT SIZES (After CSM is recorded)
Lot 1 32.349 Acres

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:
North: Zoning: M-1/C-1/C-2 Land Use: Industrial, Wetland, Upland Conservancy (Certified Products)
South: Zoning: B-3/C-2 Land Use: Commercial (Suburban Asphalt Storage Buildings)
East: Zoning: M-1/C-1/C-2 Land Use: Industrial, Wetland, Upland Conservancy (Certified Products)
West: Zoning: M-1/C-1 Land Use: Industrial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 12: Neighborhood B: West Lincoln Avenue & Western Area: Yes, this request meets the intent of this Chapter.

Vision:

- *The vision for the West Lincoln Avenue area is to develop it into a unique business park environment with campus settings designed around environmentally sensitive areas. Clean, environmentally sensitive light industrial and office parks will be encouraged.*

Development Policies:

- *Public sanitary sewer service shall not be extended into this area, with the exception of parcels designated to be within the Urban Service Area Boundary as amended by the City.*
- *Larger assemblages of properties should be the priority for this corridor. Pull land together in larger components rather than in a piecemeal fashion.*

Land Use

- *Future Land Use Map: Business Park/Industrial*

ZONING CODE (Chapter 275): The proposed lot, which is a consolidation of two existing lots of record, meets the requirements in §275-35B(4), §275-37B(3), & §275-37B(4).

DEVELOPMENT CODE (CHAPTER 235): N/A

REZONING REQUIRED: No

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No, not required for a CSM.

Site Plan Required: Yes, see attached CSM.

Architectural Review Required: No, not required for a CSM.

PROPOSED ARCHITECTURE: No, not required for a CSM.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Yes, Primary Environmental Corridor field verified on 5/13/10.

Wetland On Property: Yes, field verified on 9/27/07.

Conservancy Districts (C-1, C-2): Yes, C-1 & C-2

NRCS Map Classification: Not Inventoried

Floodplain: Yes

Topography / Geologic: The parcel slopes to the north and south with the high point in the middle of the parcel where the existing home is located.

BIKE & PEDESTRIAN FACILITIES PLAN: No improvements.

PARK & OPEN SPACE PLAN: No improvements.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Not applicable for a Land Division.

Wildlife Habitat Protection: N/A
Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: None

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: No

Basin Capacity Available: No

Adequate Linkage: No

Onsite System Required: Yes, existing system in place.

WATER USAGE CALC.: No increase.

TRAFFIC IMPACT: No increase

SCHOOL DISTRICT IMPACT: N/A

Notice Sent to Affected School District(s): No

PREVIOUS ACTION:

07/12/2010	Public hearing for the Rezoning was held before the Plan Commission.
11/10/2010	Plan Commission approved the Rezoning application.
11/16/2010	Common Council approved the Rezoning application.
1/4/2011	Plan Commission approved a 2-Lot Certified Survey Map.
1/11/2011	Common Council approved a 2-Lot Certified Survey Map.
12/2/2015	Plan Commission issued a Zoning Permit for New Berlin Grading (UA-1502061).
9/22/2025	A wrecking and demo permit BP-2501864 along with well and septic abandonment permit was pulled in 2025 for the existing home on the parcel located at 19470 W. Lincoln Avenue.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Per Section 275-35D of the Zoning Code, the minimum lot area is 40,000 sq. ft. and the minimum lot width is 200' in the M-1 Zoning District. The proposed lot meets the minimum lot dimensions.
2. The property is also zoned C-1 and C-2.
3. Thompson & Associates Wetland Services, LLC delineated the wetlands on the property on 9/27/07 per Section 275-37B(4)(b) of the Zoning Code. The applicant surveyed the land. Thompson & Associates Wetland Services, LLC also delineated the Primary Environmental Corridor on the property on 5/13/10.
 - a. A new wetland delineation is not being required at this time due to no expansion beyond areas that are already disturbed.
4. A Conservation Easement is in place per CSM #: 10860. It protects the Primary Environmental Corridor and a large wetland area.
5. There is an existing ingress / egress access easement document #: 4179332 which states it is to be vacated since it will no longer be two lots.

D.R.C. RECOMMENDATION: Recommend to Common Council approval of a 1-Lot Certified Survey Map

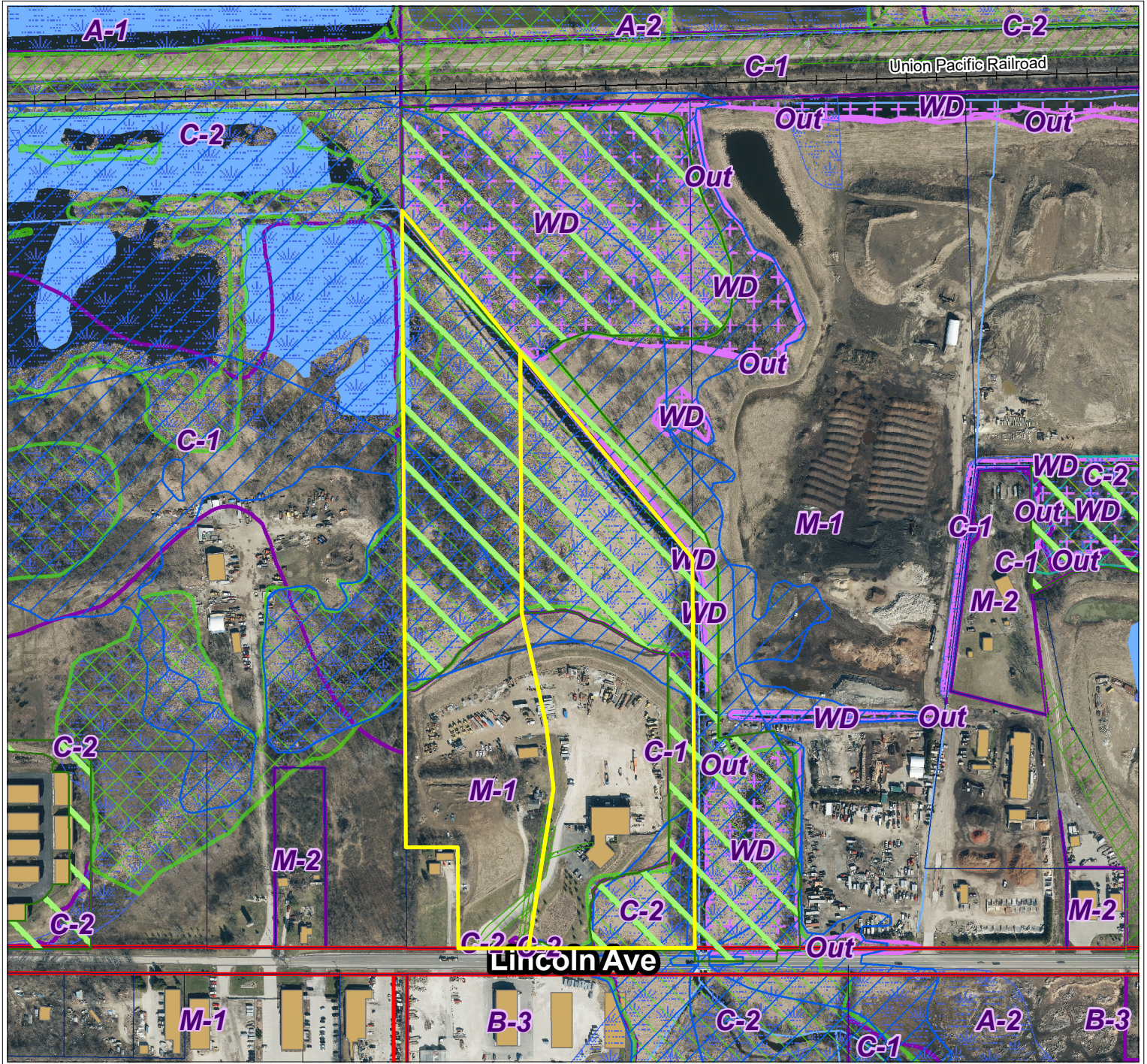
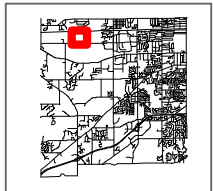
for the properties located at 19400 W. Lincoln Avenue (Tax Key #: 1172997002) & 19470 W. Lincoln Avenue (Tax Key #'s: 1172997001), subject to the application, plans on file and the following conditions: **See Executive Summary.**

ATTACHMENTS:

Location Map
CSM



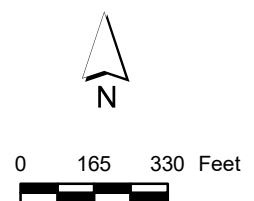
LD-2600333
New Berlin Grading LLC
 19470 W. Lincoln Avenue (Tax Key #: 1172.997.001)
 & 19400 W. Lincoln Avenue (Tax Key #: 1172.997.002)



City of New Berlin
 Department of Community Development
 3805 S Casper Dr.
 New Berlin WI 53151
 (262) 797-2445
 www.newberlin.org

Legend

Parcels	Environmental Corridor
Road Right-of-Way	Corridor Type
FEMA Flood Zone (2023)	Isolated Natural Resource Area
FEMA Flood - Zone A	Primary Environmental Corridor
FEMA Flood - Zone AE	Secondary Environmental Corridor
Zoning Boundaries	Wetland
Zoning Wetland Registration	Sewer Service Area (MMSD)
Wetland Registration Type	Current
Registered Wetland	Ultimate
Outside Wetland	



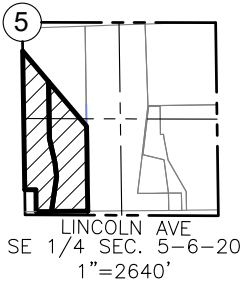
The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The information and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

PRELIMINARY

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

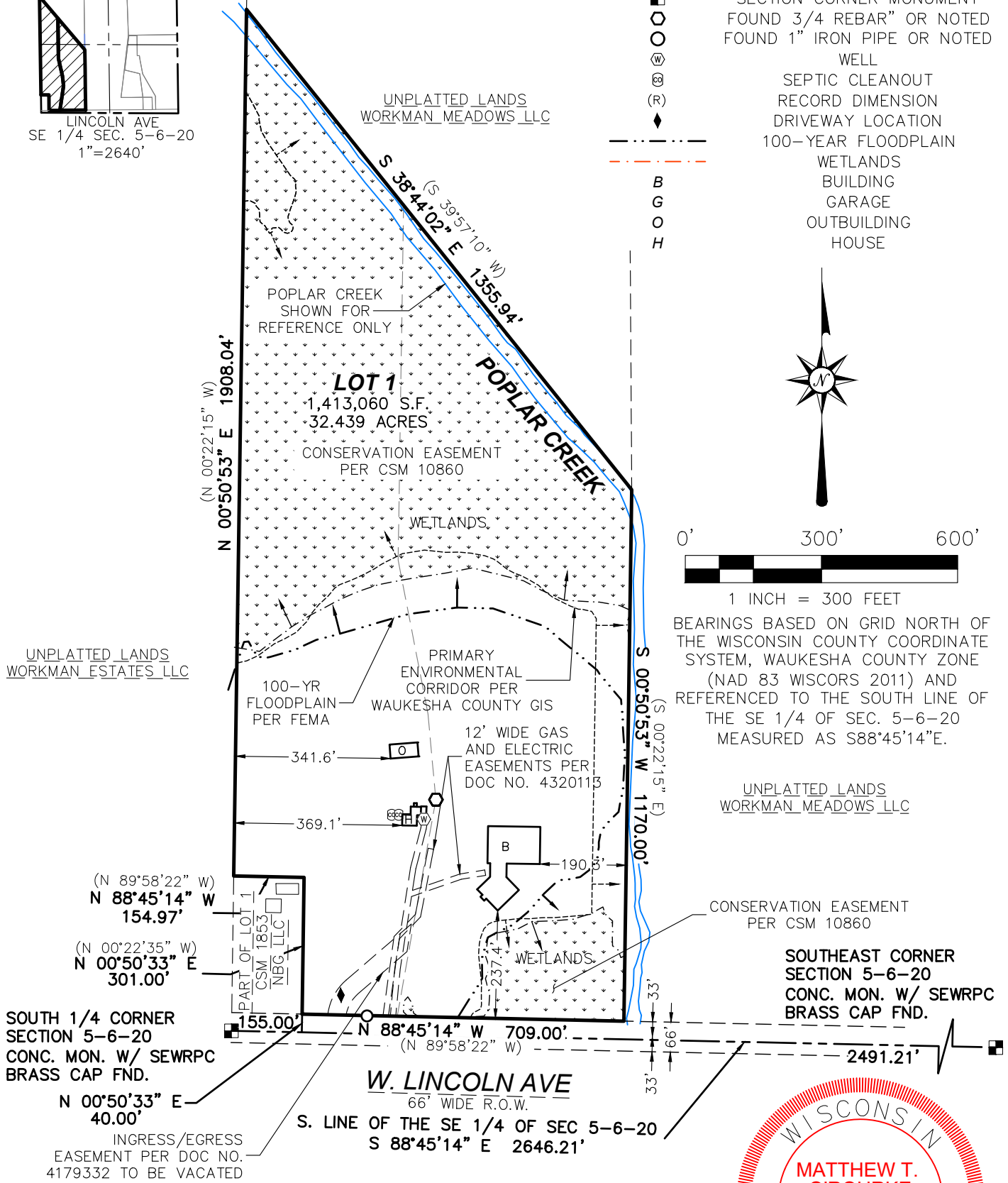
LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 10860, BEING A REDIVISION OF PARCEL 2 AND THE NORTH 59 FEET OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 1853 AND LANDS IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 6 NORTH, RANGE 20 EAST, CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN

VICINITY MAP



LEGEND

- SECTION CORNER MONUMENT
- FOUND 3/4" REBAR" OR NOTED
- FOUND 1" IRON PIPE OR NOTED
- ⊙ WELL
- ⊕ SEPTIC CLEANOUT
- (R) RECORD DIMENSION
- ◆ DRIVEWAY LOCATION
- - - 100-YEAR FLOODPLAIN
- WETLANDS
- B BUILDING
- G GARAGE
- O OUTBUILDING
- H HOUSE



PREPARED FOR:
NBG LLC
345 WOODLAND LN
OCONOMOWOC, WI 53066

LAND SURVEYING • LAND PLANNING
955 LEXINGTON DRIVE
OCONOMOWOC, WI 53066
WWW.LANDTECHWI.COM
(262) 367-7599

DATED 10/28/2025
JOB # 25237
SHEET 1 OF 4

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 10860, BEING A REDIVISION OF PARCEL 2 AND THE NORTH 59 FEET OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 1853 AND LANDS IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 6 NORTH, RANGE 20 EAST, CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 10860, BEING A REDIVISION OF PARCEL 2 AND THE NORTH 59 FEET OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 1853 AND LANDS IN THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 6 NORTH, RANGE 20, EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 5, TOWN 6 NORTH, RANGE 20 EAST THENCE S 88°45'14" E ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 5, 155.00 FEET; THENCE N 00°50'33" E, 40.00 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE WEST LINE OF LOT 1 OF CSM 10860 FOR THE FOLLOWING 3 COURSES: 1.: N 00°50'33" E, 301.00 FEET; 2.: THENCE N 88°45'14" W, 154.97 FEET; 3.: THENCE; THENCE N 00°50'53" E, 1,908.04 FEET TO THE NORTHWEST CORNER OF LOT 1 OF CSM 10860; THENCE S 38°44'02" E, ALONG THE NORTH LINE OF CSM 10860, 1,355.94 FEET TO THE NORTHEAST CORNER OF LOT 2 OF CSM 10860; THENCE S 00°50'53" W, ALONG THE EAST LINE OF LOT 2 OF CSM 10860, 1,170.00 FEET TO THE NORTH RIGHT-OF-WAY OF W. LINCOLN AVENUE; THENCE N 88°45'14" W, ALONG THE NORTH RIGHT-OF-WAY OF W. LINCOLN AVENUE, 709.00 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 1,413,060 SQUARE FEET OR 32.439 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF NBG, LLC OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF WAUKESHA COUNTY AND THE CITY OF NEW BERLIN IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20_____.

MATTHEW T. O'ROURKE, S-2771

NOTES:

- PER CSM 10860: PER SECTION 275-33D(9) OF THE ZONING CODE, ALL IMPERVIOUS SURFACES SHALL BE SET BACK A MINIMUM OF 30 FEET FROM THE WETLAND BOUNDARY.
- PER CSM 10830: NO BUILDINGS ARE ALLOWED WITHIN THE CONSERVATION EASEMENT, WHICH IS RECORDED IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT NO. 3828167.
- THE SHARED ACCESS EASEMENT THROUGH LOT 1 GRANTING LOT 2 ACCESS SHOWN ON CSM 10860 TO BE VACATED UPON RECORDING OF THIS THIS CSM.
- ACCESS DOCUMENT NO. 4179332 WILL BE VACATED BY SEPARATE DOCUMENT.
- WETLANDS DELINEATED BY TINA M MYERS PWS R.A. SMITH NATIONAL ON JULY 30, 2015 AND FIELD LOCATED BY LAKE COUNTRY ENGINEERING ON AUGUST 3, 2015.
- FLOODPLAIN IS PER FEMA FIRM MAP NO. 55133C0218H AND 55133C0219H, MAP REVISED OCTOBER 19, 2023. BASE FLOOD ELEVATION VARIES.

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 10860, BEING A REDIVISION OF PARCEL 2 AND THE NORTH 59 FEET OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 1853 AND LANDS IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 6 NORTH, RANGE 20 EAST, CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

AS OWNERS WE NBG, LLC HEREBY CERTIFY THAT WE CAUSED SAID LANDS TO BE SURVEYED, DIVIDED AND MAPPED AS SHOWN ON THIS MAP. WE ALSO CERTIFY THAT THIS CSM IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: CITY OF NEW BERLIN

WITNESS THE HAND AND SEAL OF SAID OWNERS: THIS _____ DAY OF _____, 20____.

KEN KROEGER – MEMBER

STATE OF WISCONSIN)SS
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE NAMED KEN KROEGER TO ME KNOWN TO BE THE SAME PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY SIGNATURE _____

PRINT NAME _____

MY COMMISSION EXPIRES _____

CONSENT OF MORTGAGEE

U.S. SMALL BUSINESS ADMINISTRATION, AN AGENCY OF THE UNITED STATES OF AMERICA, MORTGAGEE OF THE LANDS DESCRIBED IN THIS CERTIFIED SURVEY MAP, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, AND MAPPING OF THE LANDS DESCRIBED ON THIS CERTIFIED SURVEY MAP, AND DOES HEREBY CONSENT TO THE OWNERS CERTIFICATE.

IN WITNESS WHEREOF, THE SAID U.S. SMALL BUSINESS ADMINISTRATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS DULY AUTHORIZED OFFICER(S) LISTED BELOW THIS _____ DAY OF _____, 20____.

U.S. SMALL BUSINESS ADMINISTRATION

BY: _____

STATE OF _____

COUNTY OF _____

ON _____ BEFORE ME, _____, NOTARY PUBLIC,

PERSONALLY APPEARED _____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 10860, BEING A REDIVISION OF PARCEL 2 AND THE NORTH 59 FEET OF PARCEL 1 OF CERTIFIED SURVEY MAP NO. 1853 AND LANDS IN THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 6 NORTH, RANGE 20 EAST, CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN

CONSENT OF MORTGAGEE

U.S. SMALL BUSINESS ADMINISTRATION, AN AGENCY OF THE UNITED STATES OF AMERICA, MORTGAGEE OF THE LANDS DESCRIBED IN THIS CERTIFIED SURVEY MAP, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, AND MAPPING OF THE LANDS DESCRIBED ON THIS CERTIFIED SURVEY MAP, AND DOES HEREBY CONSENT TO THE OWNERS CERTIFICATE.

IN WITNESS WHEREOF, THE SAID U.S. SMALL BUSINESS ADMINISTRATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS DULY AUTHORIZED OFFICER(S) LISTED BELOW THIS _____ DAY OF _____, 20_____.

U.S. SMALL BUSINESS ADMINISTRATION

BY: _____

STATE OF _____

COUNTY OF _____

ON _____ BEFORE ME, _____, NOTARY PUBLIC,

PERSONALLY APPEARED _____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____

CITY PLAN COMMISSION APPROVAL

APPROVED BY THE PLAN COMMISSION OF THE CITY OF NEW BERLIN, THIS _____ DAY OF _____, 20_____.

DAVID AMENT – CHAIRPERSON

NIKKI JONES – SECRETARY

COMMON COUNCIL APPROVAL

APPROVED BY THE COMMON COUNCIL OF THE CITY OF NEW BERLIN, THIS _____ DAY OF _____, 20_____.

DAVID AMENT – MAYOR

GEORGIA STANFORD – CITY CLERK

Update to Rubina Medina

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: Josh Obert with Walters Buildings / Lush Farms Agricultural Building

LOCATION: 20203 W. Lawnsdale Road (Tax Key #: 1266.995)

REQUEST: Use, Site and Architecture approval for an 11,520 sq. ft. agricultural building, located at 20203 W. Lawnsdale Road

D.R.C. RECOMMENDATION: Approval of the Use, Site and Architecture for an 11,520 sq. ft. agricultural building, located at 20203 W. Lawnsdale Road, subject to the application, plans on file and the following conditions of approval:

1. Planning:

- a. Plan of operation shall be consistent with submitted plans on file. Applicant is proposing to construct an 11,520 square foot agricultural building.
- b. Architecture Review Committee approval required prior to issuance of the Zoning Permit.
- c. Employee and customer parking shall be contained onsite.
- d. Applicant shall provide a PSE from Waukesha County.

2. Engineering:

- a. The plan dated 2/26/26 shows grading a swale on the west side of the proposed building. This will drain over the existing gravel surface.
- b. The new building has overhead doors on both ends but no new gravel surface to access them. If additional impervious surface is needed to access the building, it needs to be shown on the grading plan.
- c. Waukesha County will need to provide comment on the location of the building in relation to the Septic system.

3. Storm Water:

- a. Increase of 11,520 impervious new building.
- b. Provide existing impervious, including gravel, total area measurement.
- c. Provide proposed impervious, including gravel, total area measurement.
- d. Previously, 2005 approved impervious area measurement was 74,770. Cumulative increase in impervious greater than .5 acre, will require SWM.

4. Building Inspection:

Inspection CU - STATE REVIEW

- a. Building plans shall be signed and stamped by a licensed architect or professional engineer per the Wisconsin Enrolled Commercial Building Code (SPS.361.31).

- b. Building plans shall be approved by the State of Wisconsin Department of Commerce Safety and Buildings Division (SPS.361.60). State letter required with permit application.
 - c. Apply and obtain appropriate building, HVAC, electric, plumbing and fire permits from the City of New Berlin Building Inspection Division.
 - d. Zoning approval will be required BEFORE applying for the building permit. Separate application and plans are required.
 - e. Plumbing: State review is required for over 16 fixtures - new and/or replacements.
 - f. The building shall be fully accessible from the parking lot to the interior elements (SPS.363.1101 and ICC/ANSI A117.1)
5. Fire Department:
- a. No storage over 12 feet.
 - b. Extinguishers every 75 feet of travel.
 - c. Exit/egress lighting.
 - d. Name and address visible from street.
 - e. Maintain 24 foot fire lane.
 - f. Fill out and return the Emergency Contact Form.

DETAILS IN ATTACHED STAFF REPORT

**CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT**

Meeting of May 4, 2026

**Josh Obert with Walters Buildings / Lush Farms Agricultural Building
20203 W. Lawnsdale Road (Tax Key #: 1266.995)**

DATE STAFF REPORT CREATED: March 5, 2026

APPLICANT / OWNER(S): Josh Obert with Walters Buildings / Workman Investments LLC

REQUEST / DESCRIPTION OF PROJECT: Use, Site and Architecture approval for an 11,520 sq. ft. agricultural building, located at 20203 W. Lawnsdale Road

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 2/27/2026

DATE OF COMPLETENESS DETERMINATION: 3/2/2026

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): 1/29/2026, as well as numerous phone calls and emails exchanged.
Site Visit(s): 3/26/2026

CONCEPTUAL PLAN: N/A

SIZE OF DEVELOPMENT / PARCEL(S): 33.42 acres

CURRENT ZONING: A-1(Agricultural District) & C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE: Agricultural (Lush Farms)

PROPOSED ZONING: N/A

PROPOSED LAND USE: The applicant is proposing to construct an 11,520 square foot agricultural building for worm castings, as part of the existing business.

PROPOSED LOT SIZE: N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: I-1, Institutional District

Land Use: Waukesha County
Highway Dept

South: Zoning: R-1/R-2 PUD, Rural Conservation Single-Family Residential
C-2 PUD, Shoreland Wetland Holding District

Land Use: Single-Family
Residential

East: Zoning: R-1/R-2, Rural Conservation Single-Family Residential
C-1, Conservancy District
C-2, Shoreland Wetland Holding District

Land Use: Single-Family
Residential

West: Zoning: R-1/R-2, Rural Conservation Single-Family Residential
C-2, Shoreland Wetland Holding District

Land Use: Single-Family
Residential

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 12: Neighborhood “B”: West Lincoln Avenue & Western Area: Yes, this submittal meets the intent of this Chapter.

Planning Context / Vision / Development Policies:

Vision:

- *The area of New Berlin generally west of Calhoun Road should be a regional model of rural development. Any development shall occur as a mix of conservation development, farms, large areas of preserved open spaces, rural trails and facilities, and small-scale neighborhood-oriented retail.*

Land use:

- *Future Land Use Map: Country Residential*

ZONING CODE (Chapter 275): Yes, meets the requirements of Section 275-32B(1) of the Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: No

CONDITIONAL USE REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: Yes

PROPOSED ARCHITECTURE: Applicant is proposing the storage building to be constructed with an ivory colored metal panel with green metal panel roof. The proposed building will be identical to the existing building. The ARC will review the architectural plans at the April 15, 2026, meeting.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Not in the area of the proposed building. Corridor area is south of the building(s).

Wetland On Property: Not in the area of the proposed building. There are C-2 zoned lands on the property, to the south of the building location.

Conservancy Districts (C-1, C-2): C-2, however it is not located near the area where the building will be placed.

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: The site slopes gradually to the southwest.

BIKE & PEDESTRIAN FACILITIES PLAN: No improvements identified.

PARK & OPEN SPACE PLAN: None Identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Shown on plans.

Woodland, Tree, and Vegetation Protection: Trees to be removed and trees to be protected during construction shall be identified on the plans.

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: N/A

STORM WATER MANAGEMENT / DRAINAGE: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: No

Sewer Shed Capacity Available: N/A

Adequate Linkage: N/A

Onsite System Required: Yes, existing system for existing building. New building to be cold storage.

WATER USAGE CALC.: N/A

TRAFFIC IMPACT: No increase.

SCHOOL DISTRICT IMPACT: N/A

Notice Sent to Affected School District(s): No

PREVIOUS ACTION:

1994-1995 Property rezoned from C-1 to A-1 & C-1.

1999 Pole barn constructed.

2005 50'x60' addition to existing pole barn, for Green Acres Nursery.

2024 Re-occupancy for Lush Farms LLC.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Plan of operation shall be consistent with submitted plans on file. Applicant is proposing to construct an 11,520 square foot agricultural building.
2. Per Zoning Code Section 275-42A(3) "*The Plan Commission shall regulate the architecture of agricultural accessory uses under § 275-59D(1) of this chapter*".
3. Per Zoning Code Section 275-42E(1)(c)[2] "*Accessory buildings in non-single-family residential zoning districts that exceed 2,500 square feet shall require Plan Commission review and approval*".
4. Per Zoning Code Section 275-59D(2) "*Agricultural buildings. Agricultural buildings shall be designed to be appropriately proportioned to the intended agricultural use*".

D.R.C. RECOMMENDATION:

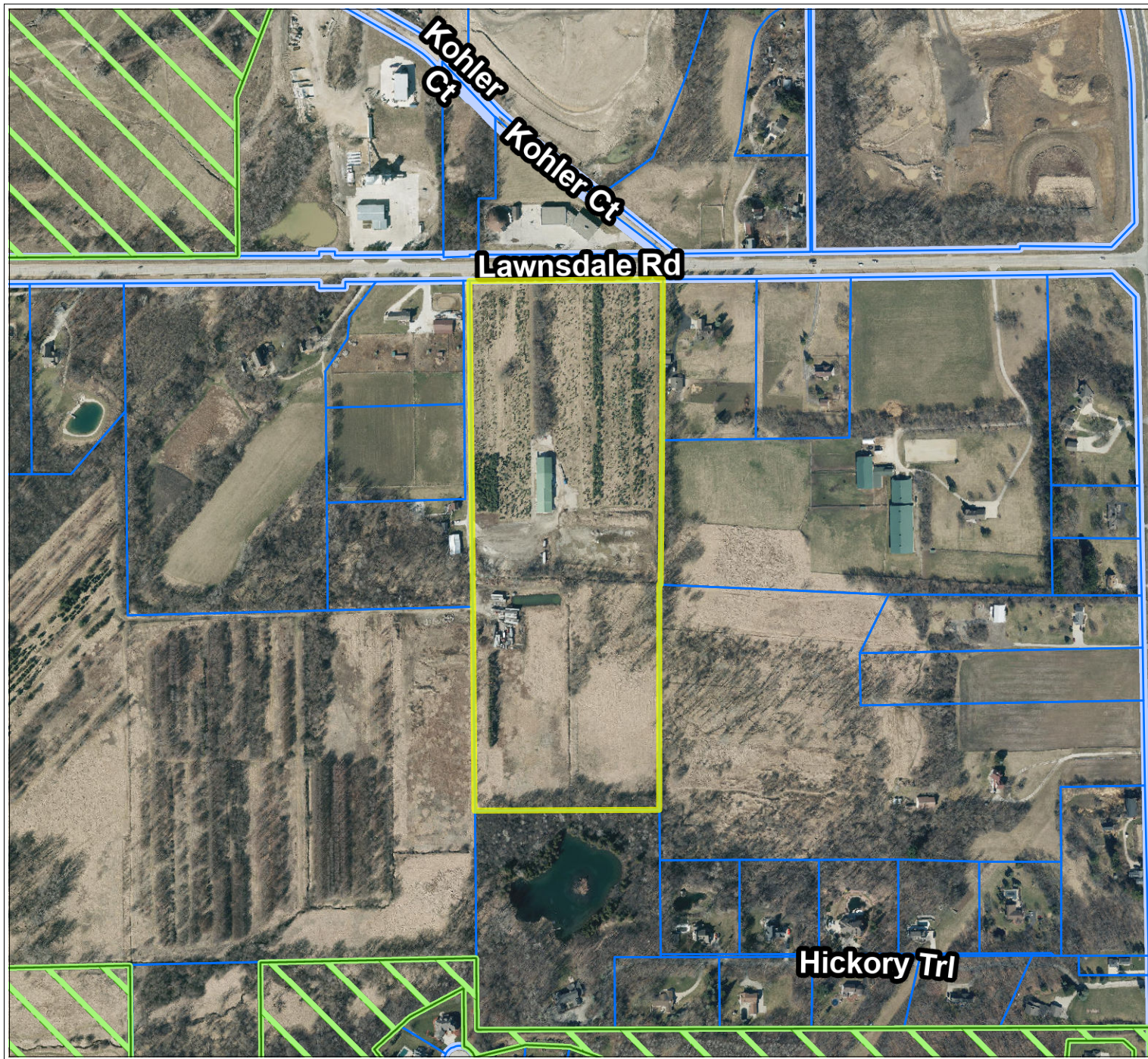
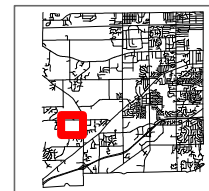
Approval of the Use, Site and Architecture for an 11,520 sq. ft. agricultural building, located at 20203 W. Lawnsdale Road, subject to the application, plans on file and the following conditions of approval: **See Executive Summary.**

ATTACHMENTS:

Location Map

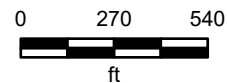
Plan of Operation

Plans



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

- | | |
|--------------------------|-----------------------------|
| Parcels | Wetland |
| Road Right-of-Way | Zoning Wetland Registration |
| Conservation Easement | Registered Wetland |
| Environmental Corridor | Outside Wetland |
| Floodplain FEMA DFIRM | Zoning Overlay |
| FEMA DFIRM - Zone A | PUD |
| FEMA DFIRM - Zone AE | Special Conditions Apply |
| FEMA DFIRM - 0.2% Chance | SPO |
| | Zoning Boundaries |



Scale is estimate - not survey

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.



LUSH FARMS, LLC COMPANY OVERVIEW

Founded in 2019, Lush Farms, LLC is a Wisconsin-based worm farm focused on the manufacturing of worm castings (vermicompost) for horticulture and agricultural use. Administrative and manufacturing facilities relocated to 20203 West Lawnsdale Road, New Berlin, WI 53146 in March 2024.

Mission

Our goal is to help improve soil and plant health through wider use of naturally occurring microbiology and the reduction or elimination of chemical additives. We do this as a downstream manufacturer of worm castings which are rich in nutrients and microbiology. Our scale of production allows us to supply soil blenders, re-packagers, and large commercial end-users. We welcome every opportunity to support home gardeners and ‘do-it-yourself’ composters through distributors with product offerings and through education. We aspire for customer and industry expert recognition as a leader in product quality, efficacy, consistency, and education on the benefits of healthier soil, plants, and food.

Why we believe in Worm Castings to achieve our Mission

Worm castings, also known as vermicompost, are a type of organic soil amendment made from the excrement of earthworms created as the result of their breaking down, or vermicomposting, dead organic material. Considered more effective than synthetic fertilizers, worm castings contain a diverse range of microorganisms that can help to improve soil health and fertility. These microorganisms help to break down organic matter, making nutrients more available to plants. Worm castings also help to improve soil structure, making it more porous and better able to retain moisture. This can lead to better water retention, which can be especially beneficial in dry or drought-prone areas.

A deeper dive into the benefits of worm castings over other types of soil additives and fertilizers, include:

◆ Nutrient Value

- Nutrient cycling - Providing essential nutrients necessary fungi, bacteria, nematodes / protozoa, nutrient cycling occurs as the microbes break down nutrients into the form necessary for plant absorption.
- Providing organic matter required for nutrient cycling.
- Nutrients are slow-release –The mucus that cover the castings (which happens inside the worm’s digestive tract and contains enzymes and bacteria) is what allows this “time release” effect, ensuring continual uptake of nutrients by plants over an extended period up to several months.
- Worm castings have an NPK rating of 1-0-0 because the slow-release value of the nutrients does not count for an NPK rating.

- Synthetic fertilizers are rated for use by their NPK value: nitrogen, phosphorus, and potassium. This is a means of rating synthetic fertilizers for their uses.
 - Nitrogen is connected to the foliage of the plant. Plants with sufficient nitrogen will experience high rates of photosynthesis and typically exhibit vigorous plant growth and development (i.e., how big and bushy the plant and leaves will grow). The risks of a high-nitrogen fertilizer mixture include increasing the soil's mineral salts; excessive elemental nitrogen takes water away from the plant while leaving the salts behind. As a result, the leaves take on a burnt look from dehydration caused in the plant and soil.
 - Gardeners not familiar with worm castings may assume their NPK ratings looks as compared to synthetic fertilizers, however—they boost soil nutrients in biological ways that synthetic fertilizers simply cannot.
- ◆ Soil Structure
- Improved soil structure and aeration -- Due to the physical structure of the castings. Worm castings are extremely difficult to pack down like regular dirt. This provides the added benefit that oxygen can make its way through the soil to the roots of plants which improves growth. Less compact soil also makes it easier for roots to expand deeper and wider, increasing their access to additional nutrients and water.
 - Improved Water Retention – Worm castings naturally retain water and moisture which subsequently can reduce the amount of water needed as soils have a better chance of holding onto essential water.
 - Reduced erosion – Worm castings enhancement of soil structure can help to reduce erosion by binding soil particles together, creating a more stable surface.
- ◆ Eliminating Heavy Metals
- One of the big problems that gardeners and farmers are dealing with is high concentrations of heavy metals in the soil and in fertilizers.
 - Worms have the ability to absorb heavy metals like copper, lead, and cadmium from soil. This means that by the time they produce castings, they're heavy metal free. This reduces the likelihood that metals will make it into food sources grown in worm castings.
- ◆ Eliminating plant burn - Common with synthetic fertilizers is that they are too high in nitrogen. This makes it easy to burn the roots of your plants if you put too much on; worm castings will never burn plants.
- ◆ Other Characteristics
- Neutral PH level
 - Odorless and Non-toxic; no need for personal protective equipment.

- Because worm castings help plants grow strong and healthy, they make them less susceptible to pests and disease.
- Preliminary and on-going research suggests worm castings impact on soil quality helps reduce greenhouse gases like CO₂, CH₄ and N₂O by sequestering carbon in the soil.¹

Overall worm castings are a natural way to improve soil health and fertility, with proper application rates, there are no disadvantages of utilizing worm castings.

Products & Services

Worm Castings

The Company's central product is "Lush Farms Soil Builder Worm Castings" (Worm Castings). Primarily distributed in a 2,250lb FIBC Bag ("Super Sack"), orders can also include package smaller weights ranging from 4.8lbs to 30lbs. Our Worm Castings and associated manufacturing process was reviewed and approved by the Organic Materials Review Institute² for organic use in compliance with the United States Department of Agriculture National Organic Program³.

Freight and Delivery Services

Most customers request we coordinate shipping services on their behalf, whether ordering a single item or full truckload of Worm Castings. We do not operate our own trucking fleet and rely on third party vendors for service.

Manufacturing Process

For quality control reasons and worm health, all manufacturing is conducted inside a heated barn/facility.

- Worm bedding is created by mixing a blend of peat free inputs—leaf compost, humus, and a proprietary worm food/nutrient supplement. Lush's nutrient supplement is manufactured by an organically certified manufacturer and contains a blend of organic grains and minerals. Worm bedding is manure and food waste free. During the preparation

¹ Derived from Iowa State University, Extension and Out Reach: Integrated Crop Management – Carbon Sequestration (<https://crops.extension.iastate.edu/encyclopedia/carbon-sequestration>) and Pys.Org, "New study suggests earthworms sequester more CO₂ than they release" (<https://phys.org/news/2013-10-earthworms-sequester-co2.html>).

² The Organic Materials Review Institute (OMRI) is a 501(c) (3) nonprofit organization founded in 1997 by a group of organic certification agencies and industry representatives, to benefit the organic community and the public. Its mission is to support the growth and trust of the global organic community through expert, independent and transparent verification of input materials, and through education and technical assistance. <https://www.omri.org/>

³ The National Organic Program (NOP) is a federal regulatory program that develops and enforces consistent national standards for organically produced agricultural products sold in the United States. NOP also accredits third-party organizations to certify that farms and businesses meet the national organic standards. These certifiers and USDA work together to enforce the standards, ensuring a level playing field for producers and protecting consumer confidence in the integrity of the USDA Organic Seal. <https://www.ams.usda.gov/about-ams/programs-offices/national-organic-program>

process, materials are screened 2x, conditioned for temperature and moisture, and then pulverized for consistency.

- Night Crawlers (worms) are placed in the worm bedding. During the vermicomposting process, conditions are monitored for moisture and temperature.
- Once the vermicomposting process is complete, the worms and worm castings are separated through a screening process. The worm castings are separated from undigested materials and the worm castings are screened to 95%+ purity.
- The worm castings are packaged and palletized for shipment.

Manufacturing Facility Equipment

Equipment utilized are typical to that of plant nursery or composting facility:

- Soil Mixer (indoors)
- Trommel [aka Screener] (indoors)
- Conveyor(s) (indoors)
- Pulverizer (indoors)
- Worm Bins [aka flower boxes] (indoors)
- Worm Bin Tipper (indoors)
- Skid Steer (indoor / outdoor)
- Forklift (indoor / outdoor)
- Pallet Jack (indoor / outdoor)

Packaging Facility Equipment

Equipment utilized for small packaging (< 31lbs.):

- Volumetric Bagger (indoors)
- Conveyor (indoors)
- Pallet Wrapper (indoors)
- Forklift (indoors)

Facility Activity

- **Administrative:** 1x employee, mainly works remotely/offsite
- **Manufacturing:** 2-3x employees on-site
- **Packaging & Shipping** 1-2 employees on-site
- **Receiving:**
 - Hours 8am – 4pm, Monday - Friday
 - Base Bedding Quad Axle Truck Delivery, 1-3 deliveries per week
 - Pallets Box truck delivery, 1x per month
 - Other Supply Box truck delivery, 1x every 3-weeks
- **Outbound Shipping** - Seasonal - most activity mid-October – May; little Q3 activity
 - Hours 8am – 4pm, Monday - Friday
 - LTL Mainly late-Winter and Spring. 4-8 trucks monthly during peak periods
 - FTL Full-size semi-truck, 8-10 trucks per month during peak periods.

Contact Information

Anthony Arbucias, General Manager
Main: 888-332-WORM (9676)
Direct: (414) 315-1285
anthony@4lushfarms.com

Mailing Address

Lush Farms, LLC
401 E Industrial Drive
Box 325
Hartland, WI 53029

Existing Shipping and Receiving Traffic Operations (2.24.26)

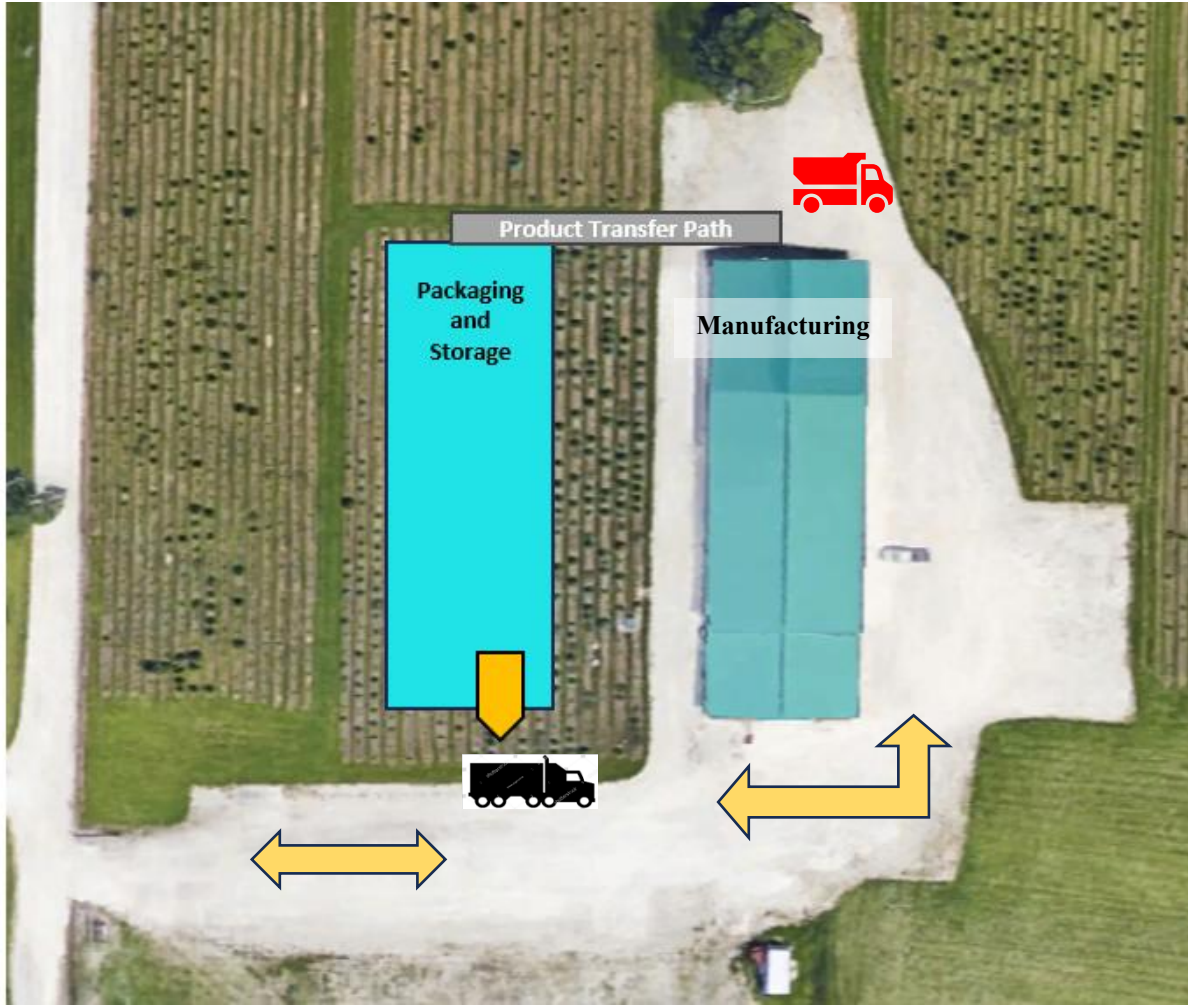


 Bulk Delivery

 Shipping and Receiving

*Not to Scale

Planned Operational Exansion*



Bulk Delivery

***Not to Scale**



Shipping and Receiving



Traffic Route

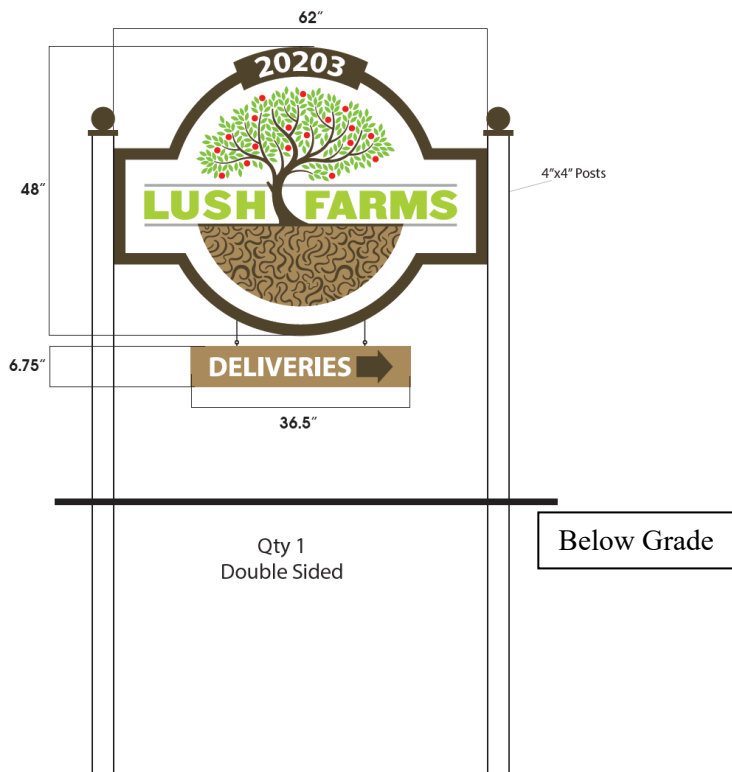
Comments

Approximately 80% of the proposed packaging and storage building will be dedicated to finished goods inventory. Due to the seasonal nature of the agricultural industry, inventory must be produced and staged during non-peak periods to ensure sufficient supply when seasonal demand increases.

Ground Sign Location



*Not to Scale
 ★ Sign Location

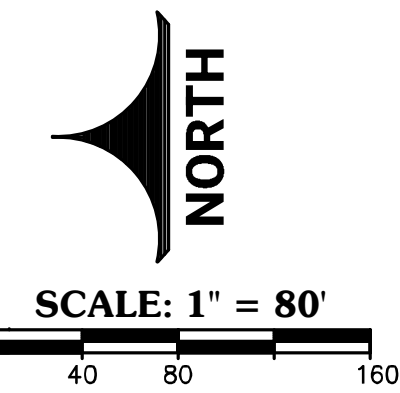


NOTES:

- AS OF THE DATE OF THIS SURVEY, NO TITLE POLICY WAS PROVIDED AND THIS SURVEY WAS DRAFTED BASED UPON CURRENT DEEDS AND ITS RESPECTIVE INFORMATION AND HAS BEEN FIELD VERIFIED AND THEREFORE THIS PLAT OF SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EASEMENTS, ENCUMBRANCES, RESTRICTIONS OR OTHER FACTS THAT COULD OTHERWISE BE DISCLOSED IN A TITLE SEARCH OR CURRENT TITLE POLICY.
- THE SURVEYOR TAKES NO RESPONSIBILITY FOR THE EXISTENCE OF ANY UNDERGROUND STRUCTURES OR ANY BURIED MATERIALS HAZARDOUS OR SAFE IN NATURE SUCH AS BUT NOT LIMITED TO FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, PETROLEUM PRODUCTS OR OTHER MATERIALS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. FOR ADDITIONAL INFORMATION PLEASE REFER TO A CURRENT TITLE POLICY OR OTHER RELATED REAL ESTATE DOCUMENTS THAT WOULD PERTAIN TO SAID LIST AND ITS RESPECTIVE LOCATION. FOR ANY UTILITIES NOT SHOWN ON THIS "SURVEY" OR "MAP" OR "EXHIBIT" AND OF WHICH IS REQUIRED, IT IS RECOMMENDED THAT DIGGERS HOTLINE BE CALLED, AND AT WHICH POINT WHEN PUBLIC UNDERGROUND UTILITY LOCATIONS ARE FLAGGED, THE SURVEYOR IS NOT RESPONSIBLE FOR UTILITIES LEFT UNMARKED. ALSO NOTE THAT DIGGERS HOTLINE IS NOT RESPONSIBLE FOR MARKING PRIVATE UTILITIES.
- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-83/2011), IN WHICH THE WEST LINE OF THE N.W. 1/4 OF SECTION 29, TOWN 6 NORTH, RANGE 20 EAST, BEARS N00°33'22"W.
- STARTING BENCHMARK IS THE N.W. CORNER OF SECTION 26-6-20. ELEVATION=912.97 BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988(12).

PLAT OF SURVEY WITH TOPOGRAPHIC DATA

LEGAL DESCRIPTION (PER DOC. #4748276): ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 29, TOWN 6 NORTH, RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 29; THENCE SOUTH 0°32'58" EAST ALONG THE WEST LINE OF SID NORTHWEST 1/4, 92.77 FEET TO THE PLACE OF BEGINNING OF THEE LANDS HEREIN TO BE DESCRIBED; THENCE SOUTH 00°32'58" EAST ALONG SAID WEST LINE 2010.98 FEET TO THE NORTHWEST CORNER OF GEORGE LEIBER'S LAND DESCRIBED IN VOLUME 21 OF DEEDS ON PAGE 316; THENCE NORTH 88°58'50" EAST 704.00 FEET ALONG THE NORTH LINE OF SAID GEORGE LEIBER'S LAND; THENCE NORTH 00°03'10" EAST 2003.16 FEET TO A POINT ON THE SOUTH LINE OF LAWNSDALE ROAD (C.T.H. "1"); THENCE SOUTH 89°37'17" WEST ALONG SAID SOUTH LINE 725.04 FEET TO THE PLACE OF BEGINNING.



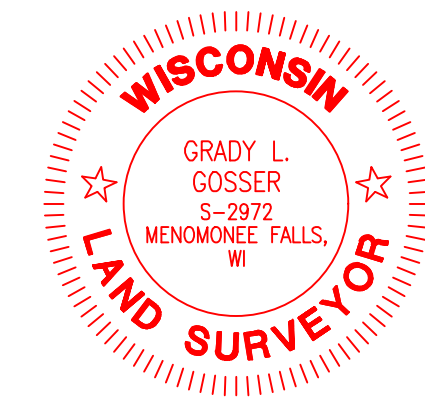
SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN }
WAUKESHA COUNTY } SS

I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP HEREON IS A TRUE REPRESENTATION THEREOF, AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, AND ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY.
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF.

DATED THIS 26th DAY OF FEBRUARY 20 26

Grady L. Gosser
GRADY L. GOSSER, P.L.S. (S-2972)



19035 W. CAPTOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481

PROJECT:
LUSH FARMS
CITY OF NEW BERLIN, WISCONSIN
BY: WORKMAN ENTERPRISES LLC

REVISION HISTORY

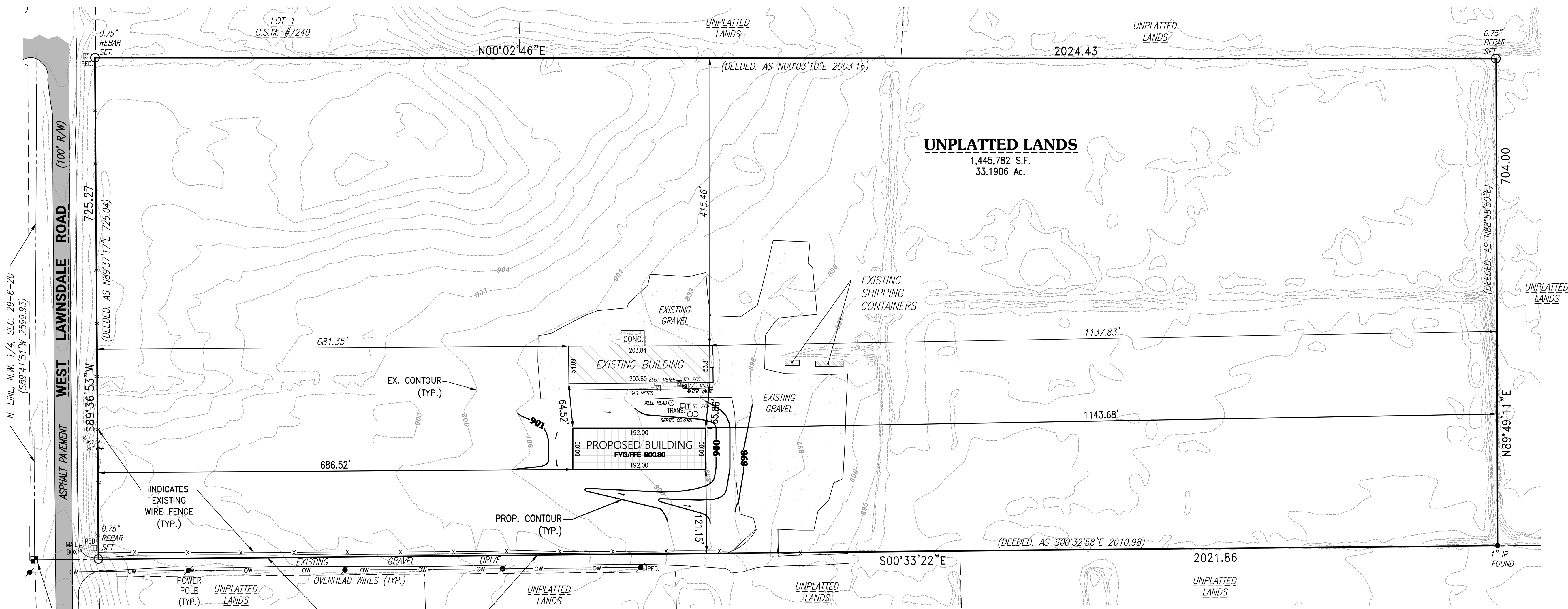
DATE	DESCRIPTION

DATE:
2-26-2026

JOB NUMBER:
26-05-1180

DESCRIPTION:
PLAT OF SURVEY

SHEET
1 OF 1



STARTING B.M.
N.W. 1/4 CORNER,
SEC. 29-6-20
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
FND. CONC. MON. W/BRASS CAP
N 355,044.30
E 2,458,899.30

GENERAL NOTES AND SPECIFICATIONS

GENERAL NOTES

DEVIATION FROM PLANS - Any deviation from these plans shall have been consulted with and documented by the supervising professional.

NON-CONTRACT ITEMS - Items may appear on these plans that are done by others and are not part of the Walters Buildings' contract.

STRUCTURAL PERFORMANCE - Walters Buildings and the Certifying Engineer's responsibility is limited to the structural performance of the post frame shell and listed items. The parties are not acting as the supervising professional of record for onsite supervision of construction, installation, or inspection. Check with local municipality for any special requirements.

SPECIFICATIONS

SITE WORK - The building site shall be graded to provide drainage away from the building. Maintain the grade levels shown on the plan around the building.

FOUNDATION PLACEMENT NOTES - All footings or Sakrete shall be placed on undisturbed virgin soil remaining consistent with the soil bearing capacity as noted in the 'LOADS' Table. If any loose soil is found at footing locations notify engineer at once so adjustments to footings can be made accordingly, as may be necessary.

Column holes are dug per the dimensions shown on the foundation plan (S1) and ready-mix concrete pads or dry concrete pads are poured in place (Note plans for size and type). Additional concrete-mix is poured around the base of the column.

Backfill around columns above footings shall be placed in 8" maximum depth layers and thoroughly compacted. Backfill material shall remain consistent with the presumed lateral soil pressure noted in the 'LOADS'. Typical soil types meeting the requirements include firm sand and loose sandy gravel. Backfill of excavated holes in soil around wood columns may be made with concrete at contractors option.

Foundations shall not be placed prior to confirmation of the soil type at a depth of 5 feet below the bottom of the footing.

CONCRETE (if applicable) - Concrete placement shall be in accordance with ACI 318-14.

Design mixes shall be obtained from the following:

- 1.Strength to be a minimum of 3000 PSI at 28 days for walls and footings.
- 2.Strength to be a minimum of 3500 PSI at 28 days for floor slabs.
- 3.Slump not to exceed 4 inches.

REINFORCING STEEL (if applicable) - Reinforcing steel shall be placed in accordance with CRSI Standards.

Steel reinforcing shall meet the requirements of the "Standard Specifications" for:

- 1.Billet-Steel Concrete Reinforcing Bars Grade 60 (ASTM designation A-615).
- 2.All steel bars shall meet the requirements of ASTM designation A-615. All welded wire mesh for concrete reinforcement shall meet the requirement shall meet the requirements set forth in Standard Specification (ASTM designation A-185). The reinforcement shall not be painted and must be free from grease, dirt or deep rust when placed in the work. To prevent rust, the material must be protected from moisture. The reinforcement shall be protected by the proper thickness of concrete.

Where not otherwise shown, the thickness of concrete over the reinforcement shall be:

- 1.Where concrete is deposited against the ground without the use of forms, the thickness of concrete shall not be less than 3 inches.
- 2.Where concrete is exposed to weather, the thickness of concrete shall not be less than 1 1/2 inches.
- 3.In columns or pedestals not exposed to weather or ground, the thickness of concrete shall not be less than 1 1/2 inches.

ANCHOR BOLTS (if applicable) - The contractor shall set all anchor bolts to receive the building. The bolts shall be the size as shown or required. They may be drilled into place as allowed.

STRUCTURAL LAMINATED COLUMNS - The No. 2 or better southern yellow pine S4S structural columns used in this Walters Building shall consist of a 3 or more members sized as shown on the plans, steel plate laminated, and designed to meet the structural load requirements. Column lumber is kiln-dried to a 19% moisture content.

The members for use in contact with the soil shall be pressure treated to a retention of 0.8 pounds of Copper Chromate Arsenate Type C, oxide type formulation, as listed in American Wood Preservers Assoc. Standard U1. The treatment process shall be as described in the current AWPFA Standard U1 Commodity Specification A, Use Category 4B.

Splices in columns shall conform to Jack Walters & Sons Corp. Standard details and the columns shall bear a permanent Jack Walters & Sons Corp. stamp in a visible location. Wisconsin DLHR Material Approval No. 201610-W.

SPLASHBOARDS - Splashboards are S4S #2 or better Southern Pine, pressure treated to a net retention of 0.15 pounds per cubic foot with MCA copper based treatment. Approved for G-90 galvanized protected connectors and for aluminum contact. Building code compliant - ESR #2240. One row is furnished for building on a level grade.

FRAMING - Side girts are as specified on drawings made of S4S 1650 MSR SPF or better lumber with all joints staggered at attachment to columns, unless otherwise noted. **Roof purlins** are as specified on drawings spaced on edge made of S4S 1650 MSR SPF or better, unless otherwise noted. **Studs/walls** are as specified on drawings made of 1650 MSR SPF or better, unless otherwise noted.

All other framing lumber is standard grade or better.

All wood design shall conform to ANSI/AP&PA NDS-2015.

WALL BRACING - 2" x 6" bracing in all unbraced corners. 2" x 4" lateral truss ties and 2" x 6" end bracing as shown on plans.

STRUCTURAL STEEL (if applicable) - Design shall conform to the latest AISC Specifications.

SIDING PANELS - Structural Steel Grade 80 with G-90 Sheet, pretreatment, urethane primer, and Modified silicon polyester topcoat. Conforms to ASTM A 653.

ROOFING PANELS - Structural Steel Grade 80 with G-90 Sheet, pretreatment, urethane primer, and Modified silicon polyester topcoat. Conforms to ASTM A 653.

TRIM - Die formed trim of Structural Steel Grade 80 with G-90 Sheet, pretreatment, urethane primer, and Modified silicon polyester topcoat on gables, ridges, corners, base, windows and doors.

WALL FINISHES - Exterior cracks, joints, and holes in the buildings envelope are caulked, gasketed, weatherstripped, or otherwise sealed. Interior finish of walls & ceiling shall have a flame spread rating of less than 200. Interior finish Class III Rating - flame spread rating less than 200 and smoke development rating of less than 450.

MASONRY WORK (if applicable) - All masonry work shall be performed by skilled workmen in a competent manner. Joints shall be clean, straight, plumb, level and uniform. Chipped, cracked and broken units shall not be used. Transverse reinforcing shall be used every second course of all masonry block walls. Provide three solid courses for bearing. "Dur-O-Wall" shall be standard weight. Lap all reinforcements 8 inches. All masonry shall conform to ACI 530-11/ASCE 5-11/TMS 402-11.

FIRE WALL NON COMBUSTIBLE PENETRATIONS (if applicable) - shall be tested in accordance with ASTM E119 as part of fire resistance rated assembly or shall be protected by an approved through penetration fire stop system. Combustible penetrations - combustible pipes etc. shall be tested in accordance with ASTM E119 or shall be protected by an approved through penetration fire stop system. Fire dampers - any dampers through fire walls need a three-hour rating.

SOUND & INSULATION - Exposed insulation shall have a flame spread rating of 25 or less and smoke development rating of 450 or less. Concealed shall have a flame spread rating of 75 or less and a smoke development rating of 450 or less. Vapor retarder shall be installed to the warm side of the insulation.

ROOF TRUSSES - Factory assembled with 16 or 20 gauge galvanized steel Eagle truss plates as required and graded kiln dried lumber as specified. In-plant quality control inspection is conducted under the auspices of the Truss Plate Institute. Trusses are designed with current standards and specifications for the stated loading.

TRUSS BRACING - All wood members must be properly braced until the complete structural system has been completed. Erection bracing is supplied by the erection contractor. The contractor must refer to TPI publication BCSI-B10 POST FRAME SUMMARY SHEET "POST FRAME TRUSS INSTALLATION & TEMPORARY RESTRAINT / BRACING" for erection, handling and bracing guidance.

Refer to the truss detail for permanent lateral bracing requirements. All lateral bracing specified on the truss detail are intended to provide lateral restraint for individual truss members only. Additional permanent structural bracing specified on the drawings is supplied with the building package and must be installed as shown.

ATTIC DRAFTSTOPS (if applicable) - Maintain attic draft stops every 3,000 sq. ft. for enclosed attic spaces. Minimum attic access opening is 20"x30".

SKYLIGHTS (if applicable) - 0.06" nominal translucent FRP Alsynite/Structoglas Building Panel. These panels are used as exterior eave/light, skylight or roof panel applications.

HEATING AND VENTILATING (if applicable) - All work shall be done in strict accordance with state and local codes. Others shall submit separate plans and calculations for approval.

ELECTRICAL (if applicable) - All work shall be done in strict accordance with state and local codes. Electrical work in not part of this plan.

PLUMBING (if applicable) - All work shall be done in strict accordance with state and local codes. Provide thermal protection (insulation) of pipes under lavatory. Plumbing work is not part of this plan.

DRINKING FACILITIES (if applicable) - Drinking facilities (not in toilet rooms) must be provided in all public buildings.

FASTENING SCHEDULE

FLOOR CONSTRUCTION		
Built-up Girders & Beams	20d common	32" o.c. direct
Bridging to Joists	8d common	2 ea. direct end
Floor Joists to Studs	10d common	5 direct or 3 direct
Floor Joists to Studs (W/ceiling joist)	10d common	2 direct
Floor Joists to Sill or Girder	8d common	3 toe nail
Ledger Strip	16d common	3 ea. direct joist
1" Subflooring (6" or less)	8d common	2 ea. direct joist
1" Subflooring (8" or more)	8d common	3 ea. direct joist
2" Subflooring	16d common	2 ea. direct joist
Particleboard Underlayment (1/4"-3/4")	6d annular threaded	6" o.c. direct edges & 12" o.c. intermediate

WOOD STRUCTURAL PANEL SUBFLOORING		
1/2" or less	6d common or 6d annular/spiral thread	6" o.c. direct edges & 12" o.c. intermediate
19/32" - 3/4"	8d common or 6d annular/spiral thread	6" o.c. direct edges & 12" o.c. intermediate
7/8" - 1-1/8"	10d common or 8d ring shank 8d annular or spiral thread	6" o.c. direct edges
1/2" or less	16ga galvanized wire staples	4" o.c. edges & 7" o.c. intermediate
19/32, 5/8"	3/8" min. crown, 1-5/8" length	2-1/2" o.c. edges & 4" o.c. intermediate

WALL CONSTRUCTION		
Stud to sole plate	8d common	4 toe nail
Stud to cap plate	16d common	2 direct nail
Double studs	16d common	2 toe nail or 2 direct nail
Corner studs	10d common	12" o.c. direct
Sole plate to joist or blocking	16d common	24" o.c. direct
Interior-braced wall sole plate-parallel joist	16d common	12" o.c.
Double cap plate	10d common	16" o.c. direct nail
Cap plate laps	10d common	2 direct nail
Ribbon strip, 6" or less	10d common	2 ea. direct bearing
Ribbon strip, 6" or more	10d common	3 ea. direct bearing
Diagonal brace (to stud & plate)	8d common	2 ea. direct bearing
Interior-braced wall top plate-joist/blocking	10d common	12" o.c.
Tail beams to headers (nailing permitted)	20d common	1 ea. end 4 sq.ft. floor area
Header beams to trimmers (nailing permitted)	20d common	1 ea. end 8 sq.ft. floor area
Continuous header to stud	8d common	4 toe nail
Continuous header, two pieces	16d common	16" o.c. direct

ROOF & CEILING CONSTRUCTION		
Ceiling joists to plate	16d common	3 toe nail
Ceiling joists (laps over partition)	10d common	3 direct nail
Ceiling joists (parallel to rafter)	10d common	3 direct nail
Collar beam	10d common	3 direct
Roof rafter to plate	8d common	3 toe nail
Roof rafter to ridge	16d common	2 toe nail or direct nail
Jack rafter to hip	10d common	3 toe nail
1" roof decking (6" width or less)	8d common	2 ea. direct rafter
1" roof decking (over 6" width)	8d common	3 ea. direct rafter

WALL & ROOF SHEATHING		
1" wall sheathing (c8")	8d common	2 ea. direct stud
1" wall sheathing (over 8" width)	8d common	3 ea. direct stud
1/2" fiberboard sheathing	1-1/2" GV roofing nail or 6d common or 16ga staple, 1-1/8" w/min. crown of 7/16"	3" o.c. exterior edge, 6" o.c. intermediate
25/32" fiberboard sheathing	1-3/4" GV roofing nail or 8d common or 16ga staple, 1-1/2" w/min. crown of 7/16"	3" o.c. exterior edge, 6" o.c. intermediate
Gypsum sheathing	12ga 1-1/4" large head, corrosion resistant	4" o.c. on edge, 8" o.c. intermediate
Gypsum sheathing (seismic tracing)	11ga 1-3/4" long 7/16" head	4" o.c. all bearing points
Particleboard wall sheathing (1/2" or less)	6d common	6" o.c. direct edges & 12" o.c. intermediate
Particleboard wall sheathing (5/8" or less)	8d common	6" o.c. direct edges & 12" o.c. intermediate

WOOD STRUCTURAL PANEL ROOF & WALL SHEATHING		
1/2" or less	6d common (walls); 8d common (roofs)	6" o.c. direct edges & 12" o.c. intermediate
19/32"-1"	8d common	6" o.c. direct edges & 12" o.c. intermediate
1" or greater	10d common	6" o.c. direct edges & 12" o.c. intermediate
1/2" or less	16ga GV wire staples	4" o.c. edges & 8" o.c. intermediate
19/32", 5/8"	same as immediately above	2-1/2" o.c. edges & 5" o.c. intermediate
Shingles	#14 B&S ga corrosion resistant	2 ea. bearing
Waterboarding	8d corrosion resistant	2 ea. bearing

Note A: Single nails shall penetrate not less than 3/4" into nailing strips, sheathing or supporting construction except as otherwise provided for in Section 1507.0.

Note B: For regions having a basic wind speed of 90 mph or greater where the main roof height is less than 25 ft. and for regions having basic wind speed of 80 mph or less, nails which attach wood structural panel roof sheathing to gable end wall framing shall be spaced 6" o.c. Where basic wind speed is greater than 80 mph, nails which attach panel roof sheathing to intermediate supports shall be spaced 6" o.c. of a minimum of a 48" distance from ridges, eaves & gable end walls; & 4" o.c. to gable end wall framing.

Note C: For regions having a basic wind speed of 90 mph greater, 8d deformed shank nails shall be utilized to attach wood structural panel roof sheathing to framing within a minimum 48" distance from gable end walls provided the main roof height is between 25' and 35'. For roof heights greater than 35' in a 90 mph or greater wind region, attachment of wood structural panel roof sheathing shall be designed for the wind loads in Section 1609.0.

Note D: Nails shall be spaced 6" o.c. direct to panel edges and 6" o.c. to intermediate supports where panel spans are 48" o.c. or greater.

Note E: 1" = 25.4mm, 1' = 304.8mm.

ABBREVIATIONS

ABV	Above	F.D.	Floor Drain
AFF	Above Finish Floor	F.E.	Fire Extinguisher
BBP	Blocking Between Purlins	F.O.	Framed Opening
B.O.S.	Bottom Of Splashboard	FT	Feet
BRG	Bearing	GA	Gage, Gauge
B.S.	Both Sides	GTE	Grade To Eave
¢	Centerline	GTH	Grade To Heel
CFT	Cubic Foot	GTP	Grade To Peak
C.H.	Ceiling Height	GV	Galvanized
CLOS	Closet	IN.	Inch
COM	Common	PL	Property Line
CMU	Concrete Masonry Unit	PSF	Pounds per Square Foot
d	Penny	PSI	Pounds per Square Inch
DBL	Double	P.T.	Pressure Treated
Ea.	Each	R.C.	Raised Chord
E.E.	Each End	R.O.	Rough Opening
E.F.	Each Face	S.C.	Straight Chord
E.W.	Each Way	STP	Steel Transfer Plate
LAM	Laminated	T&G	Tongue & Groove
L.A.V.	Lavatory	T.O.G.	Top of Ledger
MIL	Millimeter(s)	T.O.W.	Top of Wall
NBW	Not By Walters Buildings	T.O.C.	Top of Concrete
N.T.S.	Not To Scale	T.O.F.	Top of Floor
O.C.	On Center(s)	TYP	Typical(y)
O.C.E.W.	On Center Each Way	TRTD	Treated
OHD	Overhead Door	WH	Water Heater
O/O	Out to Out	WWM	Welded Wire Mesh



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PROJECT NAME & LOCATION

PROJECT NAME: 60X192 WORM CASTING BUILDING	PROJECT ADDRESS: 20203 WEST LAWNSDALE ROAD, NEW BERLIN, WI, 53146
--	---

PROJECT LOAD SUMMARY

International Building Code 2021	
RISK CATEGORY II	
SNOW	
PF=0.7*Ce*Cs*I*Pg	
Ps= Cs*Pf	
Ground Snow Load (Pg):	35 PSF
Snow Exposure Factor (Ce):	1.00
Thermal Factor (Cs):	1.20
Importance Factor (I):	1.00
Flat Roof Snow Load (Pf):	29.4 PSF
Slope Factor (Cs):	1.00
Sloped Roof Snow Load (Ps):	29.4 PSF
Unbalanced Snow Load per SPS 362.1608:	32.9 PSF
Balanced Snow Load Used:	30 PSF

WIND	
Ultimate Wind Speed:	107 mph
Nominal Wind Speed Conversion Factor:	√(0.6)
Nominal Wind Speed:	82.9 mph
Exposure Category:	C
Qz = 0.00256*Kz*Kzt*Kd*(Vz) ²	
P = Qz(GCpf)+(GCpi)	
Kzt:	1.00
Kz:	0.92
Kd:	0.85
Qz (Velocity Pressure):	13.9
Gcpi:	+0.18 / -0.18
WIND LOAD USED (P):	14 PSF
MWFRS h<= 60t	

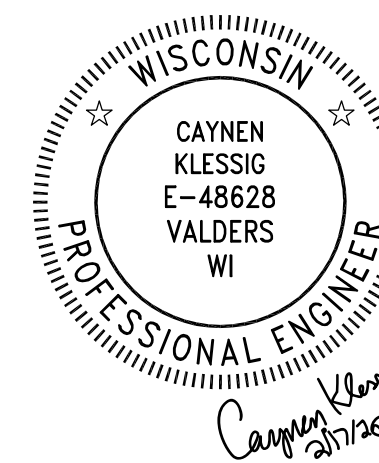
SEISMIC	
Ss (Mapped Spectral Response Acceleration 0.2 Sec):	0.078 g
SI (Mapped Spectral Response Acceleration 1.0 Sec):	0.049 g
Sds:	0.0832
SD1:	0.0784
Seismic Importance Factor:	1.00
Seismic Design Category:	B
Site Class:	D
Basic Structural & Seismic Resisting System - Light Framed Walls w/ Shear Walls	
Seismic Base Shear:	2465 #
Cs (Seismic Response Coefficient):	0.012
R (Response Modification Factor):	7
Using Equivalent Lateral Force Procedure	

SOILS	
Presumed Soil Bearing Capacity:	2000 PSF
Presumed Lateral Soil Pressure:	200 PSF
Roof Live Load (reducible)	20 PSF
Total Load:	40 PSF

Commercial vehicles of 26,000# or greater are not allowed unless separated by 3 hour fire barrier into fire areas of 5,000 sq ft or less or building is sprinklered. Commercial Trucks or Buses consist of: Trucks having a gross vehicle weight over 26,000 pounds. Passenger vans or buses with a seating capacity of 16 or more.

NOTE - PRIMARILY UNOCCUPIED STORAGE BUILDING, FIXTURES NOT REQUIRED

No high piled combustible storage over 12' unless building is sprinklered.

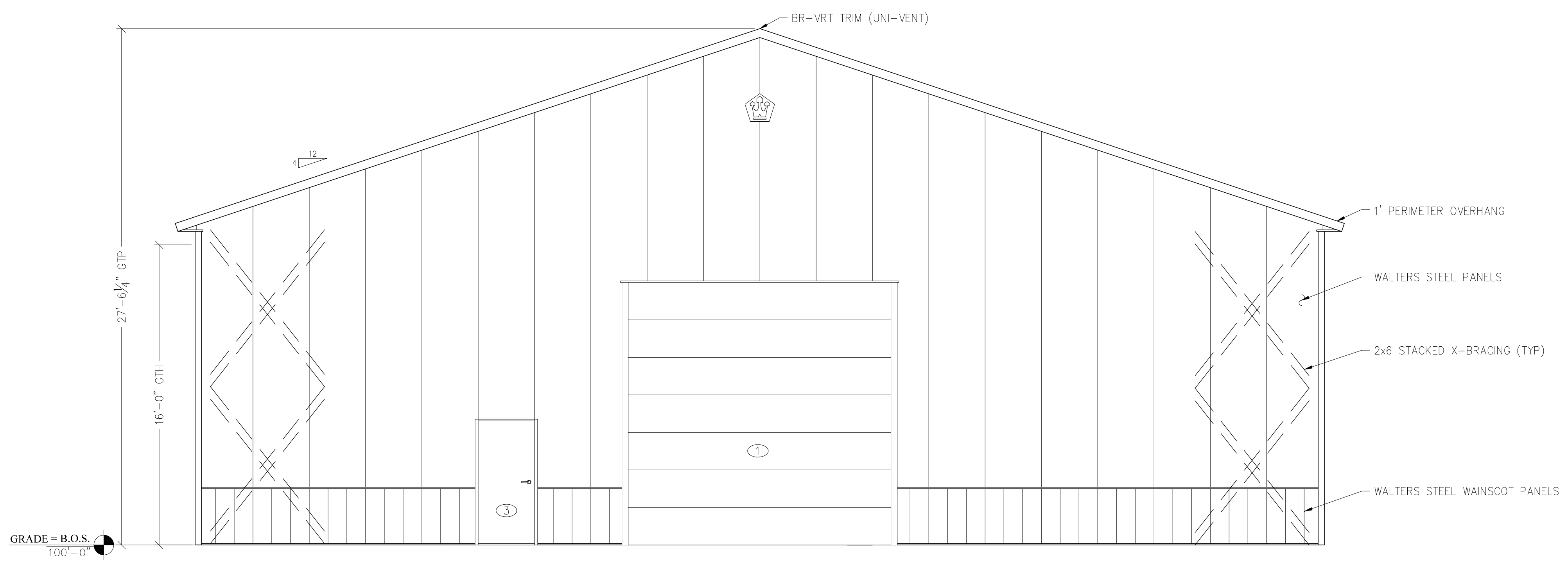
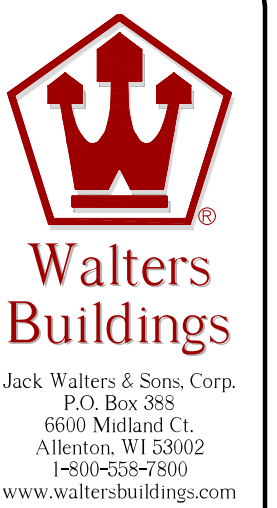


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OWNER ADDRESS: 20203 WEST LAWNSDALE ROAD, NEW BERLIN, WI, 53146
PROJECT NAME: 60X192 WORM CASTING BUILDING
PROJECT ADDRESS: 20203 WEST LAWNSDALE ROAD, NEW BERLIN, WI, 53146
SALES REP / DEALER: JOSH OBERT
DRAFTER: DANIEL NELSON
ESTIMATOR: EVAN ROGERS
LAST SAVED BY: (KLESSIG) ON: 2/17/2024
PAPER SIZE:
SCALE:
ENGINEER: CAYNEN KLESSIG

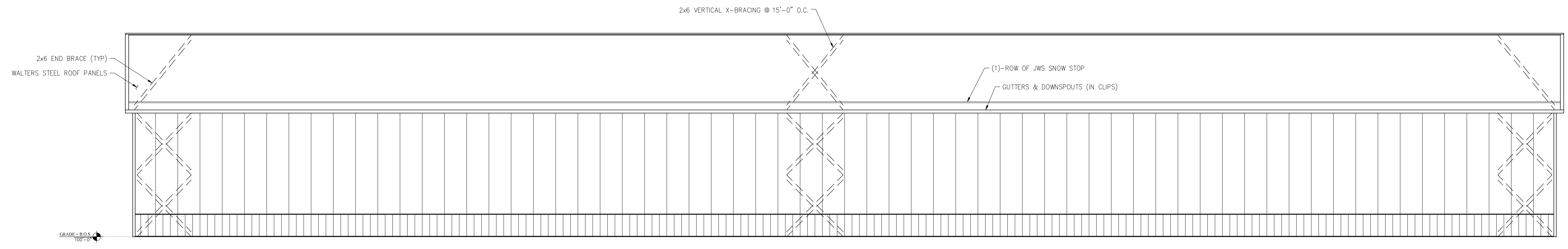
JOB NUMBER: 94-0849
SHEET NUMBER:

G1

DOOR & WINDOW SCHEDULE		
MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS*		
SEE PAGE 01 FOR PLYCO ROUGH OPENING SIZES		
TAG	TYPE	QUANTITY
①	14'-0"x14'-0" OVERHEAD DOOR	2
②	14'-0"x10'-0" OVERHEAD DOOR	1
③	3068 THERMAL BREAK PLYCO 92 TB ALUMINUM FRAME SERIES W/ LEVER LOCK SET & DEADBOLT & CLOSER	4



1 NORTH END ELEVATION
 A1 SCALE: 1/4" = 1'-0"



2 WEST SIDE ELEVATION
 A1 SCALE: 1/8" = 1'-0"

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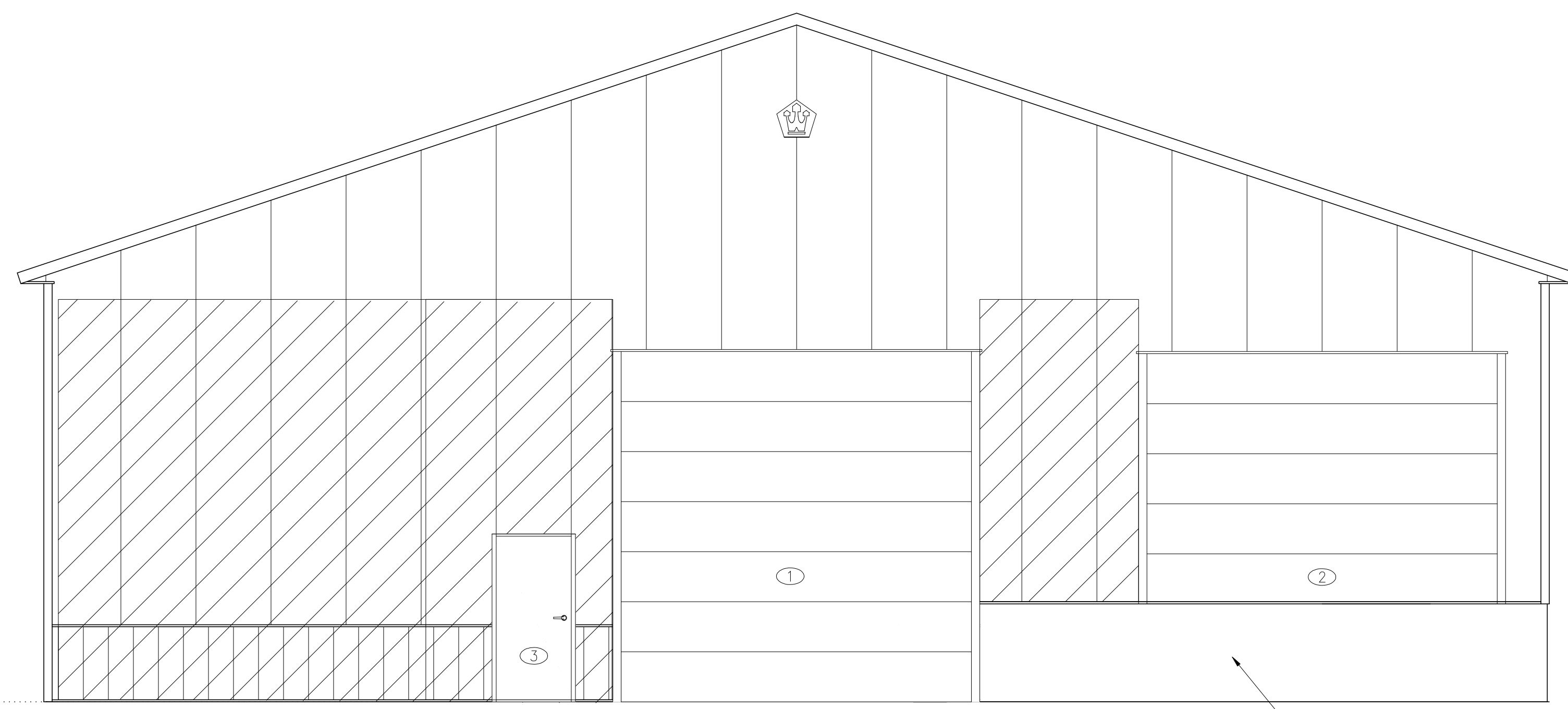
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NOTE:
 SAME AS SHEET A1
 EXCEPT FOR ITEMS NOTED

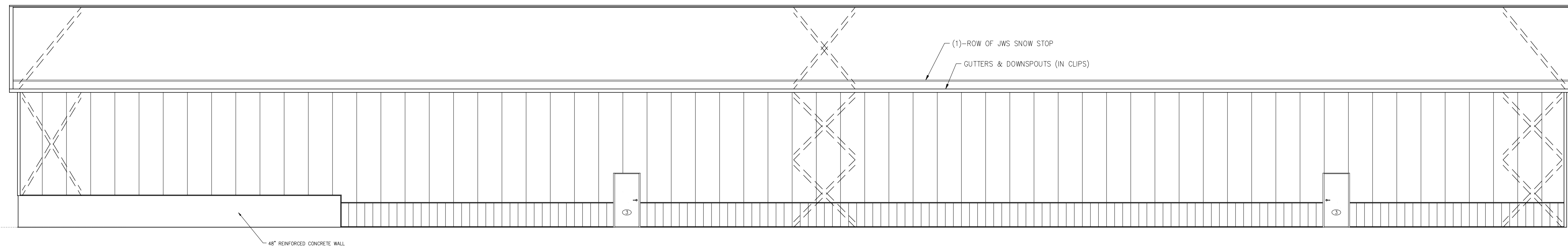
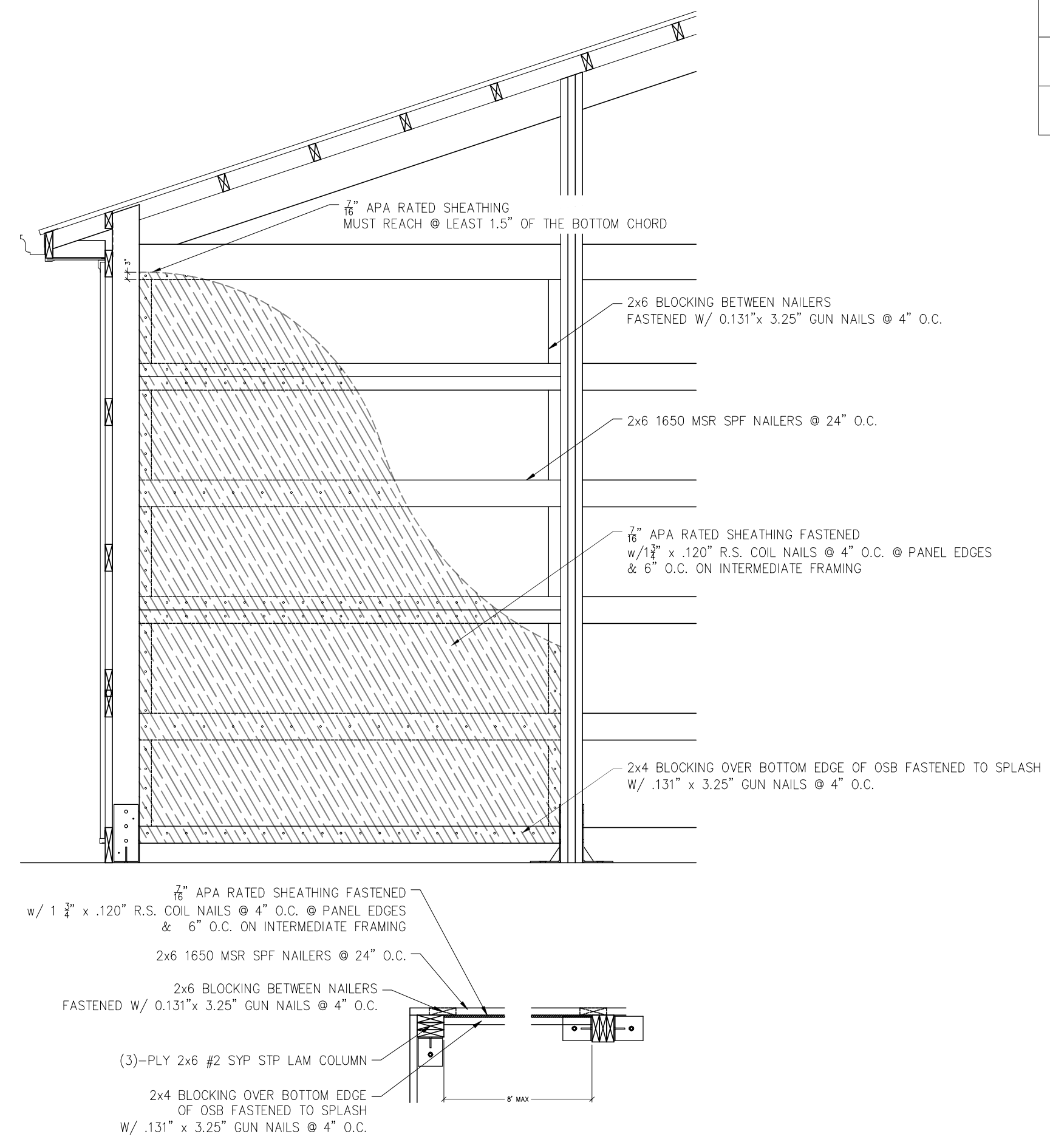
GRADE = B.O.S.
 100'-0"

NOTE: 24" O.C. NAILERS THIS ENDWALL

48" REINFORCED CONCRETE WALL

NOTE: HATCH DENOTES 7/16" APA RATED SHEATHING SHEAR WALL

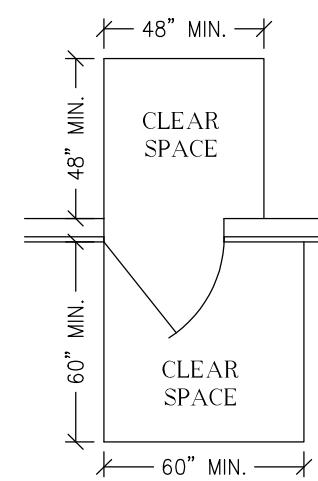
1 SOUTH END ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



2 EAST SIDE ELEVATION
 A1.1 SCALE: 1/8" = 1'-0"

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JOB NUMBER: 94-0849
SHEET NUMBER:

WALK DOOR SPECIFICATIONS



MAINTAIN LEVEL APPROACH TO WALKDOORS
 SLOPES NOT GREATER THAN 1/4% WITH A MAXIMUM RISE OF 30"
 DOORWAYS MAINTAIN 32" CLEAR
 HALLWAYS MAINTAIN 36" CLEAR
 36" EXIT DOORS SHALL MAINTAIN 32"x80" CLEAR AT ALL TIMES.
 LEVER HANDLE LOCKSET DOOR HARDWARE NO MORE THAN 42"
 FROM FINISHED FLOOR.
 MAXIMUM THRESHOLD HEIGHT 1/2", BEVEL WITH A SLOPE NO
 GREATER THAN 1:2

EXIT SPECIFICATIONS

EXITS TO PROVIDE AN APPROVED TYPE ILLUMINATED SIGN BEARING THE WORD "EXIT" IN
 6" HIGH LETTERS ABOVE ALL DOORS SHOWN THIS WAY. ALL EXIT DOORS SHALL BE
 EQUIPPED WITH STANDARD TYPE EXIT HARDWARE OPERABLE FROM THE INSIDE WITHOUT
 THE USE OF LATCH, KEY OR BOLT. ALL EXIT DOORS ARE ON ACCESSIBLE ROUTE.
 EXIT LIGHTS TO PROVIDE NO LESS THAN FIVE FOOTCANDLES OF ILLUMINATION WITH A
 CONTRAST RATIO NOT LESS THAN 0.5. SHALL BE ILLUMINATED AT ALL TIMES THE
 BUILDING IS OCCUPIED AND CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM THAT
 PROVIDES ILLUMINATION FOR A PERIOD OF NO LESS THAN 90 MINUTES AFTER POWER
 LOSS.
 MEANS OF EGRESS LIGHTING: THE INTENSITY OF FLOOR LIGHTING SHALL NOT BE LESS
 THAN ONE FOOT CANDLE OF ILLUMINATION AT THE WALKING SURFACE LEVEL.

FIRE EXTINGUISHER SPECIFICATIONS

OWNER TO FURNISH AND INSTALL FIRE EXTINGUISHERS PER NFPA NO. 10

Hazard Occupancy	NFPA TABLE 2-2.1		
	Light (Low)	Ordinary (Moderate)	Extra (High)
Minimum Rated Single Extinguisher	2-A	2-A	4-A*
Maximum Floor Area per Unit of A	3,000 sq. ft.	1,500 sq. ft.	1,000 sq. ft.
Maximum Floor Area per Extinguisher	11,250 sq. ft.	11,250 sq. ft.	11,250 sq. ft.
Maximum Travel Distance to Extinguisher	75 ft.	75 ft.	75 ft.

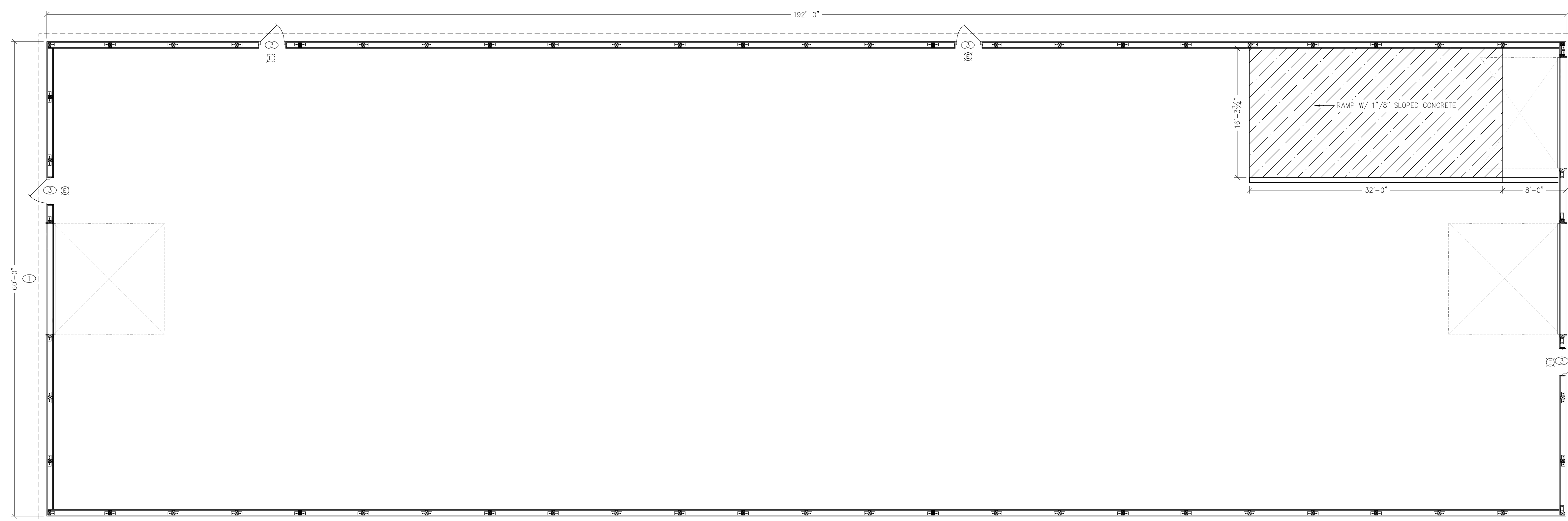
* Two 2 1/2 Gallon Water Type Extinguishers can be used to fulfill the requirements of One 4-A Rated Extinguisher.

DOOR & WINDOW SCHEDULE

MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS*
 SEE PAGE 01 FOR PLYCO ROUGH OPENING SIZES

TAG	TYPE	QUANTITY
①	14'-0"x14'-0" OVERHEAD DOOR	2
②	14'-0"x10'-0" OVERHEAD DOOR	1
③	3068 THERMAL BREAK PLYCO 92 TB ALUMINUM FRAME SERIES W/ LEVER LOCK SET & DEADBOLT & CLOSER	4

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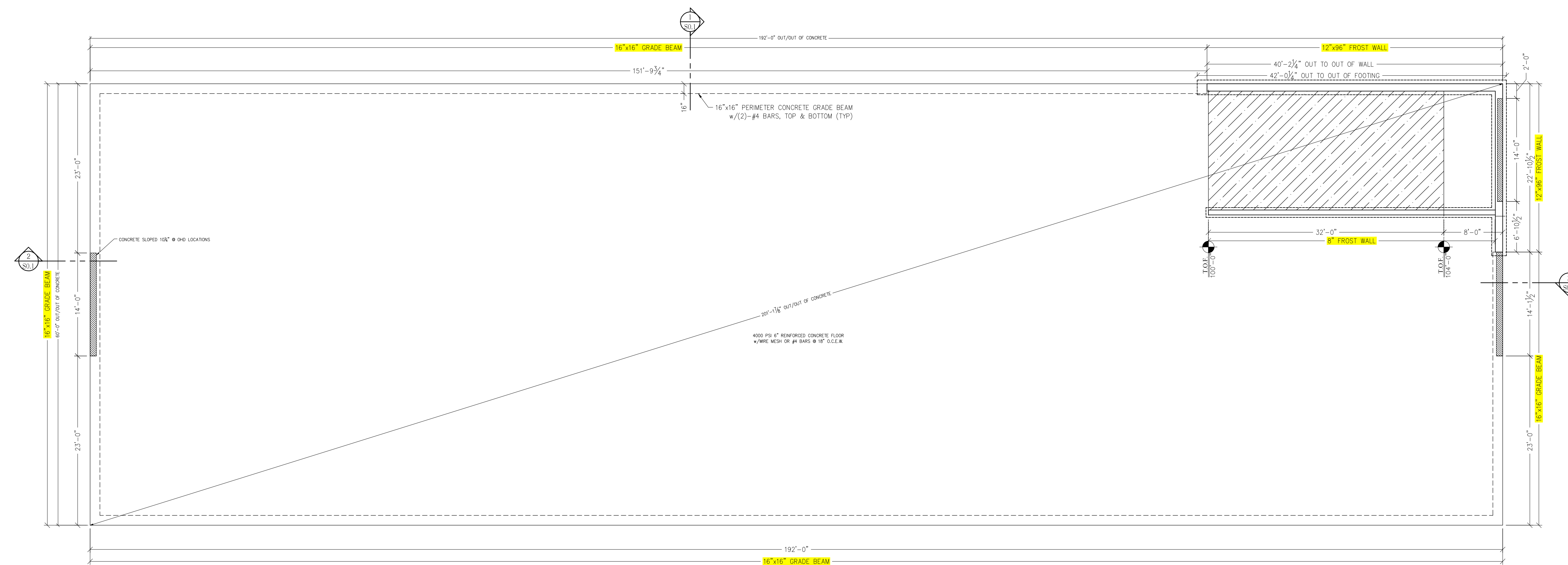
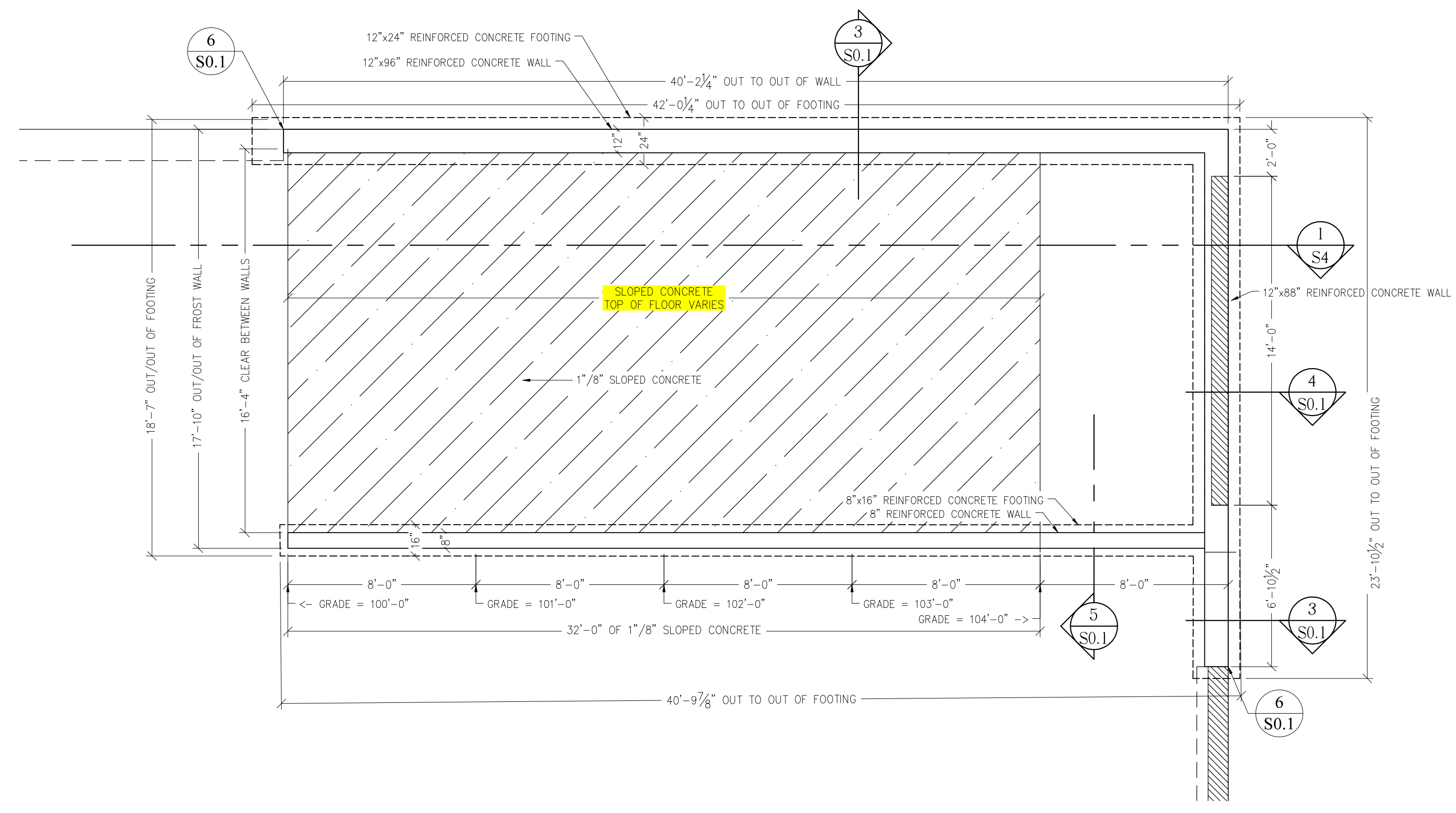
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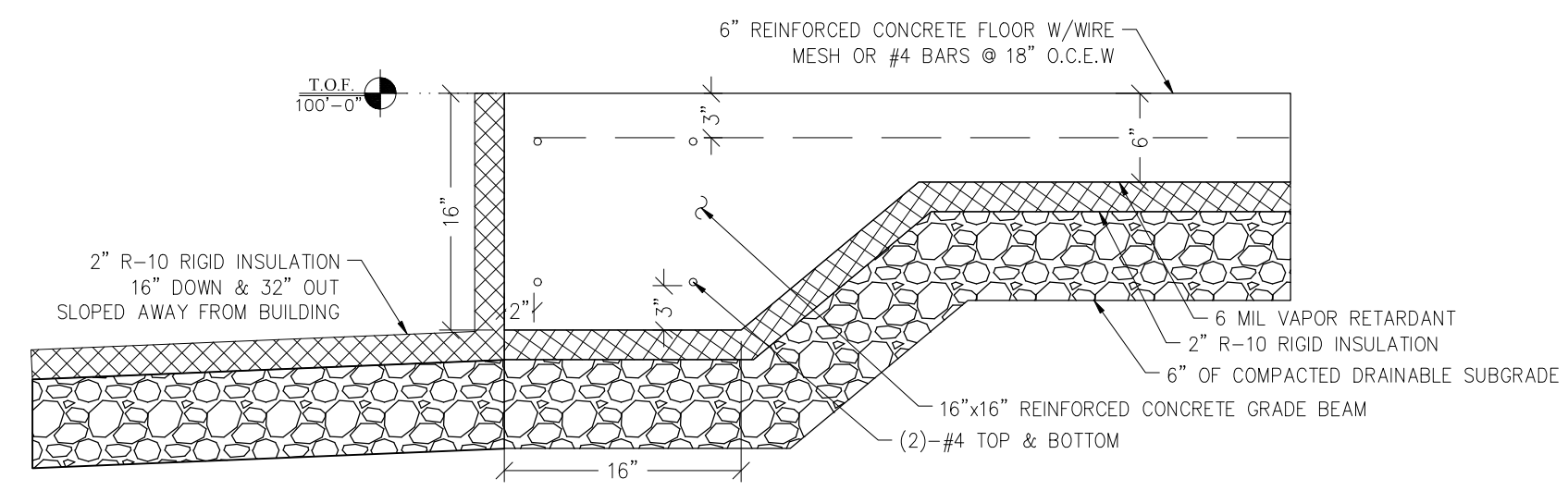
TITEN HD FASTENER SPECIFICATIONS

Fastener	Material	Finish	Notes
TITEN HD	304	304	See Specification
TITEN HD	316	316	See Specification
TITEN HD	316L	316L	See Specification

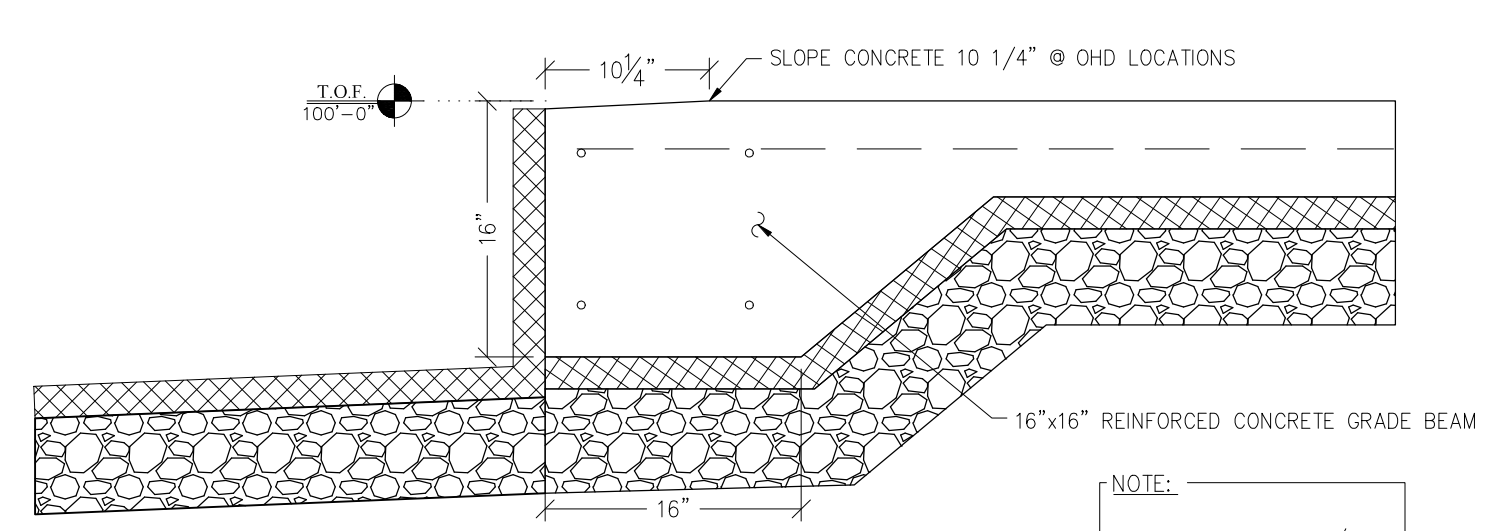
6 MIL VAPOR RETARDER SPECIFICATIONS

- *6 MIL UNDER SLAB VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" IS REQUIRED EXCEPT FOR:
- 1. UNHEATED BUILDINGS
- 2. UNHEATED STORAGE ROOMS LESS THAN 20 SQUARE FEET & CARPORTS ATTACHED TO R-3 OCCUPANCIES
- 3. FOR BUILDINGS OF OTHER OCCUPANCIES WHERE MIGRATION OF MOISTURE THROUGH THE SLAB FROM BELOW WILL NOT BE DETRIMENTAL TO THE INTENDED OCCUPANCY OF THE BUILDING
- 4. FOR DRIVEWAYS, WALKS, PATIOS & OTHER PLATFORMS THAT WILL NOT BE ENCLOSED AT A LATER DATE
- 5. WHERE APPROVED BASED ON LOCAL SITE CONDITIONS



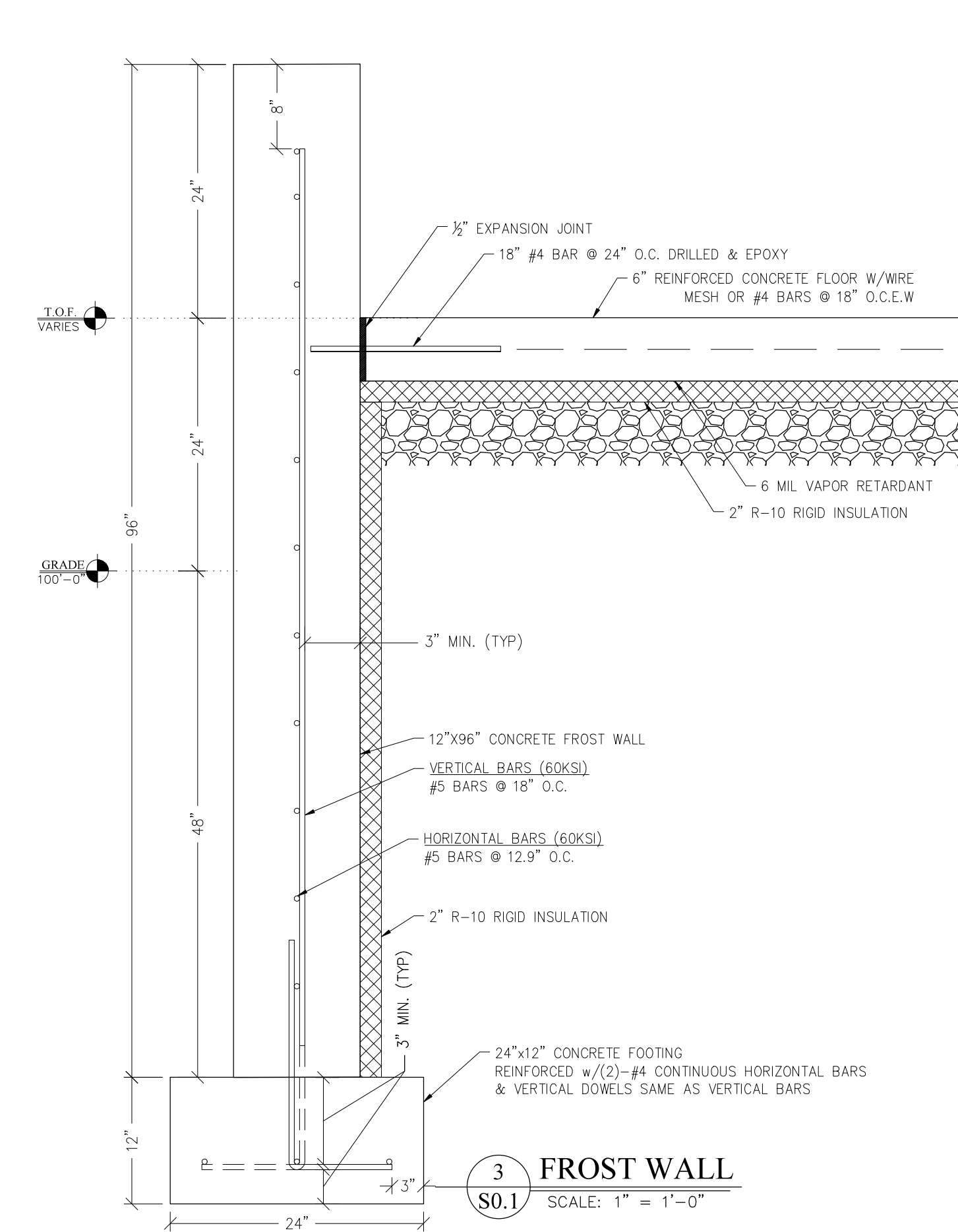


1 GRADE BEAM
 S0.1 SCALE: 1" = 1'-0"

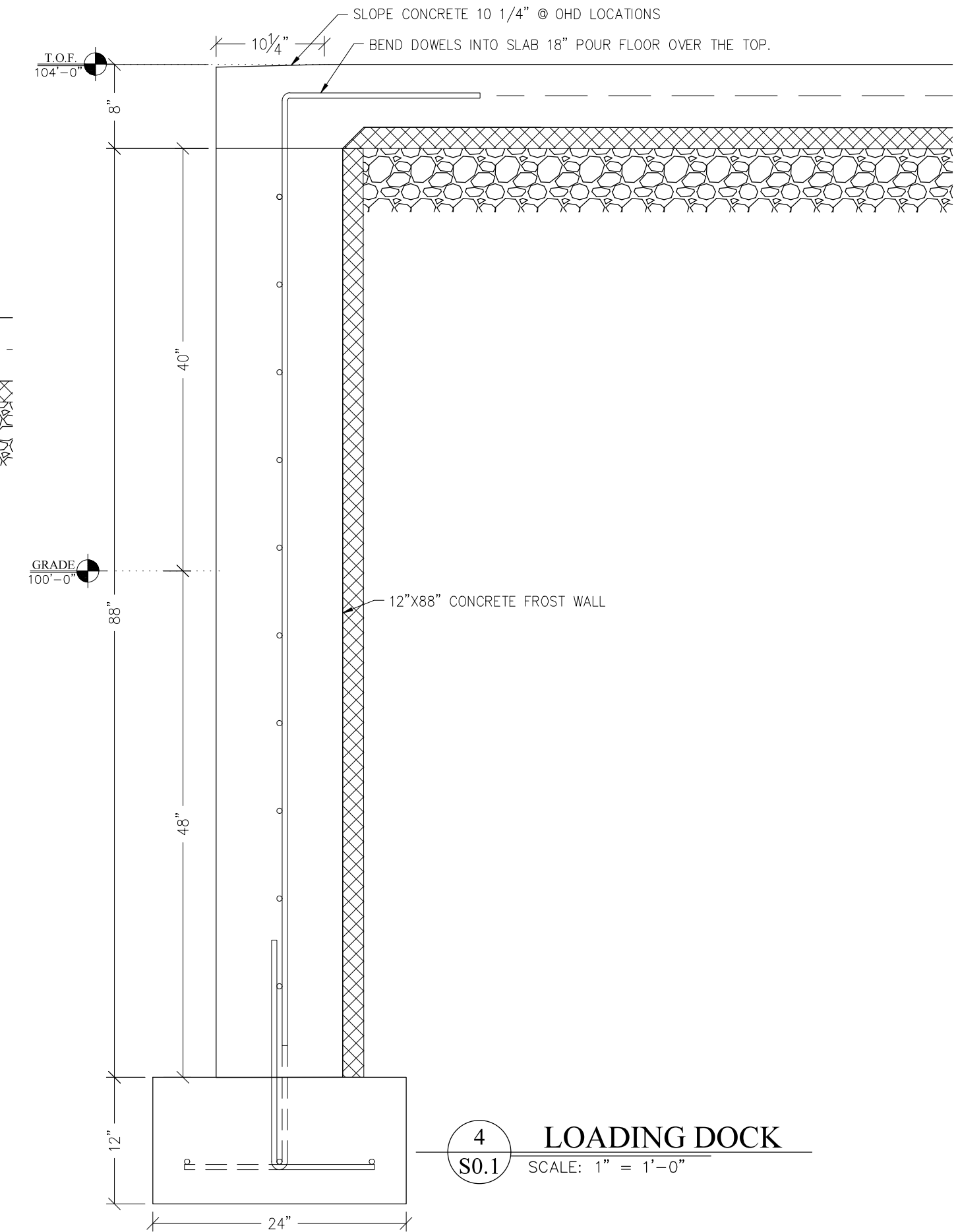


2 SLOPED CONCRETE
 S0.1 SCALE: 1" = 1'-0"

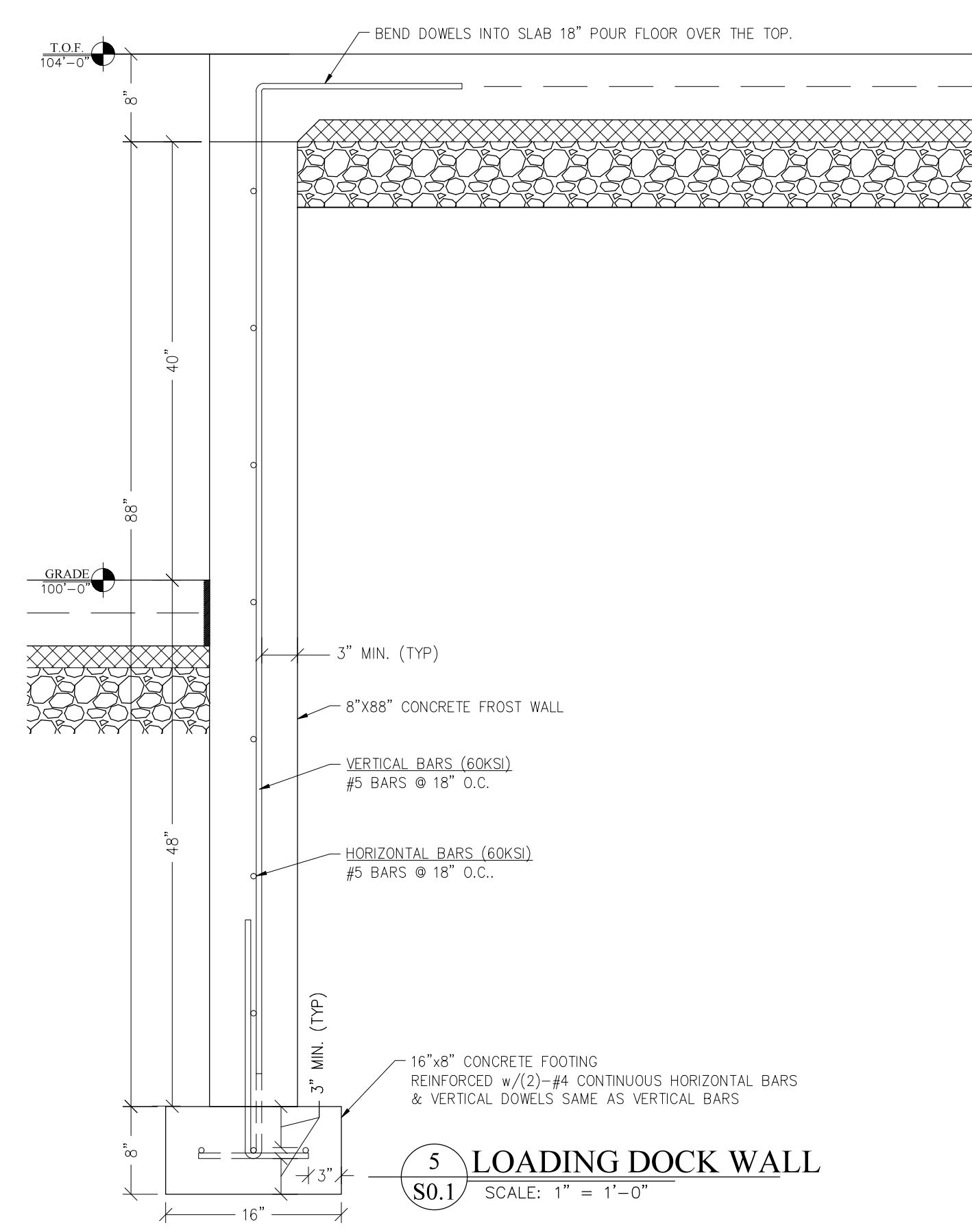
NOTE:
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 EXCEPT FOR ITEMS NOTED



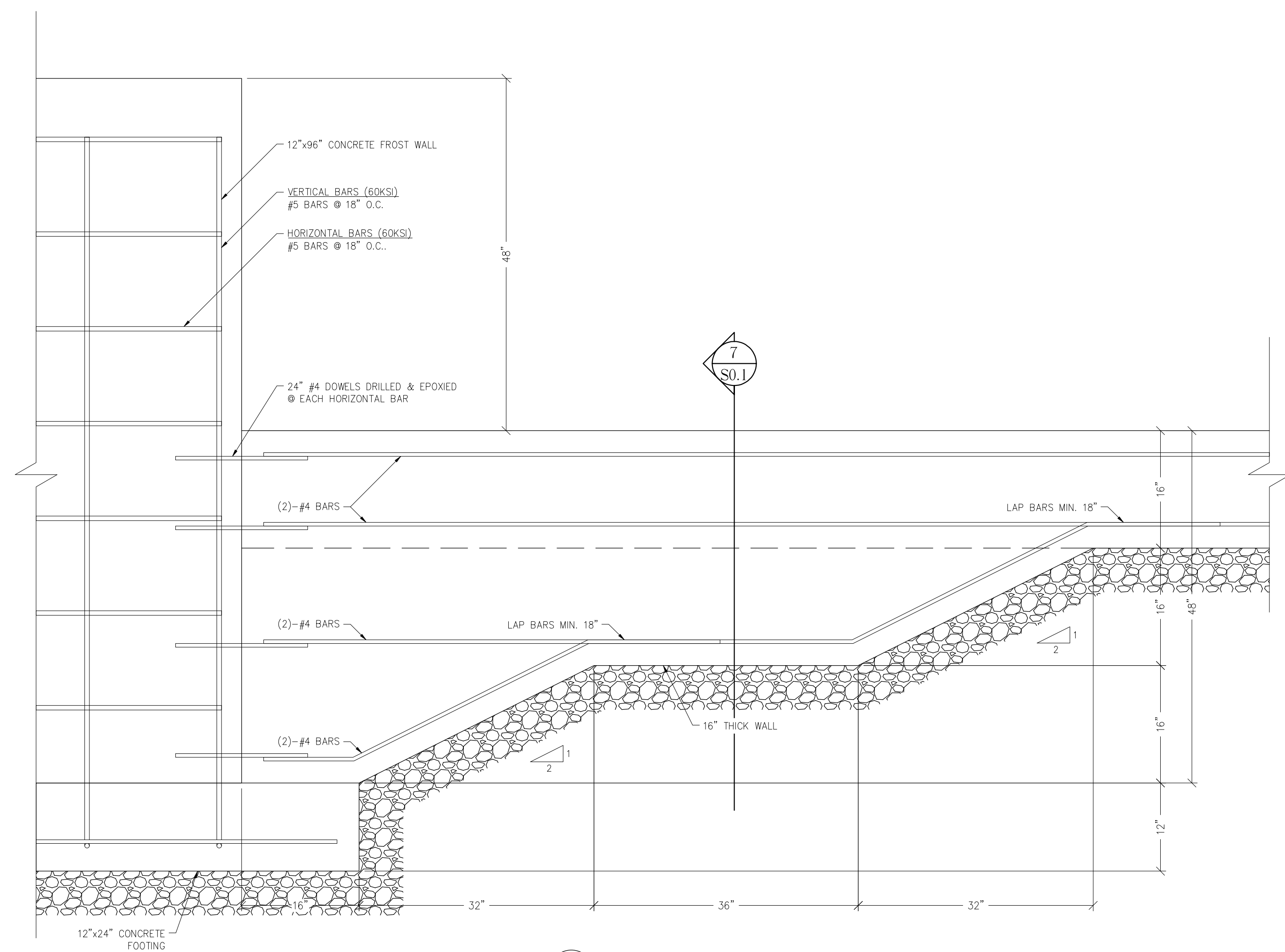
3 FROST WALL
 S0.1 SCALE: 1" = 1'-0"



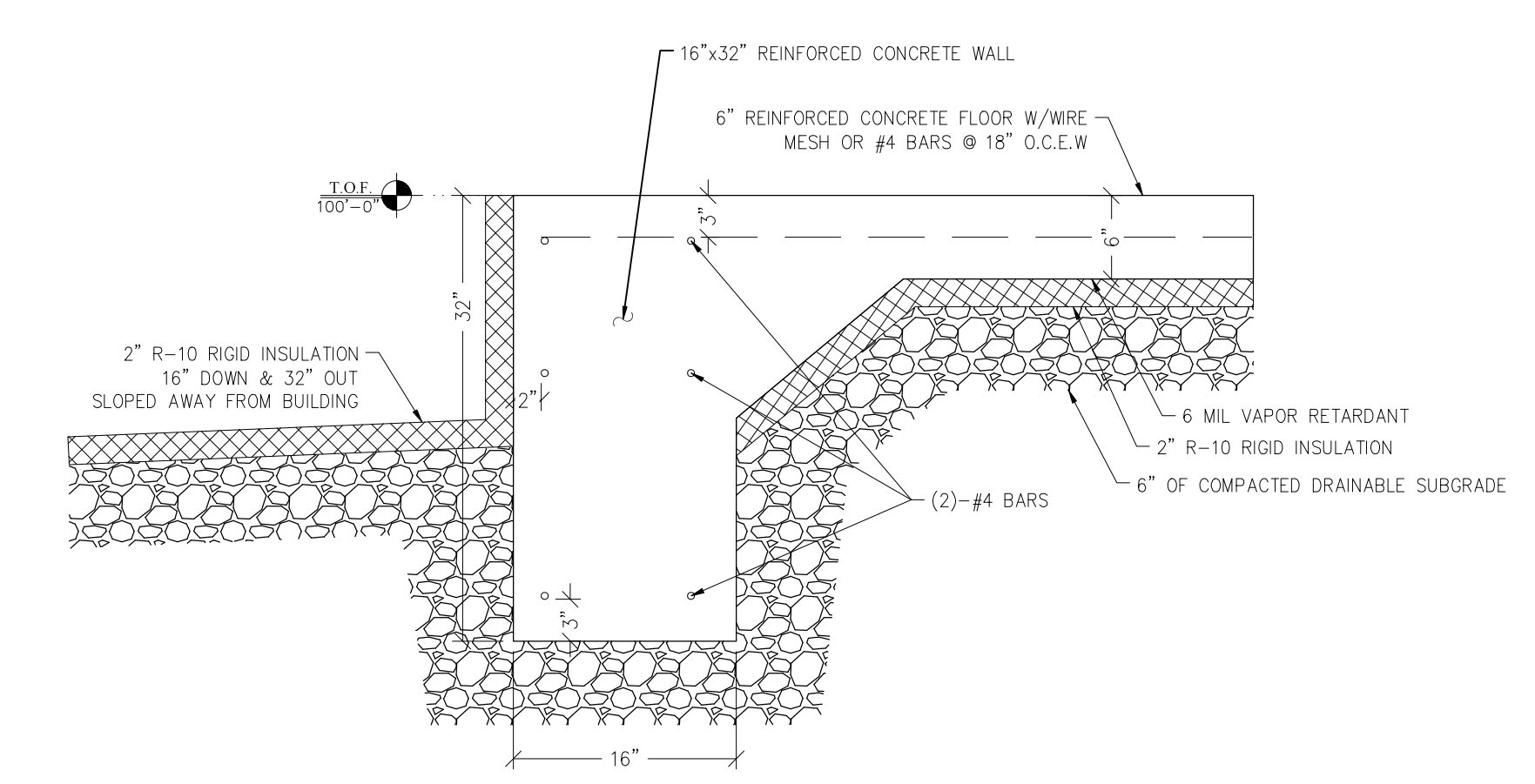
4 LOADING DOCK
 S0.1 SCALE: 1" = 1'-0"



5 LOADING DOCK WALL
 S0.1 SCALE: 1" = 1'-0"



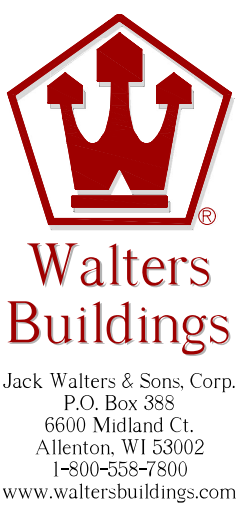
6 WALL TO GRADE BEAM TRANSITION
 S0.1 SCALE: 1" = 1'-0"



7 WALL TO GRADE BEAM TRANSITION
 S0.1 SCALE: 1" = 1'-0"

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DRAFTER: DANIEL NELSON
ESTIMATOR: EVAN ROGERS
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SCALE: AS NOTED
ENGINEER: CAYNEN KLESSIG
JOB NUMBER: 94-0849
SHEET NUMBER:

DOOR & WINDOW SCHEDULE		
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SEE PAGE 01 FOR PLYCO ROUGH OPENING SIZES		
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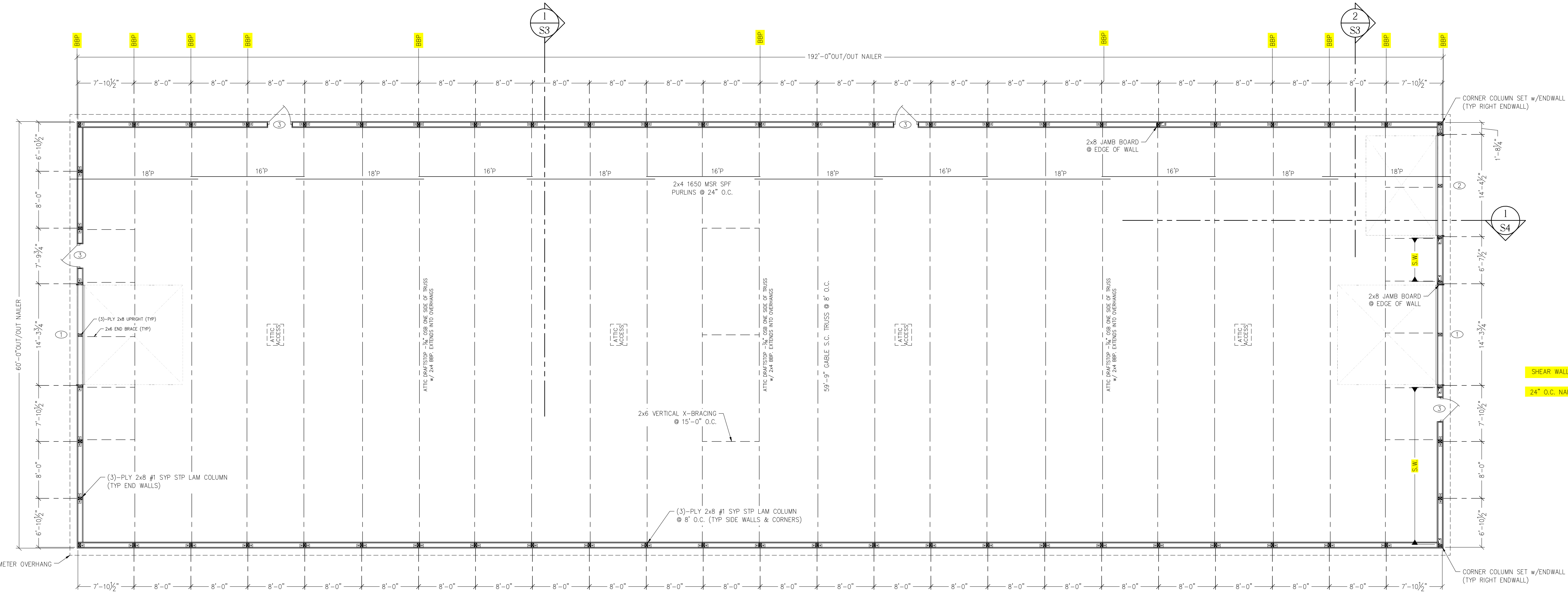
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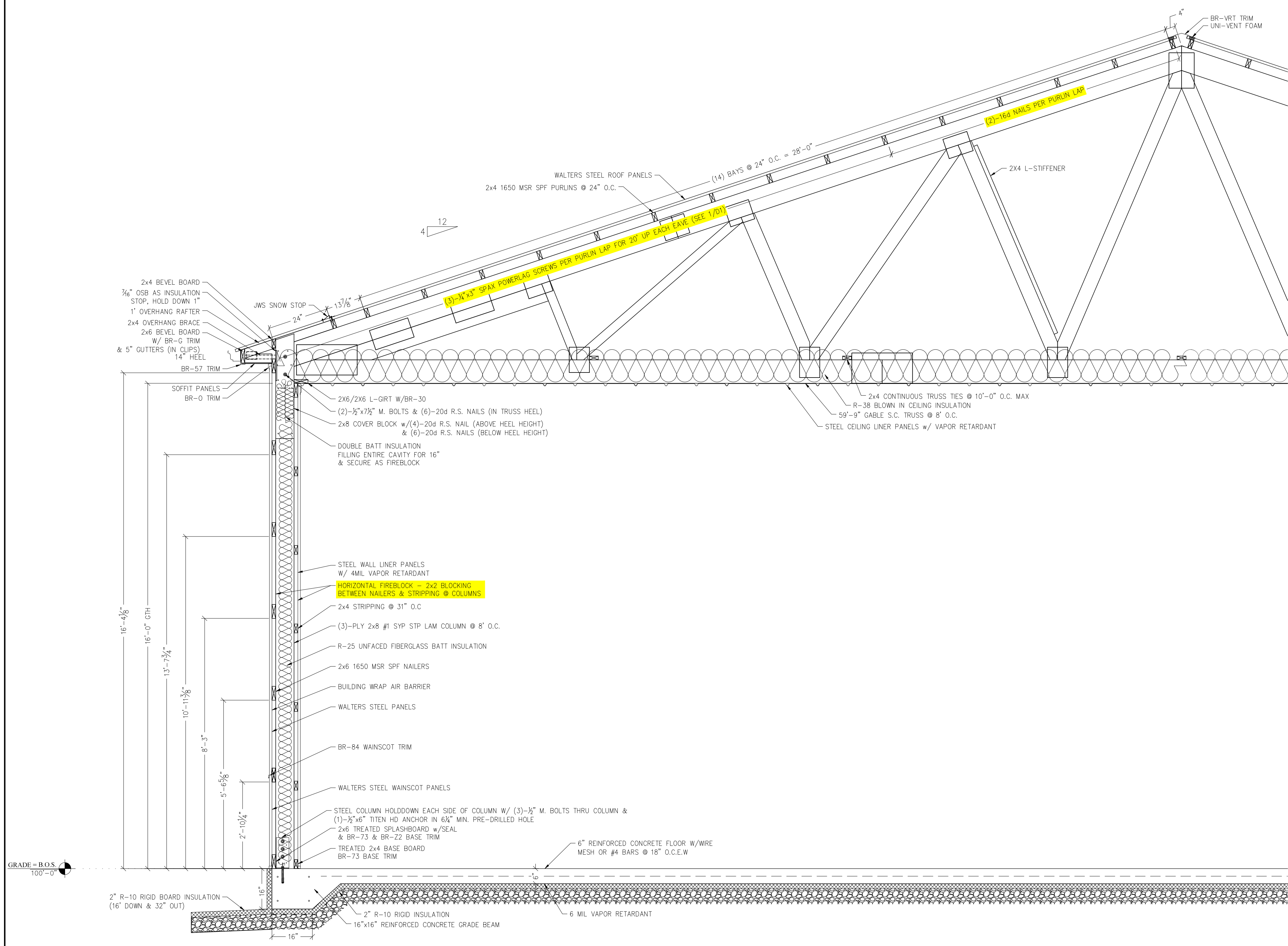
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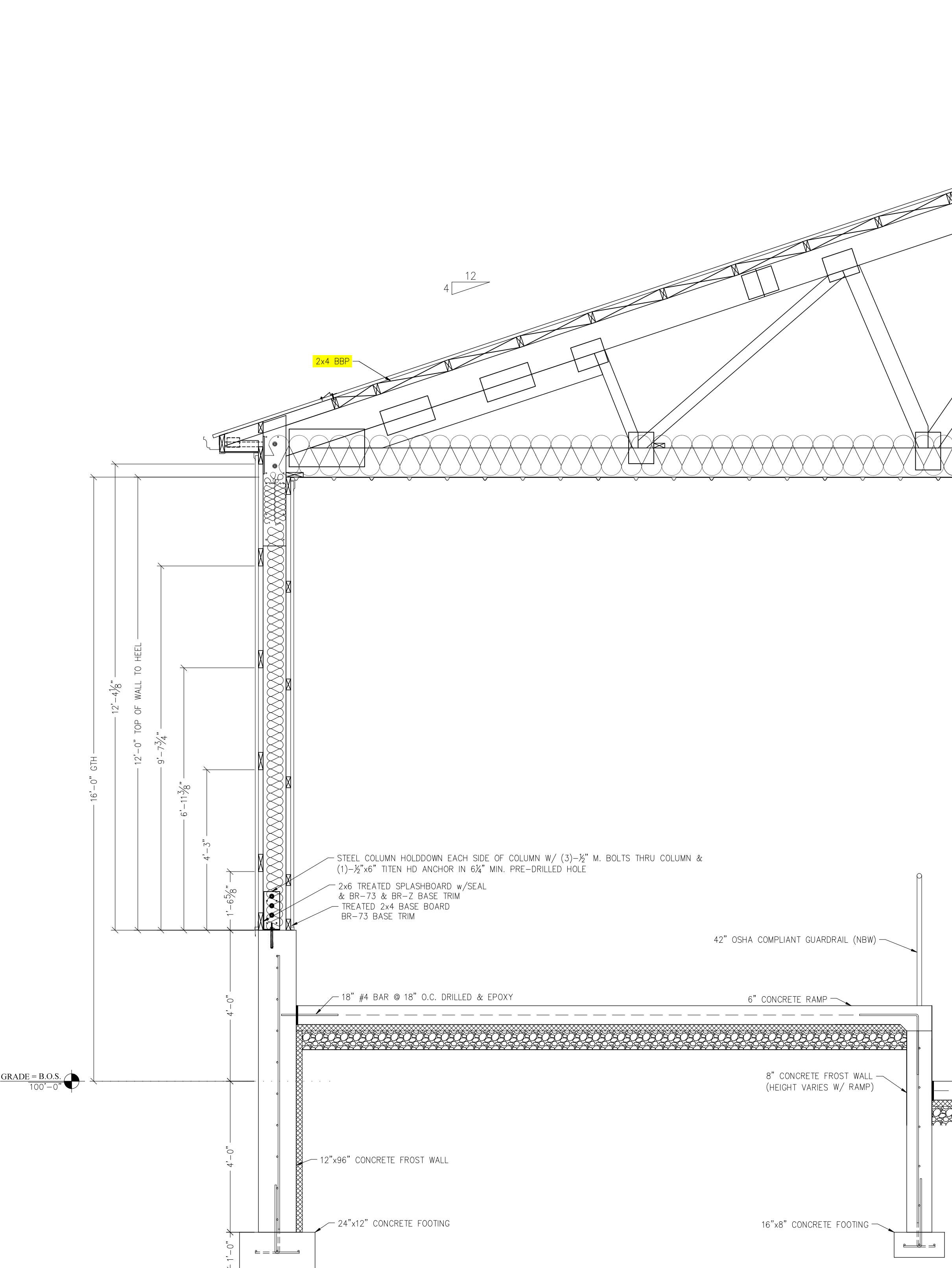


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1 CROSS SECTION
SCALE: 1/2" = 1'-0"



2 CROSS SECTION
SCALE: 1/2" = 1'-0"

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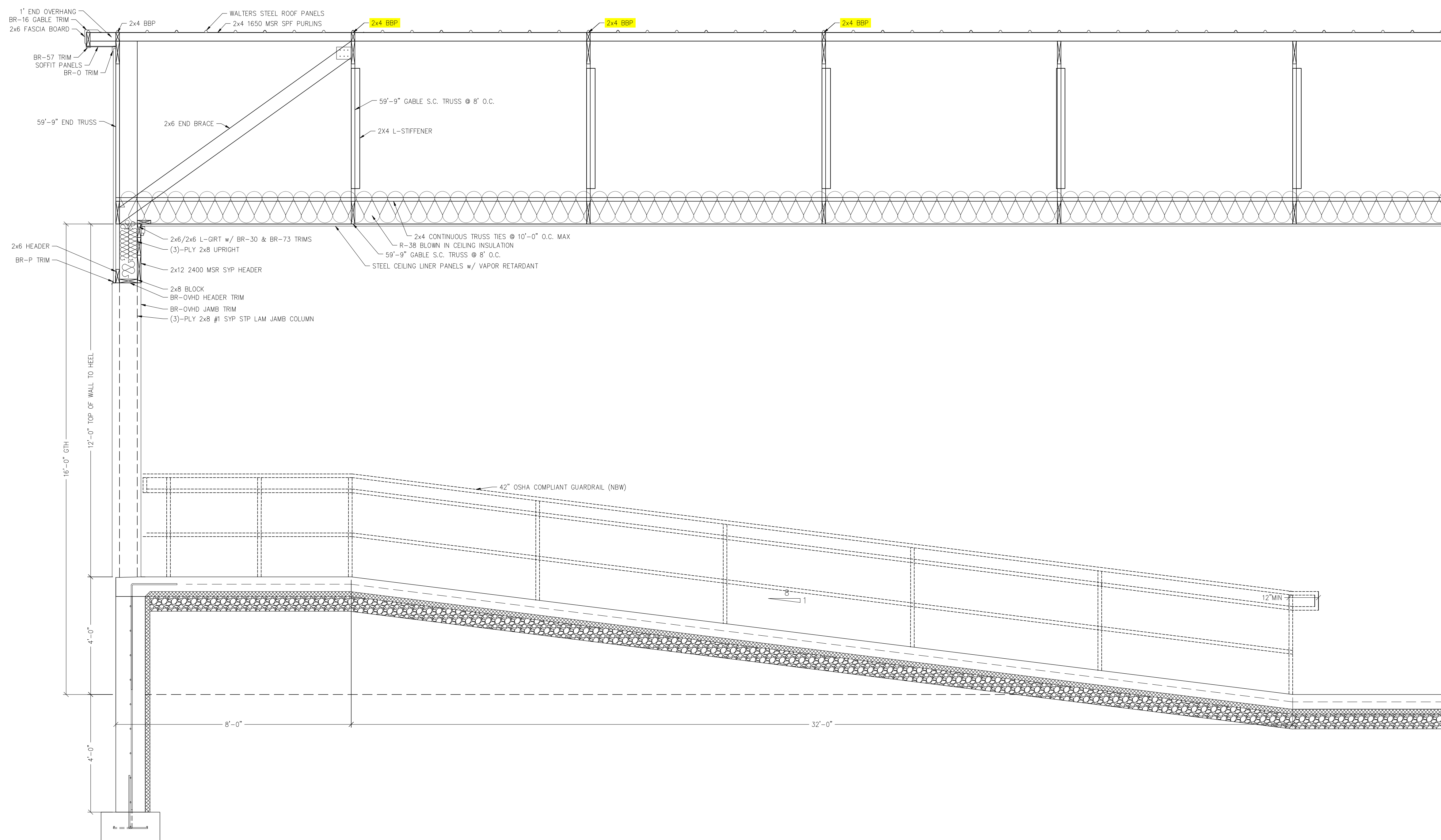
SHEET NUMBER:

S3



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EVAN ROGERS

LAST SAVED BY:
(KLESSIG) ON: 2/17/2024

PAPER SIZE:
ARCH FULL BLEED D (24.00 X 36.00 INCHES)

SCALE:
AS NOTED

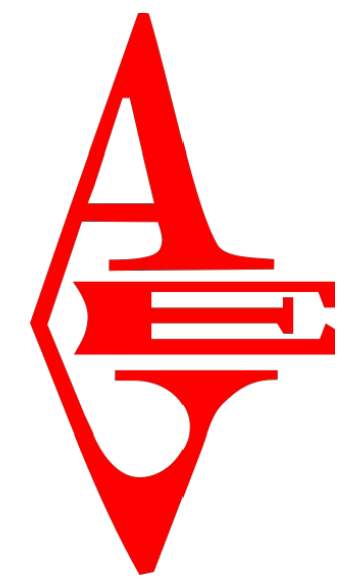
ENGINEER:
CAYNEN KLESSIG

JOB NUMBER:
94-0849

SHEET NUMBER:

1 LENGTH SECTION
S4 SCALE: 1/2" = 1'-0"

S4
24



All County
Electric Supply

Luminaire Schedule				
QTY	TYPE	MFR	PART NUMBER	LLF
2	OW1	Keystone	KT-WPLED75PS-M3-8CSB-VDIM @ 75W	0.950



Lush Farms - Worm Casting Building

NEW BERLIN, WI

SITE LIGHTING CALCULATIONS

project info

scale

1" = 10'-0"

date

2 / 26 / 2026

designer

JS

STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: John Jewell, JJED Holdings LLC / Five Fields at Historic Coffee Road
Concept Subdivision

LOCATION: 16605 W. Coffee Road (Tax Key #: 1211.999.001)

REQUEST: Concept Plan discussion and information from the February 18, 2026
site visit.

D.R.C. RECOMMENDATION: NO RECOMMENDATION, for discussion purposes only.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meetings of May 4, 2026 & February 18, 2026 (site visit)

John Jewell, JJED Holdings LLC / Five Fields at Historic Coffee Road Concept Subdivision
16605 W. Coffee Road (Tax Key #: 1211.999.001)

DATE STAFF REPORT PREPARED: January 12, 2026

APPLICANT / OWNER(S): John Jewell, JJED Holdings LLC / GP LEGACY, LLC

REQUEST / DESCRIPTION OF PROJECT: The applicant is requesting a site visit and further discussion for a conceptual subdivision on 72.57 acres located at approximately 16605 W. Coffee Road (Tax Key #: 1211.999.001).

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 1/5/2026

DATE OF COMPLETENESS DETERMINATION: 1/7/2026

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): 10/14/2025

Neighborhood Informational Meeting: 2/17/2026

Plan Commission Site Visit(s): 2/18/2026

CONCEPTUAL PLAN: Yes, two concept plans have been provided (Concept Plan #2 was submitted on February 18, 2026 in response to the feedback received at the February 17, 2026 neighborhood informational meeting).

SIZE OF DEVELOPMENT / PARCEL(S): 72.57 acres

CURRENT ZONING: R-3 (Suburban Single-Family Residential District), C-1 (Upland Resource Conservancy), C-2 (Shoreland-Wetland Holding District)

CURRENT LAND USE: Farmland

PROPOSED ZONING: N/A

PROPOSED LAND USE: Single-family residential subdivision

PROPOSED LOT SIZES: 20,000 SF minimum lot area (lots ranging from 1.1 acres to 11.3 acres)

PROPOSED DENSITY:

Concept #1: 72.57 acres / 21 lots = 1 lot per 3.5 acres

Concept #2: 72.57 acres / 24 lots = 1 lot per 3 acres

ADJACENT ZONING AND LAND USE:

North: Zoning: R-1/R-2, R-3, M-1 SPO, C-2

Land Use: Residential, Industrial (Drexel)

South: Zoning: I-1, P-1, C-2

Land Use: Institutional (Recycling Center)

East: Zoning: R-5

Land Use: Residential

West: Zoning: A-1, R-1/R-2, C-1, C-2

Land Use: Agriculture, Residential

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 14: Neighborhood D: Urban Neighborhood North:

Planning Context / Vision / Development Policies:

Vision:

- The Urban Neighborhood North shall continue to be a series of well maintained, single-family neighborhoods served by neighborhood amenities such as parks, pedestrian connections to adjacent neighborhoods and nearby shopping areas. Both the public infrastructure and the private housing stock should be maintained. New development and redevelopment should complement the residential character of the area. In compliance with State Smart Growth Legislation, the city should also encourage infill residential development of quarter acre lots or larger to match the existing character of the neighborhood.

Development Policies:

- Explore additional pedestrian and bicycle connections between subdivisions as a way to create a sense of “neighborhood” beyond individual subdivisions. Also explore connections between subdivisions and nearby commercial shopping and civic areas, such as parks, schools, and the Civic Center.

Land Use:

- Future Land Use Map: Urban Residential

ZONING CODE (Chapter 275): The lots will need to meet the requirements in §275-33B(3). Since this is a conceptual plan, a detailed review of all the lot standards has not been completed. This is done at the time of preliminary plat when more detailed plans are required.

DEVELOPMENT CODE (CHAPTER 235): Yes, in compliance with §235-15, which recommends submittal of an application for a Voluntary Sketch Plan.

REZONING REQUIRED: No

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No

Site Plan Required: Yes, see concept subdivision plans

Architectural Review Required: No

PROPOSED ARCHITECTURE: N/A

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Yes, Secondary Environmental Corridor.

Wetland On Property: Yes, wetlands will be registered on the City’s Zoning Map. Wetlands were field delineated by Heartland Ecological Services in 2025.

Conservancy Districts (C-1, C-2): Yes, C-1 and C-2

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: The site slopes down from the southeast corner of the site. The remainder of the site is very flat.

BIKE & PEDESTRIAN FACILITIES PLAN: Figure 6.16 of the Comprehensive Plan identifies existing and proposed “On Road” and “Off Road” Facilities. Provide a connection between the following existing and proposed facilities within this subdivision:

- Coffee Road as an existing “On Road Facility” with bicycle lanes
- Al Stigler Parkway as an existing “Off Road Facility” with sidepaths
- Malone Park/Recycling Center as an existing and proposed “Off Road Facility” with trails

Needs Assessment for Bicycle and Pedestrian Routes

- Better bicycle and pedestrian trail linkages between residential subdivisions and other subdivisions, parks, schools, libraries and commercial nodes.

Objective 2: Policies for Multi-Modal Transportation

- Construct bicycle and pedestrian facilities as recommended by the Comprehensive Plan.
- Design roadways for the safety of pedestrians and bicycles at all points of interaction with motorized vehicles.
- Promote the use of the bicycle and pedestrian facilities. The Plan Commission will establish the pedestrian and bicycle facility map (See Figure 6:16), while the Facilities and Grounds Department will establish the Recreational Trail Plan and Map, along with the Safe Routes to School.
- Evaluate the provision of bicycle and/or pedestrian facilities as integral components of new development and redevelopment projects. Require connections with existing bicycle and pedestrian facilities.
- Expand upon the system of bicycle and pedestrian facilities along arterial and Collector Street and adjacent developments with new street construction or reconstruction projects. All other roadways shall be evaluated based on the City’s existing and future planned segments (both pedestrian/bicycle facilities and recreational trails).
- Interconnect adjacent developments and street reconstruction projects with bicycle and pedestrian facilities.

Objective 5: Improve bicycle and pedestrian facilities

- Require developments to provide appropriate pedestrian and bicycle accommodations and connections.

Objective 8: Minimize the Environmental Impact of Transportation Facilities

- Promote the use of multi-modal transportation to minimize average impacts upon the environment.

PARK & OPEN SPACE PLAN: Chapter 7 of the City’s Park and Open Space Plan provides recommendations to address the future needs of the community. As additional facilities are needed within the parks, consider expansion of parkland. Focus on the development of parkland in the eastern sector of the City where moderate-density residential uses are located. The long-term improvements in this area include:

- Explore the opportunity for possible expansion of Malone Park by purchasing the 71 acre Posner Property (section 15), which is located northwest of Malone Park.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Subdivision boundary is shown on the sketch plan.

Wildlife Habitat Protection: N/A

Wildlife Management Plan: An Endangered Resources review will be completed on the property prior to the preliminary plat being submitted.

ENVIRONMENTAL IMPACT: Wetlands will be registered on the City’s Zoning Map. Wetlands were field delineated by Heartland Ecological Services in 2025.

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development. A stormwater management plan will be required at the time of submittal for the preliminary plat.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: No

Basin Capacity Available: N/A

Adequate Linkage: N/A

Onsite System Required: Yes, perc tests are on file with the City and will be required at the time of preliminary plat.

WATER USAGE CALC.: Estimated 250 GPD per new single-family lot. Private wells will be required.

TRAFFIC IMPACT: TIA will not be required at the time of preliminary plat. See findings section for additional information.

SCHOOL DISTRICT IMPACT:

	Concept #1:	Concept #2:
	12 total estimated students	14 total estimated students
Elementary	0.31 students / lot	0.31 students / lot
Middle	0.14 students / lot	0.14 students / lot
High School	0.14 students / lot	0.14 students / lot

Notice Sent to Affected School District(s): Will be sent upon submittal of application for preliminary plat.

PREVIOUS ACTION:

3/2/2026 Plan Commission did not discuss the concept plan due to lack of quorum for this meeting.

CONSISTENCY WITH PREVIOUS ACTION: N/A

FINDINGS:

1. The applicant has submitted plans for a conceptual subdivision on 72.57 acres. Concept #1 includes 21 lots and Concept #2 includes 24 lots. Concept Plan #2 was submitted on February 18, 2026 in response to the feedback received at the February 17, 2026 neighborhood informational meeting.
2. A neighborhood informational meeting was held on February 17, 2026 by Alderwoman Kroupa and the applicant. Neighbors were invited to ask questions of the applicant ahead of further discussion by the Plan Commission at the March 2, 2026 meeting. Below is a summary of the items discussed:
 - a. A revision to the proposed subdivision layout was discussed to eliminate the road/cul-de-sac extension of Hansen Drive. This would mean that all new lots in the proposed subdivision would be access from either Coffee Road or Calhoun Road. The findings in this staff report reflect the original concept plan that was submitted, not this proposed change. Concept Plan #2 was submitted on February 18, 2026 in response to the feedback received at the February 17, 2026 neighborhood informational meeting.
 - b. There will be no extension of City sewer and water. Lots will be served by onsite septic and wells.
 - c. The applicant intends to keep existing tree lines to the maximum extent possible to provide vegetative buffers to/from surrounding properties.
 - d. Compliance during Construction will be enforced by the Development Agreement.
 - e. Stormwater will be handled on site and will be an improvement from existing conditions.

3. The site visit was held with the Plan Commission and general public on February 18, 2026. Section §235-15 of the City of New Berlin Subdivision Code allows the owner to voluntarily invite the Plan Commission, Department of Community Development staff, members of the Common Council and abutting neighbors to visit the site prior to the filing of a preliminary plat. This allows attendees the opportunity to see the area of the proposed subdivision in person, ask any questions they may have and visualize the proposal first hand.
4. All comments are based on a preliminary review. Additional comments will be made after more detailed plans have been submitted and reviewed.
5. The Preliminary Plat shall show the City's Recycling Center property to the south for context.
6. The following notes shall be placed on the face of the subdivision plat regarding adjacent uses:
 - a. The City of New Berlin Recycling Center is an active municipal property throughout the weekdays and weekends. The Recycling Center contains cold storage buildings for the City DPW and Utility Departments, as well as outdoor storage. The area is used by employees working at the site as well as residents dropping off yard waste. The compost at the site does emit odors typical to recycling activities. Noise generated on this site may come from wood chipping equipment, the audible reverse/backup warning signals from trucks, vehicles and equipment on site. Additional dust, traffic, and lighting may occur due to the activities at this site.
 - b. Malone Park is a community park that is active year-round, including programming, events and rentals, which includes festivals, tournaments and fireworks. Activities occur during weekdays and weekends throughout the day and into the evening.
7. Groundwater:
 - a. Wisconsin DNR well construction reports for two nearby properties within the same hydrologic area (one directly across the street and one immediately adjacent to the subject parcel) indicate static groundwater levels ranging from approximately 1' to 5' below ground surface at the time of their drilling. These records suggest shallow groundwater conditions are present within the immediate vicinity of the proposed development site.
 - b. The following notes shall be placed on the face of the plat regarding the groundwater levels in this area and any possible basement restrictions, based upon seasonable high ground water levels:
 - i. Portions of this subdivision are in an area where shallow groundwater conditions have been documented in nearby well construction reports. Seasonal high groundwater elevations may impact basement construction and lot drainage.
 - ii. The City of New Berlin makes no representation regarding surface conditions. Foundation & basement design, groundwater control, and lot drainage shall be the responsibility of the property owner. It is recommended that either a licensed professional engineer or other soils expert design a basement and foundation which will be suitable to withstand the various problems associated with saturated soil conditions on basements walls or floors or that special measures be taken.
 - iii. Lot grading, drainage, and stormwater management plans shall follow all approved plans and shall be maintained by the property owners in accordance with all approved plans. Berms, landscaping, walls, patios, fences and/or any other physical alterations that modifies or obstructs drainage patterns shall be the responsibility of the property owner. Post-construction drainage issues related to private lot improvements or deviations from the approved grading plan(s) shall be the responsibility of the property owner. No owner shall alter or impede established drainage swales, overland flow paths or stormwater conveyance areas without prior written approval by the City.

8. Utilities:

- a. The property, which is located outside of the current MMSD Sewer Service Area, will require private on-site waste treatments sites (POWTS) for each lot that is created that will meet Waukesha County requirements. Soil testing for individual site designed septic systems is required. A letter from Waukesha County approving the sites is required at the time of the Preliminary Plat.
- b. Private water supply wells meeting the requirements of the Wisconsin Department of Natural Resources (WDNR) will also be required. If any additional requirements will be placed on the wells due to the proximity to the Recycle Center, please add those notes to the Preliminary Plat.

9. Fire:

- a. Per §235-32, the installation of one 10,000-gallon cistern for fire protection shall be required. The cistern shall be assessable from the new roadway off Coffee Road and shall be located within an outlot, at a location to be coordinated with the New Berlin Fire Department. The cistern shall be accessible from a paved shoulder with bollards around the cistern for protection.

10. Trails:

- a. Consider incorporating a trail within the subdivision that would connect the trail system within Malone Park to the bicycle lanes on Coffee Road, aligning with Chapter 6 of the Comprehensive Plan. This will require further discussion by the Plan Commission as this project moves forward. §235-34 of the Subdivision Code addresses dedication and land reservations for public sites, open spaces and trails.

11. Park and Open Space:

- a. Consider expanding outlot area to create shared open space for residents of the subdivision to use to align with the long-term improvements as identified in the City's Park and Open Space Plan. This will require further discussion by the Plan Commission as this project moves forward. §235-34 of the Subdivision Code addresses dedication and land reservations for public sites, open spaces and trails.

12. Wetlands:

- a. Wetlands will be registered on the City's Zoning Map. Wetlands were field delineated by Heartland Ecological Services in 2025. A wetland registration application shall be submitted to the City.

13. Environmental:

- a. The applicant may be required to coordinate with staff to prepare and record a Conservation Easement document at the time of Final Plat to protect environmentally sensitive areas.
- b. The limits of any Tree Preservation Easements shall be shown on the Preliminary Plat. A tree inventory is required to better understand the type and quality of trees to determine if tree preservation easements are needed. Consider placing tree preservation easements on the south edge of this subdivision to provide a buffer from the City's Recycling Center.

14. Infrastructure Standards:

- a. A Development Agreement will be required.
- b. Full infrastructure plans (cross-sections and plan & profile sheets) are required for the proposed roadways at the time of preliminary plat.
- c. Right-of-Way widths shall be a minimum of 66 feet for public streets.

15. Provide a grading plan that will demonstrate how the proposed lots will meet the grading requirements of §275-55.

16. Vision Triangle Easements will be required per §275-46. Coffee Road is classified as a Standard Arterial; 60-foot vision triangles are required at proposed intersections.
17. Per §275-57, Driveways on arterials and collectors shall be located a minimum of 300 feet from a street intersection.
 - a. Access restriction for Lot 20 to Calhoun Rd/Coffee Rd should be established on plat to restrict driveway to preferred roadway and distance from intersection.
18. The City of Waukesha Water Utility Pipeline is located parallel to the north side of Coffee Road. Any work over this pipeline will require written permission from the Waukesha Water Utility.
19. Stormwater:
 - a. WDNR NOI is required.
 - b. MMSD Chapter 13 approval is required.
 - c. SWMP Maintenance Agreement is required; City of New Berlin boilerplate agreement is available online.
20. A lot line plan without the aerial photo as the background.
21. A CAD File of the lot lines in NAD 83 2011 state plane WI south projection.
22. Concept #1:
 - a. For the proposed 12 homes accessing off a new roadway off Coffee Road with an average of 9.57 Trips/day = 115 ADT. See Figure 4 of the Development Handbook for Acceleration, Deceleration, and bypass lane requirements.
 - b. Additional details will be needed to show how the jog will be resolved at the end of Hansen Dr.
 - c. Per the Development Handbook Section 5.1.4: Cul-de-Sacs:
 - i. All attempts shall be made to provide for continuity of existing roadways rather than dead ends streets, per §235-23.
 - ii. Local dead end streets shall end with a cul-de-sac.
 - iii. No less than 3 parcels and no more than 15 parcels may be served by a cul-de-sac. Applicant is proposing 16 lots to be accessible from Hansen Drive. See finding (v.) for rationale for a waiver from this requirement.
 - iv. Block length between intersections shall not exceed 1,500 feet nor be less than 500 feet. Block length is measured from the center line of the right-of-way to the center line of the right-of-way of the two cross streets.
 - v. The requirements of parcels and block lengths above may be waived if all of the following conditions are met:
 1. Emergency Access – The Fire Department provides an email stating that they are satisfied with the single point access, with the number of lots, and will not be requiring a secondary access. Regarding the provision for emergency access, the Fire Department has formally reviewed the proposed site plan and confirmed approval via this email. A single point of access is sufficient for the current number of lots and the requirement for a secondary access point is not required. This confirmation ensures that the development meets all necessary safety and accessibility standards for emergency response vehicles, including required width and bulb radius minimums set forth in the municipal code.

2. Water main Length – The Utility Manager and City Engineer confirm that any dead end water main lengths will meet City standards. Does not apply, Hansen Drive is not serviced by municipal water.
3. Snowplowing - The Streets Manager and City Engineer confirm that there will not be an issue with plow maneuverability. Hansen Drive currently has a temporary bulb at the west end. Extending the road and constructing a full cul-de-sac bulb will improve snow plowing operations.
4. Environmental constraints – DCD Staff confirms that the presence of wetlands, floodplains, and other environmental constraints make connecting roads to adjacent development difficult. There are no environmental constraints that would limit this road extension.

vi. Residential:

1. All pavement widths for a standard residential cul-de-sac shall have a minimum bulb radius of 42 feet as measured from the center of the cul-de-sac to the edge of pavement.
2. The minimum bulb radius for the Right-of-Way shall be 66 feet as measured from the center of the cul-de-sac.

23. Concept #2 (submitted 2/18/26):

- a. A complete review has not been done for concept #2 yet.
- b. The applicant has provided justification for not extending Hansen Drive. Subdivision Code Sections 235-23K and 235-23L discuss dead-end streets and stub streets.
- c. Per the Development Handbook Section 5.1.4: Cul-de-Sacs:
 - i. All attempts shall be made to provide for continuity of existing roadways rather than dead ends streets, per §235-23.
 - ii. Local dead end streets shall end with a cul-de-sac.
 - iii. No less than 3 parcels and no more than 15 parcels may be served by a cul-de-sac.
 - iv. Block length between intersections shall not exceed 1,500 feet nor be less than 500 feet. Block length is measured from the center line of the right-of-way to the center line of the right-of-way of the two cross streets.
 - v. The requirements of parcels and block lengths above may be waived if all of the following conditions are met:
 1. Emergency Access – The Fire Department provides an email stating that they are satisfied with the single point access, with the number of lots, and will not be requiring a secondary access.
 2. Water main Length – The Utility Manager and City Engineer confirm that any dead end water main lengths will meet City standards.
 3. Snowplowing - The Streets Manager and City Engineer confirm that there will not be an issue with plow maneuverability.
 4. Environmental constraints – DCD Staff confirms that the presence of wetlands, floodplains, and other environmental constraints make connecting roads to adjacent development difficult.

vi. Residential:

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2. The minimum bulb radius for the Right-of-Way shall be 66 feet as measured from the center of the cul-de-sac.

STAFF RECOMMENDATION: NO RECOMMENDATION, for discussion purposes only.

ATTACHMENTS:

Location Map

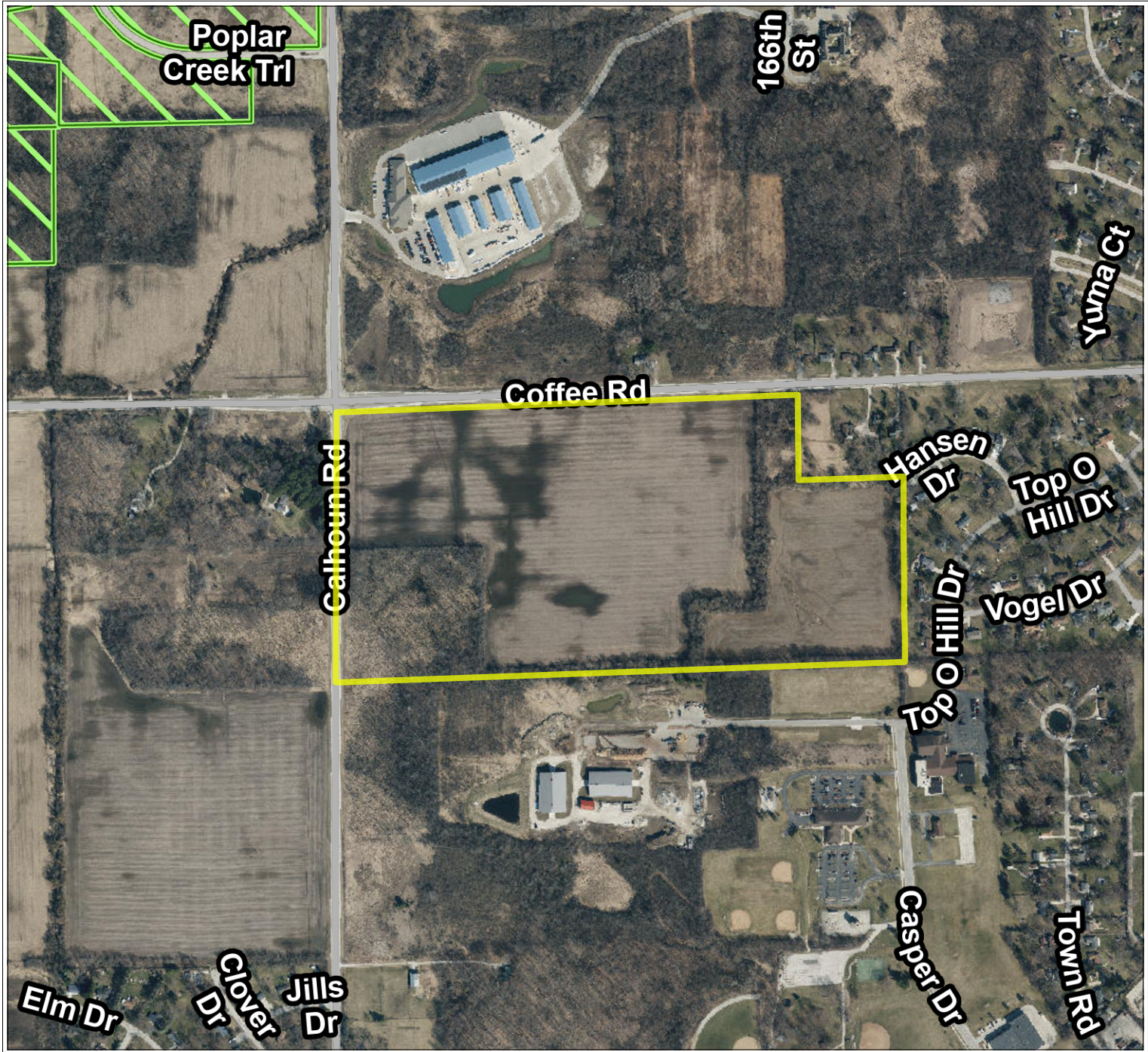
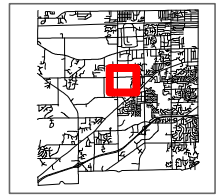
Applicant Letter

Concept Plan #1

















Concept Plan #2

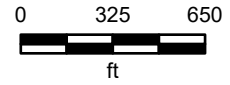
Concept Plan #2 – Request for permanent dead-end on Hansen Drive

Five Fields at Historic Coffee Road Concept
16605 W. Coffee Road (Tax Key #: 1211.999.001)



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

- | | |
|--|---|
|  Parcels |  Wetland |
|  Road Right-of-Way |  Zoning Wetland Registration |
|  Conservation Easement |  Registered Wetland |
|  Environmental Corridor |  Outside Wetland |
| Floodplain FEMA DFIRM | |
|  FEMA DFIRM - Zone A |  Zoning Overlay |
|  FEMA DFIRM - Zone AE |  PUD |
|  FEMA DFIRM - 0.2% Chance |  Special Conditions Apply |
| |  SPO |
| |  Zoning Boundaries |



Scale is estimate - not survey

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

We are presenting Five Fields at Historic Coffee Road for Planning Commission review and consideration. We respectfully request approval of a 21-lot modern rural residential subdivision.

The subject property is located at the southeast corner of Calhoun Road and Coffee Road (tax key NBC1211999001). The site is predominantly zoned R-3, with a portion of the western area zoned C-1. The proposed density is consistent with the R-3 zoning standard, which allows for one-acre residential lots.

In developing the conceptual plan, careful consideration was given to the surrounding land use pattern and the City of New Berlin's established development transitions. This area functions as a natural boundary where residential densities shift from smaller subdivision lots to larger, more rural parcels. The proposed lot sizes reflect this transition by providing lower density development, larger building envelopes, and increased open space, which is compatible with the surrounding area.

The design also prioritizes the preservation of existing natural features, including wetlands and mature trees. The reduced density supports long-term environmental protection while maintaining the rural character of the site.

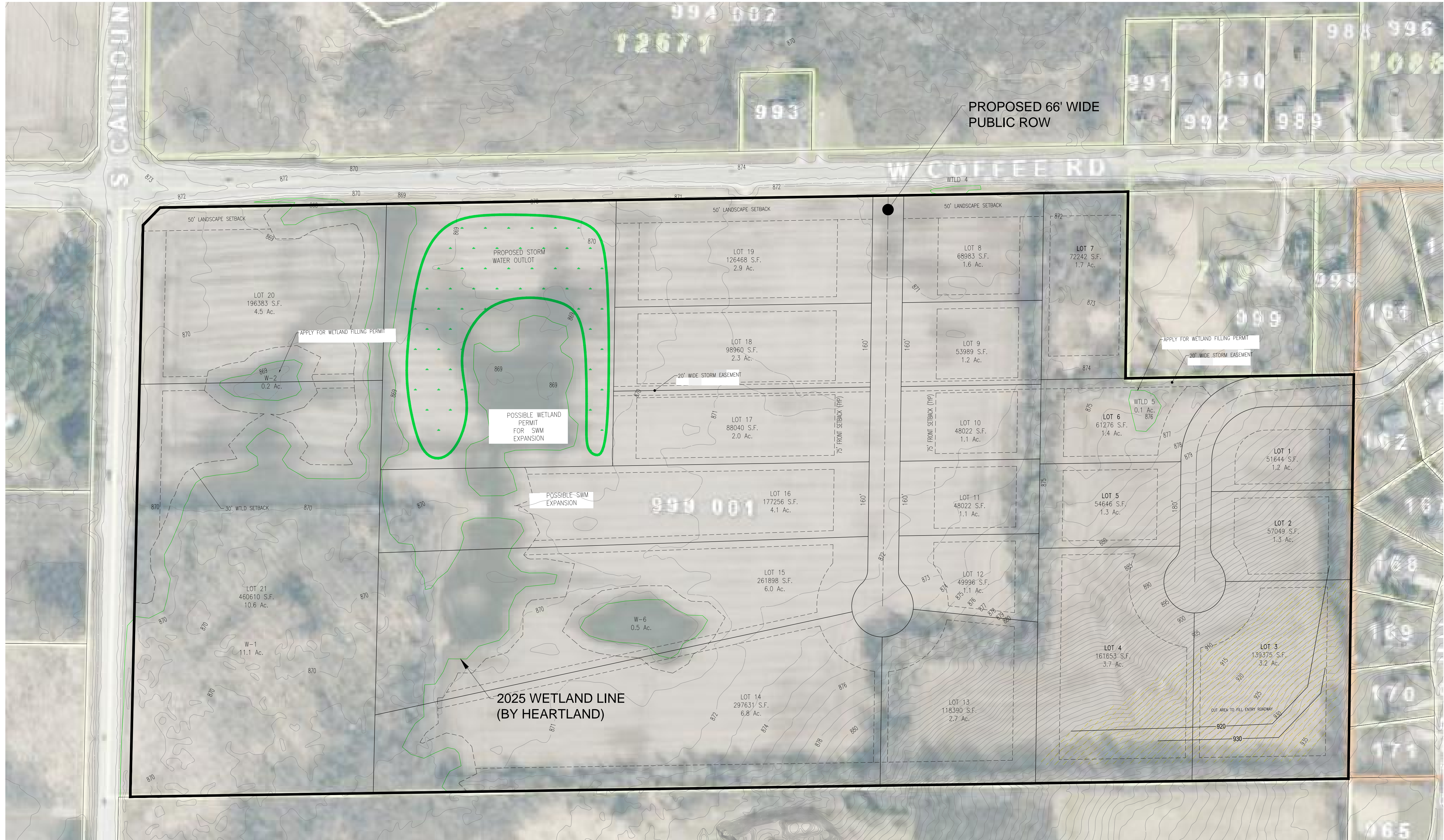
Additionally, the subdivision layout was designed to ensure that W. Hansen Drive does not function as a through street. This limits cut-through traffic, enhances neighborhood safety, and maintains the residential character and property values of adjacent properties.

SITE DATA TABLE	
	PROPOSED
PROPERTY AREA (LESS ROW DEDICATION):	71.0 Acres
TOTAL WETLAND AREA:	13.2 Acres
NET AREA FOR R-3 DENSITY CALCULATION:	71.0 - 13.2(.75) = 61.1 Acres
ALLOWABLE DENSITY FOR R- 3 @ 2DU/net area:	61.1 * 2 DU = 122 LOTS
PROPOSED LOTS:	21 LOTS
PROPOSED TOTAL LENGTH OF ROADWAYS:	1560 LF

R-3 ZONING DATA TABLE	
R-3 ZONING:	
MIN LOT SIZE:	20,000 SF
MIN LOT WIDTH:	110' (130' CORNERS)
MIN LOT DEPTH:	155'
MIN FRONT:	50'
MIN SIDE:	15'
MIN REAR:	50'
MIN WETLAND SETBACK:	30'



SCALE: 1" = 100'



DATE	DESCRIPTION

EEC
ELLENA ENGINEERING CONSULTANTS, LLC
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
 Phone: 262-719-6183 Email: mellen@eeceng.com

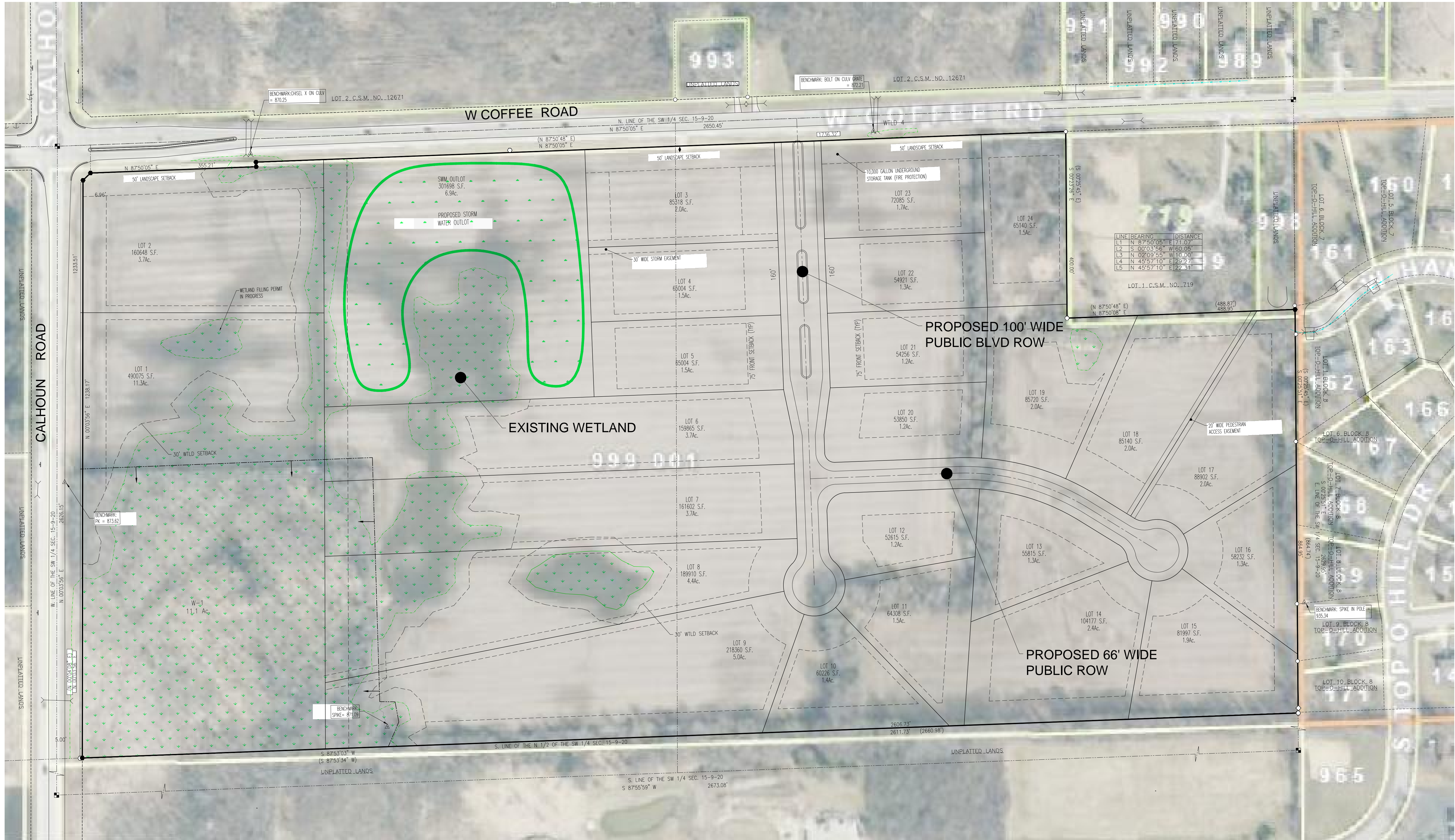
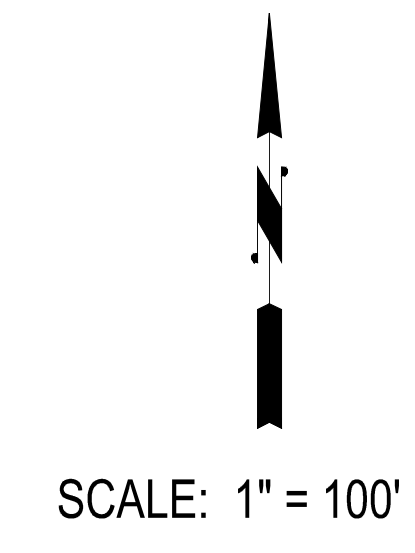
JEWELL HOMES DEVELOPMENT
 SE CORNER OF S CALHOUN RD & W COFFEE RD, NEW BERLIN, WI
Proposed Site Plan

WISCONSIN
 MARK R. ELLENA
 E-24090
 WALES, WI
 PROFESSIONAL ENGINEER
Mark R. Ellena
 DATE: 01-03-2026
 BY: MARK R. ELLENA, PE
 SCALE: 1"=100'

SHEET NUMBER
 C100

SITE DATA TABLE	
	PROPOSED
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ALLOWABLE DENSITY FOR R-3 @ 2DU/net area:	61.1 * 2 DU = 122 LOTS
PROPOSED LOTS:	24 LOTS
PROPOSED TOTAL LENGTH OF ROADWAYS:	1730 LF

R-3 ZONING DATA TABLE	
R-3 ZONING:	
MIN LOT SIZE:	20,000 SF
MIN LOT WIDTH:	110' (130' CORNERS)
MIN LOT DEPTH:	155'
MIN FRONT:	50'
MIN SIDE:	15'
MIN REAR:	50'
MIN WETLAND SETBACK:	30'



DATE	DESCRIPTION

EEC
ELLENA ENGINEERING CONSULTANTS, LLC
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
 Phone: 262-719-6183 Email: mellen@eeceng.com

5 FIELDS DEVELOPMENT
 SE CORNER OF S CALHOUN RD & W COFFEE RD, NEW BERLIN, WI
Proposed Site Plan

WISCONSIN
 MARK R. ELLENA
 E-24090 WALES, WI
 PROFESSIONAL ENGINEER
Mark R. Ellena
 DATE: 02-18-2026
 BY: MARK R. ELLENA, PE
 SCALE: 1"=100'

SHEET NUMBER
 C100

CITY OF NEW BERLIN

COMMON COUNCIL AGENDA REPORT

Agenda Item: Variance Request – Roadway Continuation Requirement

Applicant: JJED Holdings LLC

Location: West Terminus of W. Hansen Drive

Zoning: R-3 Suburban Single-Family Residential

Action Requested: Approval of a variance to allow W. Hansen Drive to remain a permanent dead-end.

REQUEST

The applicant is requesting approval of a variance from the subdivision roadway continuation requirement to allow W. Hansen Drive to remain a permanent dead-end rather than extending the public right-of-way and roadway west through the subject parcel.

BACKGROUND

The subject property is proposed to be developed as a single-family residential subdivision consistent with R-3 zoning standards.

The request pertains solely to roadway continuation.

A Concept Plan prepared by Pinnacle Engineering Group dated January 6, 2025 is included as supporting documentation.

ANALYSIS

1. Right-of-Way Limitation

The subject parcel does not contain sufficient land area to accommodate the required 60- or 66-foot public right-of-way width for roadway continuation.

As shown on the Conceptual Plan (Sheet 1, dated 1/6/2025), the existing right-of-way alignment does not line up with the parcel boundary to the west. The plan notes (PDF Attached):

“ROW does not line up. Parcel on west is 450' south of section line, east plat is 441.42' south of section line so only 51.42' of 60' ROW in plat available to connect to.”

This condition prevents full right-of-way width from being established without shifting the roadway alignment beyond property controlled by the applicant.

Supporting Exhibit:

Conceptual Plan – GP Legacy, LLC Property (Pinnacle Engineering Group, 1/6/2025)

2. Significant Grade Differential

There is an approximate 10-foot grade drop from the existing terminus of W. Hansen Drive to the subject property.

Extension of the roadway would require:

- Construction of a substantial retaining/landscape wall along the north right-of-way.
- Significant grading to achieve acceptable roadway slopes.
- Increased disturbance and structural intervention.

This topographic condition is a natural feature of the site.

3. Tributary Drainage Area

Approximately 6–8 acres of drainage area currently flows toward the terminus of W. Hansen Drive.

Roadway extension would redirect peak stormwater flows into the subdivision, requiring additional stormwater infrastructure and potentially impacting overall site drainage performance.

Maintaining the dead-end preserves existing drainage patterns toward the northwest.

4. Pedestrian Connectivity

At the request of the Mayor, the development includes a pedestrian access easement allowing foot traffic connection from W. Hansen Drive through the subject property.

This provides neighborhood connectivity without requiring full vehicular roadway extension.

PUBLIC HEALTH, SAFETY, AND WELFARE

The requested variance:

- Does not increase density.
- Does not reduce required lot dimensions or setbacks.
- Does not increase traffic beyond residential levels.
- Will maintain emergency access consistent with City engineering standards.

VARIANCE CRITERIA CONSIDERATION

The practical difficulty arises from:

- Fixed parcel boundary constraints limiting right-of-way width.
- Significant natural grade drop.
- Existing tributary drainage patterns.

These conditions are unique to the property and not self-created.

Strict enforcement would require substantial grading, structural walls, and stormwater redirection without clear public benefit.

RECOMMENDATION

The applicant respectfully requests approval of the variance to allow W. Hansen Drive to remain a permanent dead-end, with pedestrian connectivity provided via easement.

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: La Macchia Group / Trustone Financial Credit Union Monument Sign Waiver Request

LOCATION: 12800 W. National Avenue

REQUEST: Approval of Waiver Request #1 and #2 to allow for a monument sign that is taller and larger in square footage than the zoning code allows for Trustone Financial Credit Union located at 12800 W. National Avenue.

WAIVER REQUEST #1: Applicant is requesting a waiver from §275-611(c)[2] of the Zoning Code, which states *“The monument sign shall not exceed eight feet in height.”*

WAIVER REQUEST #2: Applicant is requesting a waiver from §275-611(c)[3] of the Zoning Code, which states *“Monument signs shall not exceed 32 square feet in face area per side.”*

D.R.C RECOMMENDATION: Recommend denial of Waiver Request #1 and #2 for Trustone Financial Credit Union located at 12800 W. National Avenue, subject to the application, plans on file and the following reasons:

1. The applicant has submitted a request for a new monument sign. The proposed sign requires the following waivers from the Zoning Code:
 - a. §275-611(c)[2]: The monument sign shall not exceed eight feet in height. The proposed sign is 9’8” tall. Applicant is requesting a waiver to allow a sign that is 1’8” taller than the code allows.
 - b. §275-611(c)[3]: Monument signs shall not exceed 32 square feet in face area per side. The proposed sign is 52.5 square feet in area, per side. Applicant is requesting a waiver to allow a sign that is 20.5 square feet larger per side than the code allows.
2. The City of New Berlin DPW trimmed the lower branches of the tree that is located within the public ROW, allowing for 8’ – 10’ of clearance from the lowest branch to the ground. This was done to provide better visibility of the site from National Avenue.
3. Per §275-61D(5) of the Zoning Code, “An applicant may appeal a decision made by staff to the Plan Commission or the Community Development Authority (where applicable) for determination. An additional review fee as determined by the Director shall be required for any sign application that is forwarded to the Plan Commission or the Community Development Authority (where applicable) for review.”
4. Per §275-61D(6) of the Zoning Code, “An applicant may request a waiver from the Plan Commission or Community Development Authority (where applicable) for the requirements set forth in this section.” The Plan Commission may waive or modify any or all of the other requirements of this article if it determines that:

- a. The site or activity in question will have no appreciable off-site impact;
- b. Compliance with the requirement(s) is impractical or impossible due to site conditions or other circumstances beyond the control of the applicant; or
- c. The specific requirement is not necessary for a particular site to ensure compliance with the requirements of this chapter.

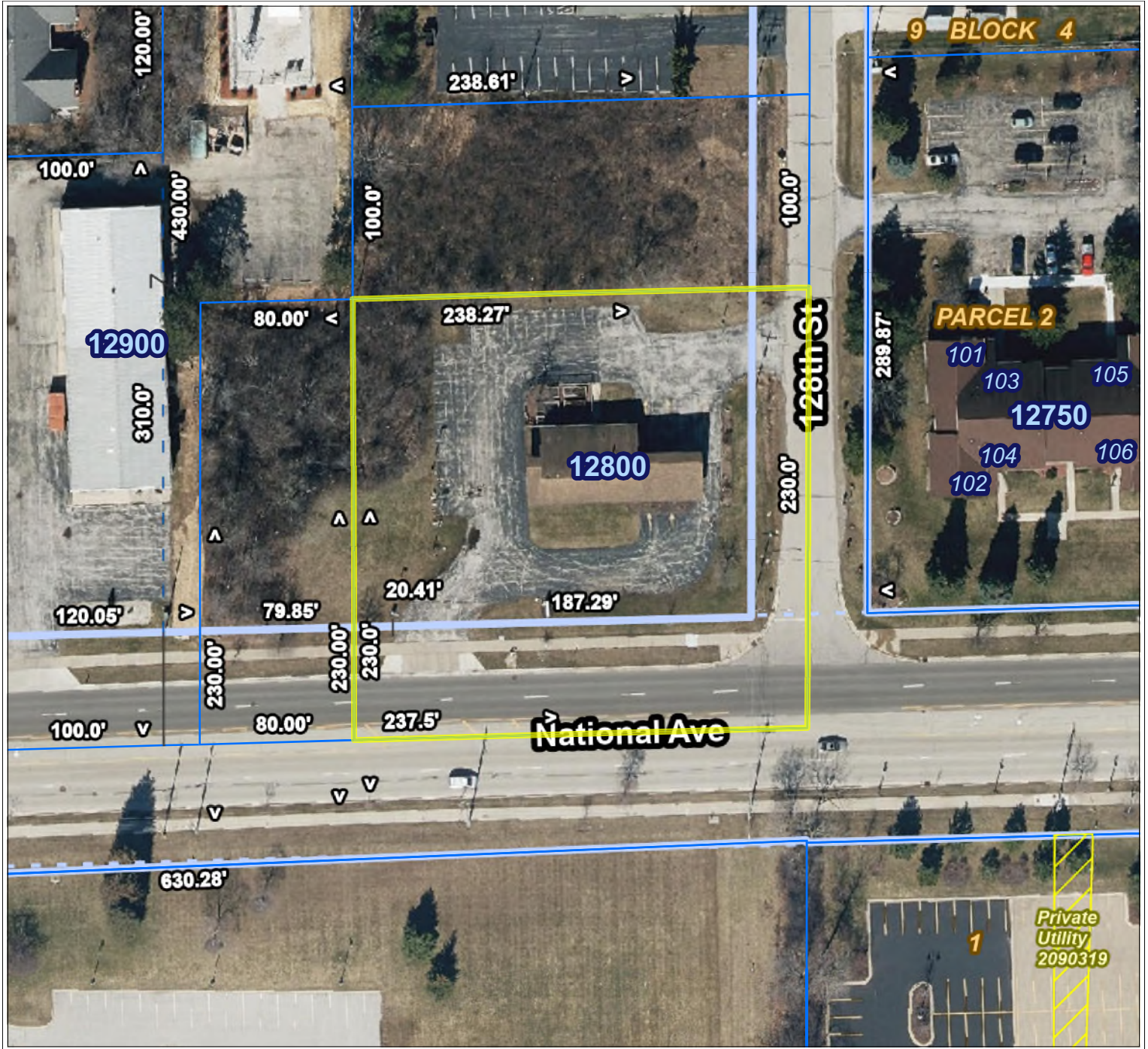
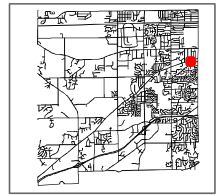
Attachments
Location Map
Applicant Letter
Sign Package



SG-2600480

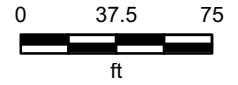
Trustone Monument Sign Waiver

12800 W. National Avenue



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

Parcels	Wetland
Road Right-of-Way	Zoning Wetland Registration
Conservation Easement	Registered Wetland
Environmental Corridor	Outside Wetland
Floodplain FEMA DFIRM	Zoning Overlay
FEMA DFIRM - Zone A	PUD
FEMA DFIRM - Zone AE	Special Conditions Apply
FEMA DFIRM - 0.2% Chance	SPO
	Zoning Boundaries



Scale is estimate - not survey

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

March 10th, 2026

To:
Sign Submittal
Department of Community Development, Code Enforcement Specialist
3805 S. Casper Drive
New Berlin, WI 53151
dhogan@newberlin.org

From:
Timothy J Niemiec (LaMacchia Group)
On behalf of: **Trustone Financial Credit Union**
157 N Milwaukee Ave
Milwaukee, WI 53202

RE: Monument Sign Review – Trustone Financial Credit Union

Dear Plan Commission,

Trustone Financial Credit Union (TFCU) would like to request an adjustment to increase the size of their site monument signage based on unforeseen site obstructions. In the initial design of the project, we placed the Monument sign adjacent to our southern ingress/egress point (National Ave). This was to not impede the vision Triangle on the corner of National Ave & 128th St, given our site density, the southwest corner is the only viable location for our signage. As we are progressing through site development it is discovered that we have an 8" Hackberry that is required to remain that is directly between our signage and the road.

In an effort to increase visibility, we would like to increase the size of our monument sign to help counteract the obstruction of the adjacent Hackberry. We have provided an example of TFCU monument sign at their Greenfield branch that, from an aspect of style, we are looking to emulate. The color of the box and stone base exactly match the approved materials of the New Berlin building.

The adjacent property to the west (.42 acres) has been purchased by TFCU and will remain natural and well groomed. This will prevent any signage interference with future development of the site (Taxkey: 1200907) since any future development would be by TFCU. Attached are copies of the existing survey, the approved landscape plan and a depiction of our request. The area in question is highlighted on the provided site plans.

Thank you for your review of our request, please feel free to reach out with any questions.

Sincerely,

Timothy J. Niemiec
Senior Architectural Designer /
Job Captain Manager
La Macchia Group



PROJECT: TRUSTONE CREDIT UNION
LOCATION: 12800 W. NATIONAL AVE. NEW BERLIN, WI

CLIENT: TRUSTONE FINANCIAL

RELEASE: BID SET / CONSTRUCTION SET

NO.	DATE	DESCRIPTION
1	08/12/22	REVISED CONSTRUCTION SET
1	08/02/22	CONSTRUCTION SET

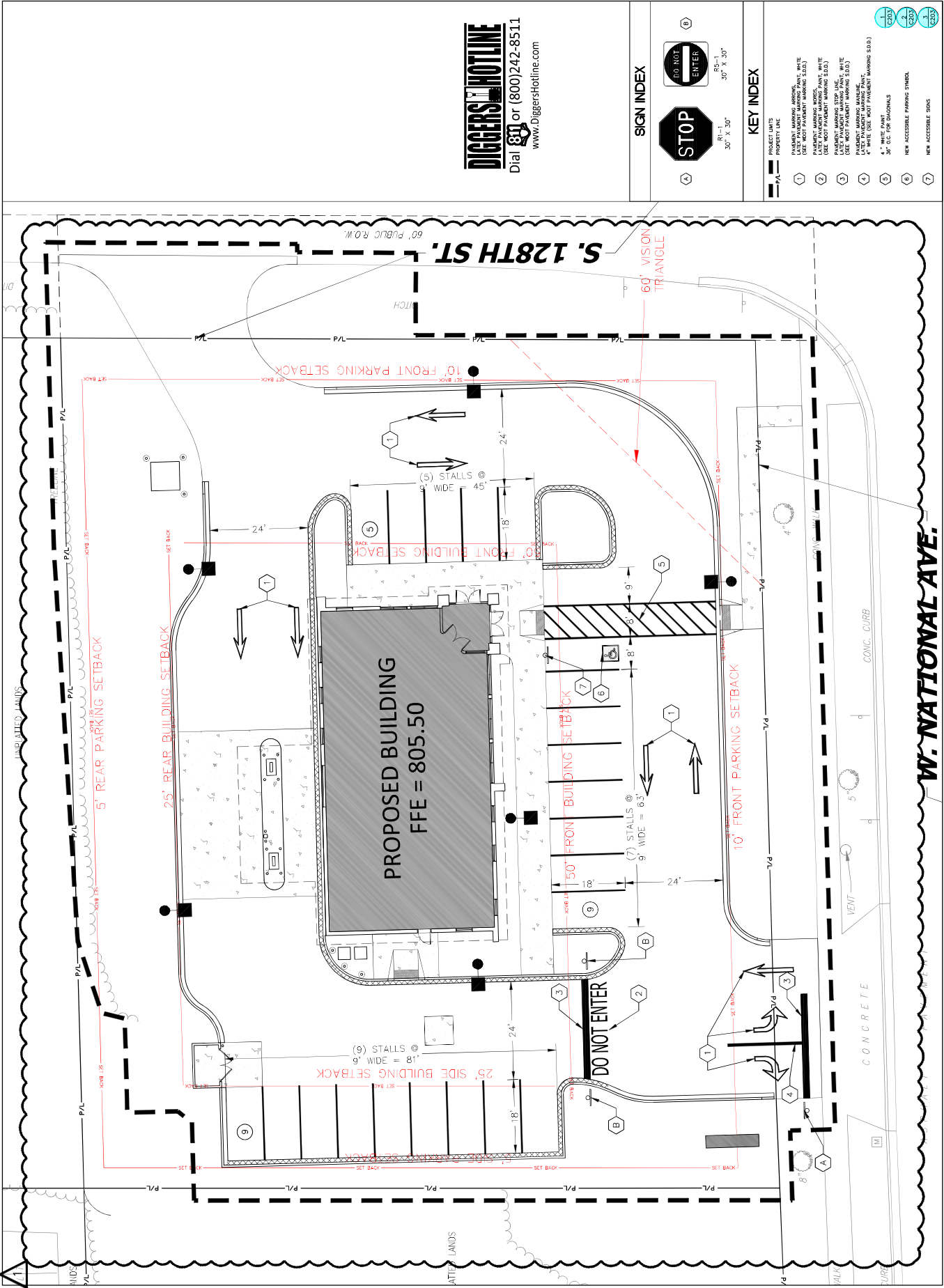


SCALE: 1" = 10'
SEAL

all in
SHEET: SITE SIGNAGE & TRAFFIC CONTROL PLAN

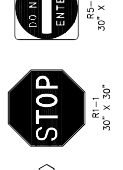
PROJECT MANAGER: BR
DRAWN BY: 2063/ST
DATE: 08/10/22

SHEET NUMBER: **C103**



DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

SIGN INDEX



KEY INDEX

- PROPERTY LINE
 1 PAVEMENT MARKING ARROWS, WHITE (SEE MOST PAVEMENT MARKING S.D.D.)
 2 PAVEMENT MARKING ARROWS, WHITE (SEE MOST PAVEMENT MARKING S.D.D.)
 3 PAVEMENT MARKING ARROWS, WHITE (SEE MOST PAVEMENT MARKING S.D.D.)
 4 PAVEMENT MARKING STOP LINE, WHITE (SEE MOST PAVEMENT MARKING S.D.D.)
 5 PAVEMENT MARKING STOP LINE, WHITE (SEE MOST PAVEMENT MARKING S.D.D.)
 6 PAVEMENT MARKING STOP LINE, WHITE (SEE MOST PAVEMENT MARKING S.D.D.)
 7 1\"/>

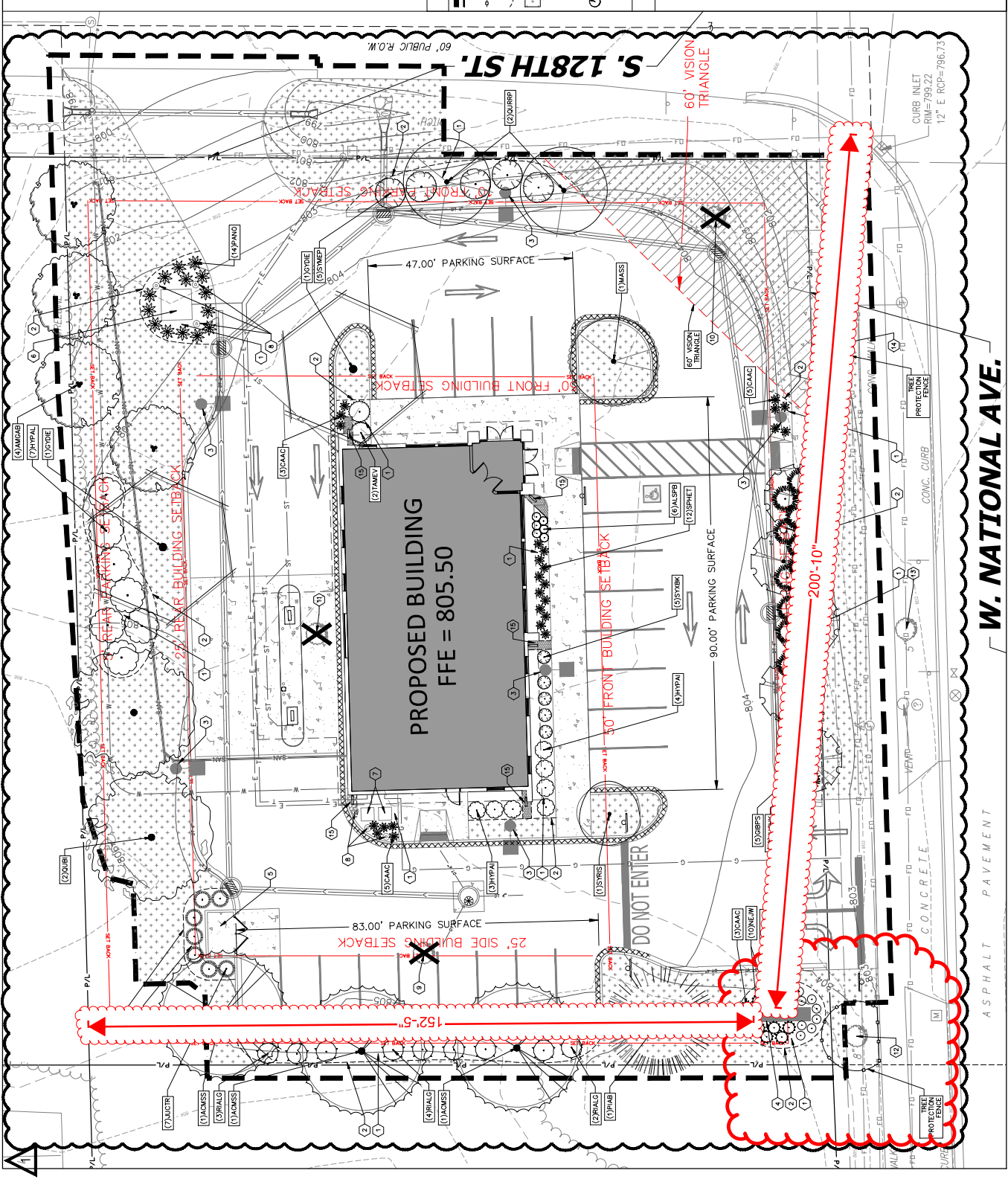
W. NATIONAL AVE.

FILENAME: S:_SHD\proj\Utilities\Draws\220818 Trustone Credit Union\Version\C103 - SITE SIGNAGE & TRAFFIC CONTROL PLAN.dwg

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

HATCH LEGEND
 - PA - PROPERTY LINE
 - T - TEMPORARY TREE PROTECTION FENCE
 - AL - ALUMINUM EDGING
 - B - BUSHES
 - L - LEADER LINE
 - P - PLANT SYMBOL (SYMBOL, VARIETY)
 - PL - PLANT CODE REFERENCE TO THE PLANT SCHEDULE
 - Q - QUANTITY OF PLANTS IN THE PLANT GROUPING

- KEY INDEX**
- 1 SHREDED HARDWOOD MULCH
 - 2 ALUMINUM EDGING AT PLANTING BED
 - 3 LIGHT POLE (SEE SITE LIGHTING PLAN FOR OFFICIAL LOCATION)
 - 4 MONUMENT SIGN (SEE CIVIL AND ARCHITECTURAL PLANS)
 - 5 TRASH ENCLOSURE (SEE CIVIL AND ARCHITECTURAL PLANS)
 - 6 TRANSFORMER (SEE CIVIL PLANS)
 - 7 AIR CONDITIONER CONDENSORS (SEE CIVIL PLANS)
 - 8 BOLLARDS (SEE CIVIL PLANS)
 - 9 EXISTING 6" DIA. MANHOLE TO BE REMOVED (SEE SITE DEMOLITION PLAN)
 - 10 EXISTING 12" DIA. MANHOLE TO BE REMOVED (SEE SITE DEMOLITION PLAN)
 - 11 EXISTING 18" DIA. MANHOLE TO BE REMOVED (SEE SITE DEMOLITION PLAN)
 - 12 EXISTING 24" DIA. MANHOLE TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION
 - 13 EXISTING 30" DIA. MANHOLE TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION
 - 14 EXISTING 42" DIA. MANHOLE TO REMAIN - PROTECT FROM DAMAGE DURING CONSTRUCTION
 - 15 CORNER SPUR PAD AT END OF CORNSPOUT



W. NATIONAL AVE.

ASPHALT PAVEMENT

Site Signage - New Berlin

Tree required to remain



Existing view



View with sign

Zoning Code:

Max SF of sign box (not including base):

325F

Max Height: 8'-0"

Max EMC = 24SF

2'-6" base

9'-8" high

Sign box: 49SF

3'x7' LED sign = 21SF

Construction:

Aluminum Box Sign w/ Internally lit acrylic letters and logo. Integrate 6mm Watchfire LED Screen

Materials:

Base: Eden Valders Stone / Windsor This

Veneer Natural Quarry Run Seamface.

Natural Cleft Top and Bottom. Snapped

Ends. Mortar: Specmix SM100 - Gray

Cap: Cast Stone - Sandstone

Edge and Side of Box: Aluminum To Match

Dyvit Armadillo White

Sign face: Aluminum - White

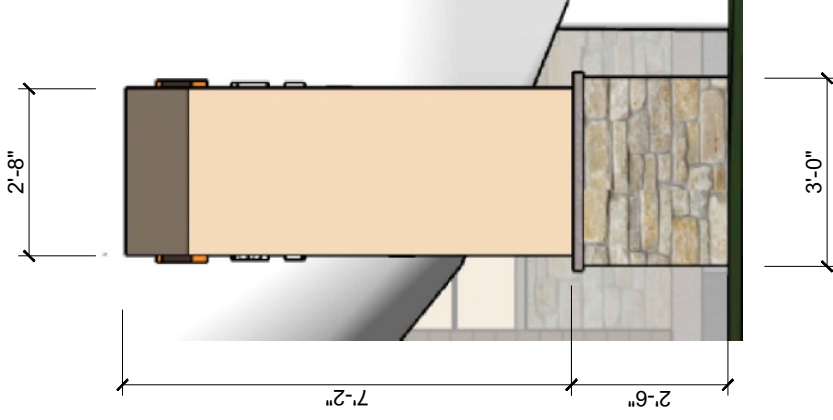
Lettering & Logo: Orange (PMS158C),

Brown (PMS Black2c)



Reference: Greenfield Branch Sign





STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: John Spitz with Western Contractors Inc. / Rezoning

LOCATION: 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991

REQUEST: Request to rezone 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning.

D.R.C. RECOMMENDATION: Public hearing and possible recommendation to Common Council adoption of Ordinance # 2718 that approves the rezoning of the property located 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of May 4, 2026

John Spitz with Western Contractors Inc. / Rezoning
2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) &
Tax Key #: 1185.991

DATE STAFF REPORT PREPARED: April 22, 2026

APPLICANT / OWNER(S): John Spitz with Western Contractors Inc. / John and Marilyn Spitz Joint Trust

REQUEST / DESCRIPTION OF PROJECT: Request to rezone 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 4/8/2026

DATE OF COMPLETENESS DETERMINATION: 4/8/2026

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): Several meetings with the most recent meeting on April 7, 2026.
Staff Site Visit: Most recent visit - 4/23/2026

CONCEPTUAL PLAN: Yes

SIZE OF DEVELOPMENT / PARCEL(S): 10.767 acres (recently combined via CSM)

CURRENT ZONING: M-1/SPO (Light Manufacturing District / Special Plan Overlay), C-1 (Upland Resource Conservancy District) & C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE: City of New Berlin – Jacob’s Ridge Lift Station

PROPOSED ZONING: M-1/SPO (Light Manufacturing District / Special Plan Overlay) & C-2 (Shoreland Wetland Holding District)

PROPOSED LAND USE: Light Industrial

PROPOSED LOT SIZES: N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: M-1/SPO, C-1	Land Use: Industrial
South: Zoning: M-1/SPO, C-1	Land Use: Industrial
East: Zoning: M-1/SPO	Land Use: Industrial
West: Zoning: M-1/SPO, C-1, C-2	Land Use: Industrial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 12: Neighborhood B: West Lincoln Avenue & Western Area: Yes, the concepts meet the intent of this Chapter.

Vision:

- *The area of New Berlin generally west of Calhoun Road should be a regional model of rural development. Any development shall occur as a mix of conservation development, farms, large areas of preserved open spaces, rural trails and facilities, and small-scale neighborhood-oriented retail. Development in this area will incorporate environmental protection as a basic value, including its importance as an aquifer recharge area.*

Development Policies:

- *Public sanitary sewer service shall not be extended into this area, with the exception of parcels designated to be within the Urban Service Area Boundary as amended by the City.*
- *While agricultural uses are encouraged to remain, it is recognized that the area may develop for residential conservation subdivisions. Residential uses shall be permitted and accommodated pursuant to these policies. As agricultural lands transition to residential developments, the subdivision design should incorporate farming and agriculture uses as viable open space options.*
- *Where development may occur, encourage rural open space subdivisions that preserve the rural character and sensitive natural areas. Regulations have been developed that require open spaces to be incorporated into these subdivisions, while allowing smaller lots to be clustered on lands most suited for development. Areas that are environmentally sensitive such as wetlands and recharge areas shall be established as priority areas for open space preservation.*
- *The allowable base density, before incentives or bonuses, is one dwelling unit per five acres for new developments, with a requirement that an applicant demonstrate the capability of providing private on-site wastewater treatments systems that satisfy County and State regulations. Applicants should refer to the City Zoning and Development Code for regulations relating to this standard.*
- *While it is recognized that State regulations for private on-site sewage treatment systems may evolve over time, it is the policy of the City of New Berlin that these possible changes do not affect this maximum allowable density.*
- *Explore and implement amenities that are consistent with a rural theme, such as equestrian facilities, trails, bed and breakfasts, nature preserves, parks, community gardens, agricultural businesses, and others.*

Land Use

- *Future Land Use Map: Business Park / Industrial*

ZONING CODE (Chapter 275): The lots meet the requirements in §275-35B(4) & §275-37B(4).

DEVELOPMENT CODE (CHAPTER 235): N/A

REZONING REQUIRED: Yes, to remove the C-1 zoning district.

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: Yes, a public hearing will be held on May 4, 2026.

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No, concept plan submitted.

Site Plan Required: No, concept plan submitted.

Architectural Review Required: N/A

PROPOSED ARCHITECTURE: N/A

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetland On Property: Yes, a wetland delineation was conducted on 8/12/21 by Dave Meyer with Wetland & Waterway Consulting, LLC. The wetlands have been registered on the City's Zoning map.

Conservancy Districts (C-1, C-2): Yes, C-1 & C-2

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: Site slopes from the north and south to the center of the property.

BIKE & PEDESTRIAN FACILITIES PLAN: No improvements

PARK & OPEN SPACE PLAN: No improvements.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: Yes, a wetland delineation was conducted on 8/12/21 by Dave Meyer with Wetland & Waterway Consulting, LLC. The wetlands have been registered on the City's Zoning map.

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Basin Capacity Available: Yes

Adequate Linkage: Yes

Onsite System Required: No

WATER USAGE CALC.: N/A

TRAFFIC IMPACT: Will be determined at the time of Use, Site and Architecture approval for any future users.

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

2345 S. 179th Street (Tax Key #: 1185.994 & Tax Key #: 1185.991)

4/1/2002 Plan Commission approval for a wet well, lift station, and above ground emergency power generator unit including a 12' x 20' building.

5/2/2011 Violation for filling on this parcel and the parcel directly to the west. Plan Commission approved an after-the-fact grading plan File #: UA-11-016 for this parcel at the parcel directly to the west. Plan Commission held a public hearing to rezone and the wetlands File #: RZ-11-003.

1/7/2026 Plan Commission held a public hearing on a Conditional Use Permit to rebuild Jacob's Ridge Lift Station and approved the project.

2445 S. 179th Street (Tax Key #: 1185.990)

1991 Building constructed. A variety of re-occupancies have occurred in this building over the years.

2/2/2026 Plan Commission approved a 1-Lot Certified Survey Map to combine 3 parcels.

2/10/2026 Common Council approved a 1-Lot Certified Survey Map to combine 3 parcels.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. The rezoning must meet the following criteria outlined in §275-22(F):

- a. The proposed rezoning is consistent with the Comprehensive Plan and the stated purposes of Chapter 275;

The rezoning request is consistent with the Future Land Use Map in the City's Comprehensive Plan, which identifies this area as Business Park Industrial. The wetland registration is in accordance with Section 275-37F of the Zoning Code.

Upon reviewing SEWRPC's Natural Resource Inventory Composite Maps, Wetland Report, zoning compliance inspection, staff's determination is that no significant natural resource exists in the areas of C-1 that are proposed to be rezoned to M-1. These areas have been graded and filled over the years.

- b. Adequate public facilities and services (including sewage and waste disposal, water, gas, electricity, schools, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;

Yes, the proposed rezoning is compliant. This property is served by public sanitary sewer and water facilities.

- c. Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of the City to provide them;

Yes, the proposed development is compliant.

- d. The proposed development has taken into account impacts on surrounding properties or the natural environment, including air, water, noise, storm water management, soils, wildlife, and vegetation;

Yes, the proposed rezoning is compliant.

Soil evaluation reports have been submitted to indicate the soils have been shown to be suitable for typical business buildings with proper engineering measures.

- e. The land proposal for rezoning is suitable for development and will not cause unreasonable soil erosion or have an unreasonable adverse effect on rare or irreplaceable natural areas;

Yes, the proposed rezoning is compliant.

Soil evaluation reports have been submitted to indicate the soils have been shown to be suitable for typical business buildings with proper engineering measures.

- f. The proposed rezoning will not be used to legitimize, or "spot zone," a nonconforming use or structure; and

No, it will not be spot zoning and will be consistent with the Comprehensive Plan.

- It will be consistent with the surrounding M-1, C-1 and C-2 Zoning Districts and the Future Land Use map.

- The C-1 was an overlay that was placed on this land during the citywide rezoning.

- A historical review of several documents indicates that this land was intended to have a future land use of "Business Park/Industrial". The review includes the following documents:

✓ 1961 Land Development Plan;

- ✓ SEWRPC Land Use & Urban Design Plan for the City of New Berlin: 2010;
- ✓ Growth & Development Master Plan Update – 2001; and
- ✓ Comprehensive Plan

- g. The proposed rezoning is the minimum action necessary to accomplish the intent of the petition, and an administrative modification, variance, or conditional use permit could not be used to achieve the same result.

Yes, the proposed rezoning is the minimum action necessary to accomplish the intent of the petition.

2. The owner of the property prepared a wetland delineation report dated 11/16/2021. The wetland delineation was conducted on 8/12/21 by Dave Meyer with Wetland & Waterway Consulting, LLC. The wetlands have been registered on the City's Zoning map.
3. The City has an easement for Jacob's Ridge Permanent Sanitary Sewerage Lift Station and Force Main Easement. The document was recorded on July 15, 2003.
4. The C-1 was an overlay that was placed on this land during the citywide rezoning in 1993.
5. A historical review of planning and assessor documents indicate that this land was intended to have a future land use of "Business Park/Industrial".
6. The applicant submitted three soil reports prepared by CGC, Inc. The first report dated October 8, 2021 was to explore overall soil on the land for future parking lot and storage yard. The second report dated November 22, 2025 was to explore the soil as it relates to storm water management for future development. The third report dated March 31, 2026 was confirmed the land is suitable for buildings. The report is on file with the city.
7. Per Section 275-37B(3)(b) of the Zoning Code the applicant shall address the items below. The applicant has submitted information to address each point below.

[1] Petitions to remove the C-1 Zoning District. The original boundaries of the C-1 Zoning District were identified using aerial photography and were not field-verified. Petitions to remove any C-1 zoned lands shall identify that there are no significant resources, as described in 275-37B(3)(a) and (b), being protected. The applicant shall submit, at a minimum, the following information:

[a] The applicant shall supply soil boring tests to the City along with a report identifying the findings. Findings shall include:

[i] Soil suitability for the construction of buildings.

[ii] Soil report indicating whether the soils are capable of supporting buildings.

[iii] Presence of high groundwater.

[iv] Any other unique or limiting soil characteristics (i.e., peat, bedrock, etc.).

[b] The applicant shall verify with City staff the most-recent copy of the SEWRPC Environmental Corridor Maps along with any historical data, including but not limited to historical aerial photos, drain tile data, etc.

[c] Any primary environmental corridor, secondary environmental corridor and isolated natural resources areas shall be field-verified in accordance with § 275-37D(6). The applicant shall provide a concurrence letter from the Southeast Wisconsin Regional Planning Commission.

[d] Complete an endangered species review with the Wisconsin Department of Natural Resources.

[e] Map of existing floodplain areas.

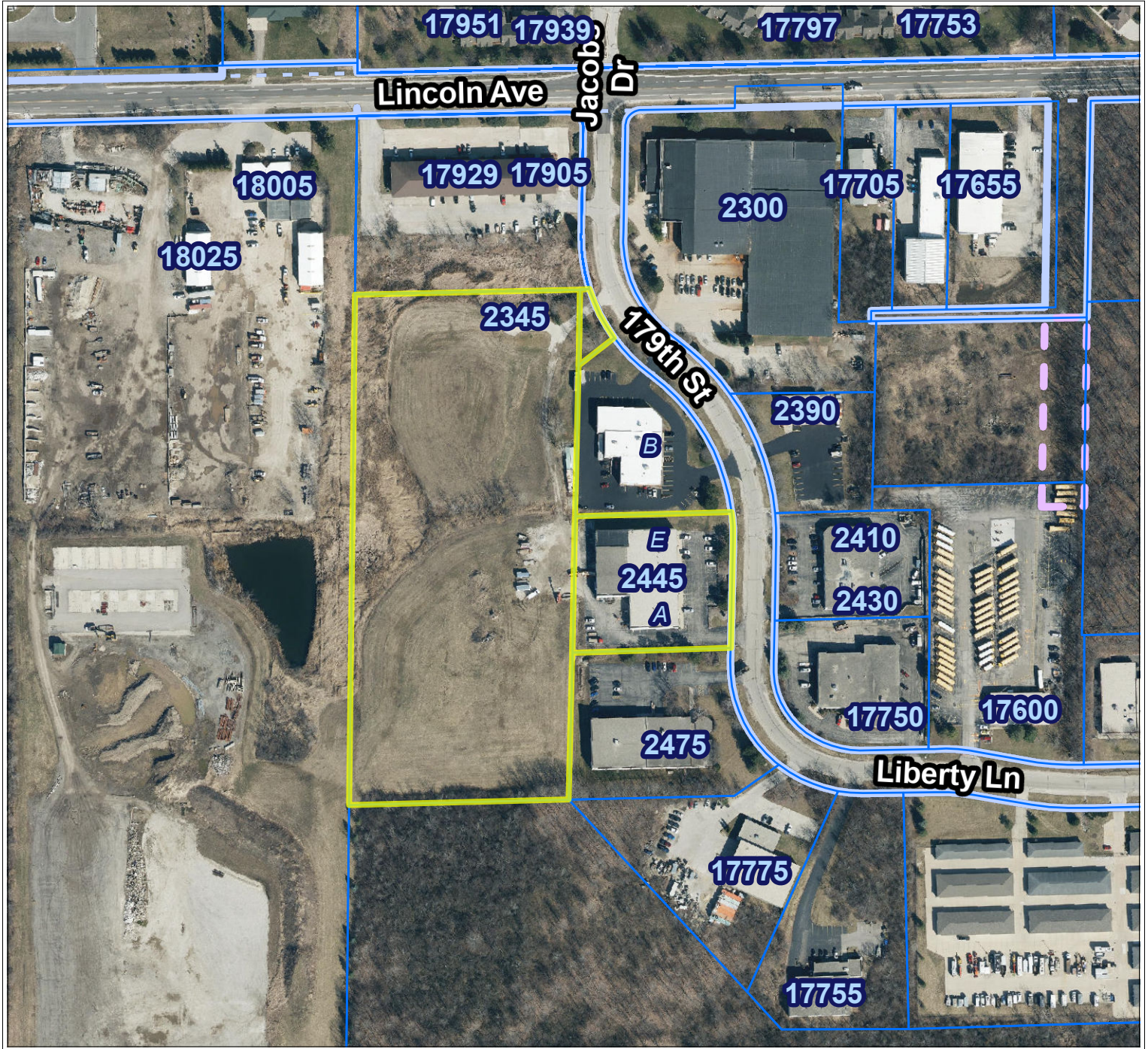
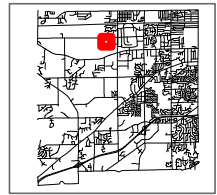
[2] If there are remaining C-1 lands after the modification, those lands shall be placed within a conservation easement.

D.R.C. RECOMMENDATION:

















Public hearing and possible recommendation to Common Council adoption of Ordinance # 2718 that approves the rezoning of the property located at 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning. **See Executive Summary.**

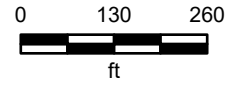
ATTACHMENTS:

Location Map
Plan of Operation Letter
Concept Plan
Ordinance #2718



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

 Parcels	 Wetland
 Road Right-of-Way	 Zoning Wetland Registration
 Conservation Easement	 Registered Wetland
 Environmental Corridor	 Outside Wetland
Floodplain FEMA DFIRM	
 FEMA DFIRM - Zone A	 Zoning Overlay
 FEMA DFIRM - Zone AE	 PUD
 FEMA DFIRM - 0.2% Chance	 Special Conditions Apply
	 SPO
	 Zoning Boundaries



Scale is estimate - not survey

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

DECEMBER 4, 2025

RE: SPITZ PARCEL – 179TH ST REZONE PETITION

TaxKey: NBC 1185994 8.9481 acres

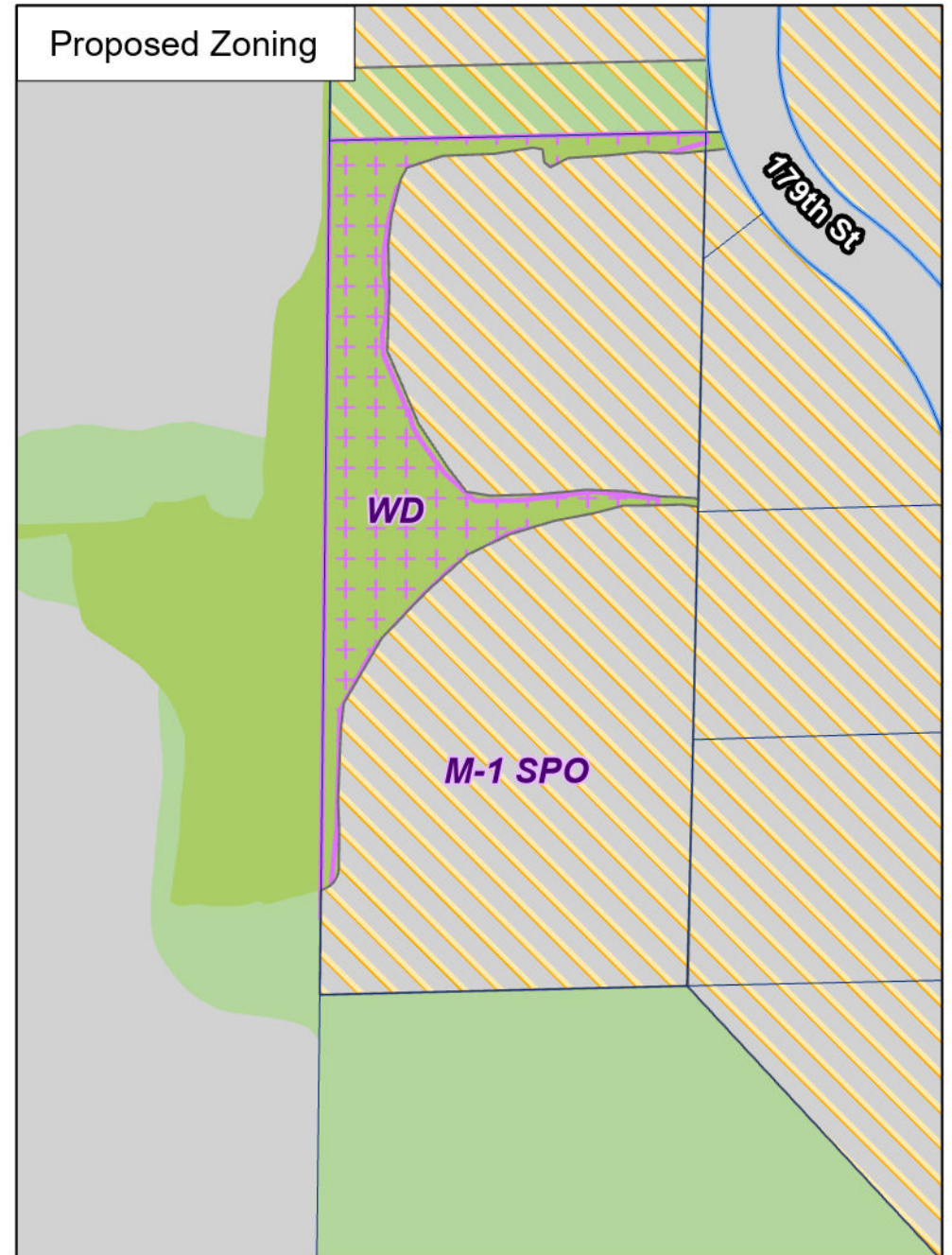
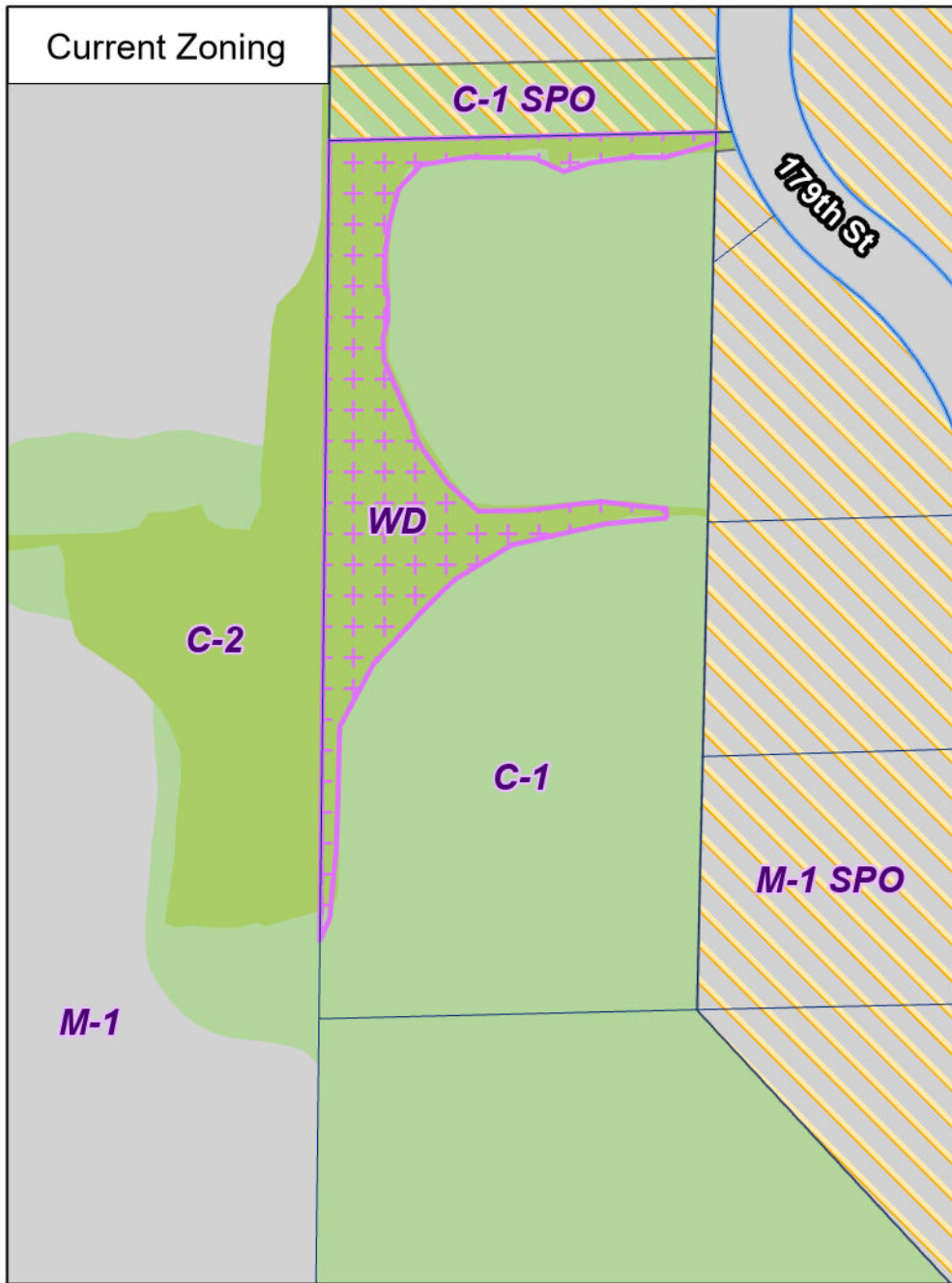
Legal Description: PT NE1/4 SEC 9 T6N R20E; LYING S OF LOTS 1-3 OF CSM #4748 VOL 38/192 REC AS DOC #1301030 AND LYING W OF CSM #5350 VOL 43/83 REC AS DOC #1453515 AND W OF CSM #5351 VOL 43/86 REC AS DOC #1453516

TaxKey: NBC 1185991 0.1184 acres

Legal Description OUTLOT 1 CSM #5351 VOL 43/86 REC AS DOC #1453516 PT NW1/4 OF NE1/4 SEC 9 T6N R20E

TO WHOM IT MAY CONCERN:

- The parcels we are asking to be rezoned are currently zoned as M-1 and C-1. The current master plan shows this. We are requesting that the two parcels be zoned M-1 only. The M-1 is consistent with the zoning ordinance.
- Adequate public facilities are currently available to service the parcels. Sanitary sewer exists on site. City water is available at 179th Street. Primary electric is along the entire east property line. We Energies gas is available from 179th Street West ROW. Area is serviced by fire hydrants along 179th Street.
- M-1 zoning surrounds parcels on east, north, and west property lines
- Wetlands that currently exist as delineated will remain intact.
- The proposed grading plan shows the storm water containment and treatment ponds to be compliant with the current City of New Berlin stormwater ordinances
- No illegal “spot” zoning is required
- No variances and/or conditional use permits will be required.

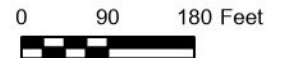


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RZ-2600594
John Spitz w/Western Contractors Inc.
2445 S 179th St & 2345 S 179th St

Legend

- Parcels
- Road Right-of-Way



ORDINANCE NO. 2718

Ordinance to rezone from M-1/SPO (Light Manufacturing District / Special Plan Overlay), C-1 (Upland Resource Conservancy District) & C-2 (Shoreland Wetland Holding District) to M-1/SPO (Light Manufacturing District / Special Plan Overlay) & C-2 (Shoreland Wetland Holding District)

The Common Council of the City of New Berlin do ordain as follows:

SECTION I

The City of New Berlin, having received a petition from John Spitz with Western Contractors Inc. to rezone the property located at 2445 S. 179th Street (Tax Key #: 1185.990), 2345 S. 179th Street (Tax Key #: 1185.994) & Tax Key #: 1185.991 from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning:

LEGAL DESCRIPTION:

Tax Key #: 1185.994

PT NE1/4 SEC 9 T6N R20E; LYING S OF LOTS 1-3 OF CSM #4748 VOL 38/192 REC AS DOC #1301030 AND LYING W OF CSM #5350 VOL 43/83 REC AS DOC #1453515 AND W OF CSM #5351 VOL 43/86 REC AS DOC #1453516

Tax Key #: 1185.991

OUTLOT 1 CSM #5351 VOL 43/86 REC AS DOC #1453516 PT NW1/4 OF NE1/4 SEC 9 T6N R20E

Tax Key #: 1185.990

LOT 7 CSM #5350 VOL 43/83 REC AS DOC #1453515 BEING PT NW1/4 OF NE1/4 SEC 9 T6N R20E

SECTION II

The matter came before the City Plan Commission which held a public hearing on the proposed rezoning on May 4, 2026 and recommended approval of said rezoning on May 4, 2026 subject to the application, plans on file, and an ordinance approved by the City Attorney, and the matter having been considered and the rezoning approved on May 12, 2026 by the Common Council.

SECTION III

The Common Council of the City of New Berlin does hereby approve the rezoning of the lands in the above-described property from M-1/SPO, C-1 & C-2 to M-1/SPO & C-2 to remove the C-1 Zoning subject to the application and plans on file.

The Mayor and City Clerk are authorized to execute this Ordinance No. 2718 on behalf of the City of New Berlin.

SECTION IV

The several sections of this ordinance are declared to be severable. If any section shall be declared

by decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of other portions of the ordinance.

SECTION V

All ordinances or parts of ordinances contravening the terms and conditions of this ordinance are hereby to that extent repealed.

SECTION VI

This ordinance shall take effect upon passage and publication of a summary notice as required by law, and the City Clerk shall so amend the Code of Ordinances and zoning map of the City of New Berlin and shall indicate the date and number of this amending ordinance therein.

PASSED AND ADOPTED by the Common Council this 12th day of May 12th, 2026.

APPROVED:

David A. Ament, Mayor

Countersigned:

Rubina Medina, City Clerk

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: William Morris / Welcome East Side LLC

LOCATION: 17200 W. Cleveland Avenue

REQUEST: Conditional Use Permit for Welcome East Side LLC to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition located at 17200 W. Cleveland Avenue.

D.R.C. RECOMMENDATION: Approval of the Conditional Use Permit for Welcome East Side LLC to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition located at 17200 W. Cleveland Avenue, subject to the application, plans on file and the following conditions of approval:

1. Planning:

- a. Plan of operation shall be consistent with submitted plans on file. Applicant is proposing to reoccupy the existing building for a gas station and convenience store. They also plan to construct an 891 square foot addition onto the convenience store, bringing the total square footage from 2,275 sf to 3,166 sf. Applicant will be eliminating the auto service part of the business and utilizing that area for the convenience store.
 - i. Hours of operation: 24/7
 - ii. Number of Employees: 4
- b. The Architectural Review Committee approved the plans on June 5, 2023 as part of the previous application (see file #: CU-2300814). The car wash component of the previous request has been removed.
- c. Landscape plans shall meet all the requirements of §275-53 through §275-56 of the Zoning Code.
- d. Employee and customer parking shall be contained on site.
- e. Dumpsters shall be properly screened from the street and public view in accordance with §275-56 of the Zoning Code.
- f. All permanent and temporary signs require a Sign Application to be filed prior to installation.
- g. Soil testing shall be required as part of building permit. Soil borings shall analyze for presence of hydrocarbons. If hydrocarbons are found to be present on the site, soil borings on the adjacent properties, with property owner's permission, may be required.

2. Building:

- a. Inspection UA - LOCAL REVIEW
- b. Building plans shall be signed and stamped by a licensed architect or professional

- engineer per the Wisconsin Enrolled Commercial Building Code (Comm. 361.31).
- c. The State of Wisconsin Commerce review can be done locally as per (Comm.361.60) if under cubic foot rule per Wi stat 101.12(3) (b) and (g). (38,600 cubic ft.)
 - d. Apply and obtain appropriate building, HVAC, electric, plumbing and fire permits from the City of New Berlin Building Inspection Division.
 - e. 2021 IBC, 2021 IEBC and updated SPS 361-366 apply.
 - f. Zoning approval will be required BEFORE applying for the building permit. Separate application and plans are required.
 - g. Building permit fees: Additional fees for 'resubmission of previously approved plans' will apply.
 - h. The building shall be fully accessible from the parking lot to the interior elements (Com. 63.1101 and ICC/ANSI A117.1).
- 3. Engineering:**
- a. A Right-of-Way permit from Waukesha County approving the plan of proposed improvements within the County ROW shall be on file with the City.
 - b. Field verify the sanitary main. Do not disturb the force main which is located on the north side of Cleveland Ave. Sheet C-5 does not match the Utility As-builts.
 - c. Maintain an ADA accessible route into the building.
 - d. Do not use the sidewalk for sales displays.
- 4. Stormwater:**
- a. No grading or new impervious proposed. No stormwater management requirements at this time.
- 5. Fire:**
- a. Maintain fire sprinkler coverage throughout, including new addition and existing building.
 - b. Monitor water flow.
 - c. Provide fire extinguishers every 75 feet of travel.
 - d. Upgrade and/or maintain egress/emergency lighting.
 - e. Provide current key(s) for required Knox box.
 - f. Update emergency contact forms.
- 6. Utilities:**
- a. Maintain a 5 feet minimum horizontal clearance from any water main and sanitary sewer pipes and structures.
 - b. Maintain 24 inches vertical clearance when crossing any pipes and structures.
 - c. Please call Alex Parker at New Berlin Water Utility with questions.
 - d. If a conflict occurs, conduits will be removed at the owner's expense.

DETAILS IN ATTACHED STAFF REPORT

**CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT**

Meeting of May 4, 2026

**William Morris / Welcome East Side LLC
17200 W. Cleveland Avenue**

DATE STAFF REPORT: April 17, 2026

APPLICANT / OWNER(S): William Morris / Harjeet Walia with Welcome East Side LLC

REQUEST / DESCRIPTION OF PROJECT: Conditional Use Permit to reoccupy the existing building for a gas station and convenience store, as well as construct an 891 square foot addition, located at 17200 W. Cleveland Avenue.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 10/20/25

DATE OF COMPLETENESS DETERMINATION: 10/24/25

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): 10/14/25, as well as numerous phone calls and emails exchanged as part of previous application (CU-2300814)

Site Visit(s): 11/11/25

CONCEPTUAL PLAN: N/A

SIZE OF DEVELOPMENT / PARCEL(S): 1.27 acres

CURRENT ZONING: B-2 (General Retail Sales and Service District)

CURRENT LAND USE: Gas station, convenience store and service station

PROPOSED ZONING: N/A

PROPOSED LAND USE: Gas station and convenience store

PROPOSED LOT SIZE(S): N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: B-1

Land Use: Commercial

South: Zoning: O-2

Land Use: Light Industrial

East: Zoning: M-1 SPO, C-1 SPO

Land Use: Light Industrial

West: Zoning: B-2

Land Use: Commercial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes, below is a review of the social, economic and physical factors outlined in the various sections of the Plan:

Chapter 12: Neighborhood B (West Lincoln Avenue & Western Area): Yes, this submittal meets the intent of this Chapter.

Planning Context/Vision/Development Polices:

Vision:

- *Any development shall occur as a mix of conservation development, farms, large areas of preserved open spaces, rural trails and facilities, and small-scale neighborhood-oriented retail.*

Land use

- *Future Land Use Map: Rural Commercial*

ZONING CODE (Chapter 275): Yes, this request is consistent with Section 275-34B(2) of the Zoning Code.

SUBDIVISION CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: Yes, a public hearing was held on December 8, 2025.

CONDITIONAL USE REQUIRED: Yes. Automotive Fuel Sales are a conditional use in the B-2 District.

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: Yes, this was approved at the June 5, 2023 ARC meeting as part of the previous application that expired. See file CU-2300814. The car wash component of the previous request has been removed.

PROPOSED ARCHITECTURE: The applicant is proposing an addition onto the existing building.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetland On Property: No

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: Not inventoried.

Floodplain: No

Topography / Geologic: This site is relatively flat.

BIKE & PEDESTRIAN FACILITIES: No improvements identified.

PARK & OPEN SPACE PLAN: No improvements identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Shown on plans.

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: No impact.

STORM WATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Sewershed Capacity Available: Yes

Adequate Linkage: Yes

On-site system required: No

WATER USAGE CALCULATION: Will be determined at the time of the building permit.

TRAFFIC IMPACT: No impact. The ITE Manual states that a TIA is not required for development with a gas station and convenience store with less than 100 peak trips per hour.

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

9/28/1960	Plan Commission approval of building permit for Moore Oil Company
10/21/1963	Plan Commission approval of PU-56 for Moore Oil Company Service Station
6/5/1972	Plan Commission denial for storage of U-Haul trucks and trailers
5/18/1981	Plan Commission denial of U-62-81 for storage of U-Haul trucks and trailers at AM Petroleum Limited
3/14/1983	Plan Commission approval of U-30-83 for Murphy Oil Corp/Spur Station storage addition
5/20/1991	Plan Commission approval of UA-17-91 for a new 50' x 60' canopy and new pump islands and dispensers
6/7/1999	Plan Commission approval of CU-6-99 for new pump islands and dispensers, a 50' x 60' canopy and fuel card service as well as outdoor storage of the ice machine, soda machine and dumpster behind the building and repainting of the building and adding a tricolor band
10/1/2001	Plan Commission approval of U-63-01 for Citgo canopy and pump enhancements
6/5/2023	Plan Commission Public Hearing for CU-2300814
8/14/2023	Plan Commission approval of CU-2300814 (Zoning permit expired on 8/13/2025 as no construction had commenced)
12/8/2025	Plan Commission Public Hearing for CU-2502137

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Re-occupancy will require Public Hearing and approval from the Plan Commission for Conditional Use Permit to re-occupy the existing building.
2. Plan of operation shall be consistent with submitted plans on file. Applicant is proposing to reoccupy the existing building for a gas station and convenience store. They also plan to construct an 891 square foot addition onto the convenience store, bringing the total square footage from 2,275 sf to 3,166 sf. Applicant will be eliminating the auto service part of the business.
 - a. Hours of operation: 24/7
 - b. Number of Employees: 4

3. Site Development Standards outlined in §275-34 of the Zoning Code:
 - a. Minimum Building Setbacks: 40' Front, 15' Side, 25' Rear
 - b. Lot Coverage: 50% Maximum Coverage by Buildings, 75% Maximum Coverage by Impervious Surfaces, 25% Minimum Coverage by Open Space and Landscaping
4. Monitoring wells (discussion from 6/5/2023 Public Hearing for application # CU-2300814):
 - a. Per the DNR, there are 2 closed sites with continuing obligations at this location. Reports are on file with the Department of Community Development.
 - b. Soil testing shall be required as part of building permit. Soil borings shall analyze for presence of hydrocarbons. If hydrocarbons are found to be present on the site, soil borings on the adjacent properties, with property owner's permission, may be required.

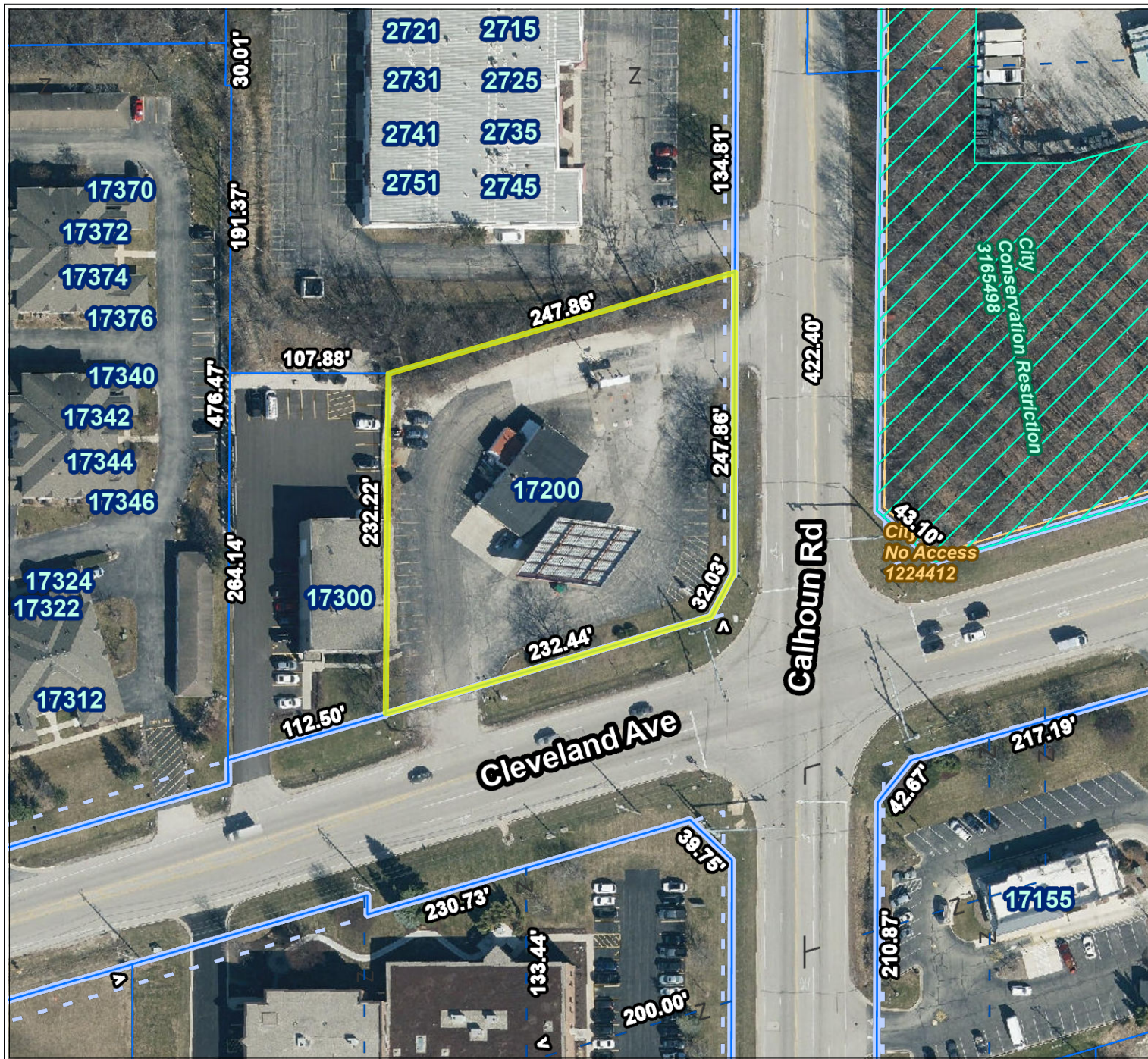
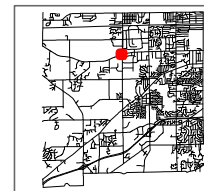
D.R.C RECOMMENDATION:

Approval of the Conditional Use Permit for Welcome East Side LLC to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition located at 17200 W. Cleveland Avenue, subject to the application, plans on file and the following conditions of approval. **SEE EXECUTIVE SUMMARY.**

ATTACHMENTS:

Location Map
Plan of Operation
Plans

CU-2502137
Welcome East Side LLC
17200 W. Cleveland Avenue



City of New Berlin
Department of Community Development
3805 S Casper Dr.
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(262) 797-2445
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Parcels	Wetland
Road Right-of-Way	Zoning Wetland Registration
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Floodplain FEMA DFIRM	Zoning Overlay
FEMA DFIRM - Zone A	PUD
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Scale is estimate - not survey

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- The proposed use of the land, building and/or structures.
 - EXISTING GAS / DIESEL SALES AND INTERIOR SALES OF GRAB AND GO PRODUCTS
- Activities to occur both inside and outside all principal and accessory buildings.
 - NO ACCESSORY PRIMARY GAS AND DIESEL FUEL SALES WITH INTERIOR GRAB AND GO PRODUCTS
- The frequency and duration of all activities, including the season, days, and hours of operation.
 - 24/ 7 OPERATION
- The total number of employees and number of employees in largest shift.
 - BETWEEN 2 AND 4
- The estimated number of tenants.
 - OURSELF 1 TENET
- The number, size and type of all vehicles associated with the use
 - SINGLE FAMILY CARS , SMALL TRUCKS LARGERER TRUCKS AT DESEL
- Number of vehicle trips or Traffic Impact Analysis if required by §275-58C.
 - NA
- The expected date of business commencement.
 - THIS HAS NEVER STOPPED OPERATION
 - SERVICE BAYS PHASE 1 AND THE EXISTING STORE AREA PHASE 2

ADDITION AND REMODELING OF EXISTING BUILDING FOR WELCOME EASTSIDE LLC 17200 W CLEVELAND AVENUE NEW BERLIN WISCONSIN

- All work shall be performed in accordance with all applicable local, federal, state and national codes and ordinances and all authorities having jurisdiction.
- The Contractor and its Subcontractors shall verify all dimensions and/or discrepancies in plans and report any errors to the Architect prior to commencement of the work, or be responsible for same.
- Do not scale drawings. Verify all on site dimensions and conditions by each subcontractor.
- All carpentry, plumbing, mechanical and electrical work is to be coordinated between the trades as part of their installation layout. Verify locations of plumbing and HVAC lines with Builder before installation.
- On site verification of all dimensions and conditions shall be the responsibility of each subcontractor.
- Architect shall not have control or charge of, and not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, or for the acts or omissions of the subcontractors, or other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the intent of the contract documents.
- Verify sizes and installation requirements and specifications of all items supplied by others before proceeding with work related thereto.
- The commencement of each subcontractor's work shall constitute acceptance of all sub-surfaces.
- Should unsuitable soil conditions arise, promptly advise the Architect of same before proceeding with any further work.
- Stock pile material as directed by Owner or Builder, Protect all trees and wetland areas retained on site. Provide erosion control as required by the governing authority.
- Verify locations of all underground lines before proceeding with sub-soil work.
- Contact Diggers Hot line 48 hours before any underground work.
- Each Subcontractor shall obtain and provide necessary bonds, permits and necessary inspections as required by municipal, county, state, federal or other agencies having jurisdiction.
- Truss manufacturer to design and fabricate floor and roof trusses in accordance with all applicable codes.
- The minimum live load for floor shall be 50 p.s.f. and the minimum snow load for roofs shall be 35 p.s.f. The minimum dead load for floors and roofs shall be 10 p.s.f. The maximum deflection shall be L/480. All girder trusses shall be designed to accept all concentrated loads as required. Truss drawings shall be submitted to the Builder and shall be sealed by a State of Wisconsin licensed structural engineer or by the truss manufacturers engineer registered in Wisconsin. Truss Manufacturer shall confirm headers and lam beams for truss bearing on all span
- All concrete and reinforcing work shall conform to ACI specifications and recommendations. All concrete footings shall bear on 3000 p.s.f. minimum soil capacity on virgin ground, minimum 3'-8" below grade. All concrete shall attain a 28-day compressive strength of 4000 P.S.I. for walls slabs; 4000 P.S.I. exterior slab use 6% air entrainment
- All construction lumber shall be Southern Yellow Pine Fb 1000, E-1.3 #2 or better, unless otherwise noted. All wood in contact with concrete or grade shall be pressure treated. Shim all sill plates and provide sill sealer below plate and grout any gaps greater than 1/4".
- All engineered joists and beams, i.e., micro lams, TJI's, etc. shall be installed in accordance with the manufacturers specifications.
- Provide doubts cripples under all headers greater than 4'-0".
- All concentrated loads from headers and beams shall be solid-blocked down to foundation, steel, or girder beams. No back filling of foundation shall occur until floor system is in place to brace top of concrete walls
- All work shall be performed in a good workmanlike manner. Each subcontractor shall amend and make good at his own cost any defects and other faults in his workmanship and materials.
- Each contractor to clean up debris inside and outside the building site which has been caused by his work and place in dumpster provide by builder on a daily basis.
- All electrical work shall conform to the National Electric Code, NEC latest edition and local building code.

These drawings and Specifications: Specifications and the accompanying drawings are complimentary and what is called for by one shall be binding as if called for by both the quality and quantity shall prevail.

Coordination of work: A general contract will be left for the work and successful contractor shall be responsible for all other sub-contractors and coordination of the Specifications and or dimensions of all work or where it comes in contact with others work. All details of material selections shall be reviewed and referred to the owner where questions occur. Errors due to failure to comply with this requirement shall be corrected at the expense of the contractor or contractors involved.

Codes Ordinances: All work shall comply with all local, state, and county codes and regulations as applicable.

Examination of the Site: Contractor shall visit the site and review all existing conditions. He shall familiarize himself as to the nature and location of the work and the general and local conditions that he is to perform. He shall have full knowledge as to the transportation, disposal, handling of materials, availability of water, electric power, and all other facilities in the area where work shall be

performed or that having a bearing on the performance of his work. Dispose of all debris legally.

Contractor shall field verify all dimensions prior to starting work and coordinate same with all trades.

Construction is scheduled to occur while owners occupy the adjacent business. The contractor is responsible for providing safety and access at all times to the site for the owners clients as well as employees. The owner and Architect shall have no responsibility for means and methods of the work performed by contractors.

Weather conditions: Contractor shall protect all parts of their work from weather damage frost, rain, heat, ect. and shall be responsible for replacement and or repair of any damaged work to the satisfaction of the owner which in his opinion have become damaged due the above.

Responsibility of the Contractor: Each contractor is responsible for and must guarantee first class workmanship and materials that have been provided and installed by him.

Each contractor shall furnish all necessary barricades, temporary construction dust screens and scaffolding as required for completing their work in a safe workman like manner.

Surveys, Permits, and Regulations: The owner shall furnish all required surveys, contractors shall obtain and pay for all local necessary permits.

Auto Insurance: Each contractor shall maintain auto insurance for their respective vehicles used during project or on owners property.

Fire and Extended Insurance: The owner shall maintain in effect fire insurance and builders risk insurance coverage as required upon all items and materials on the property that are a part of or are necessary and stored on site for the completion of the work.

Pilferage: Each contractor shall be responsible for his own equipment, tools and materials required for construction and or including those items relating to any work furnished by the owner and delivered to the job site.

Electrical: All work shall comply with National Electrical Code, current edition, and any electrical code requirements of the local jurisdiction.

Guarantee: All contractors shall provide a one year guarantee of their work from the date of acceptance by the owner and shall leave the site in perfect and working order upon completion.

Dumpsters: General contractor shall provide all necessary dumpsters during construction and shall coordinate for all trades including that work which may be performed by the owner.

Clean up: General contractor shall at the end of the project fully broom clean all surfaces of dust and debris and leave site in a clean unconstructive condition.

Erosion control measures shall be established prior to any excavating on this site and shall be the responsibility of the excavating contractor performing any work, all shall comply with the state of Wisconsin DNR technical standards

INDEX OF DRAWINGS	
A1	TITLE SHEET, INDEX OF DRAWINGS, GENERAL NOTES
A2	FLOOR PLAN OF EXISTING BUILDING
A2a	DEMOLITION PLAN
A3	PROPOSED FLOOR PLAN FOR REMODELED BUILDING
A4	EXTERIOR PHOTOS OF EXISTING BUILDING
A5	EXTERIOR ELEVATIONS FOR CONVENIENCE STORE REMODEL
A6	FOUNDATION PLAN FOR CONVENIENCE STORE ADDITION
A6a	BUILDING SECTIONS
A6b	BUILDING SECTIONS
A6c	REFLECTED CEILING PLAN CONVENIENCE STORE
A6d	ROOF PLAN FOR CONVENIENCE STORE WITH ADDITION
A7	OMITTED
A8	OMITTED
A9	OMITTED
A9a	UTILITY PLAN FROM CITY OF NEW BERLIN
A9b	UTILITY PLAN FROM CITY OF NEW BERLIN
	SEE CIVIL DWGS FROM NMB AS THIS IS INCLUDED WITH THERE DWGS
A11	MISCELLANEOUS DETAILS, DUMPSTER ENCLOSURE
	PHOTOMETRIC PLAN SEE CIVIL DWGS FROM NMB AS THIS IS INCLUDED IN THERE DWGS
CR	COLOR ELEVATIONS RENDERING
S001	STRUCTURAL NOTES AND SPECIFICATIONS
S002	STRUCTURAL NOTES AND DETAILS
S003	STRUCTURAL NOTES, DETAILS AND SCHEDULES

C1	TITLE SHEET CALHOUN AND CLEVELAND
C2	EXISTING CONDITIONS
C3	DIMENSIONED SITE PLAN
C4	DEMOLITION SITE PLAN
C5	GRADING, UTILITY AND EROSION CONTROL PLAN
C6	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C7	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C8	PROJECT SPECIFICATIONS

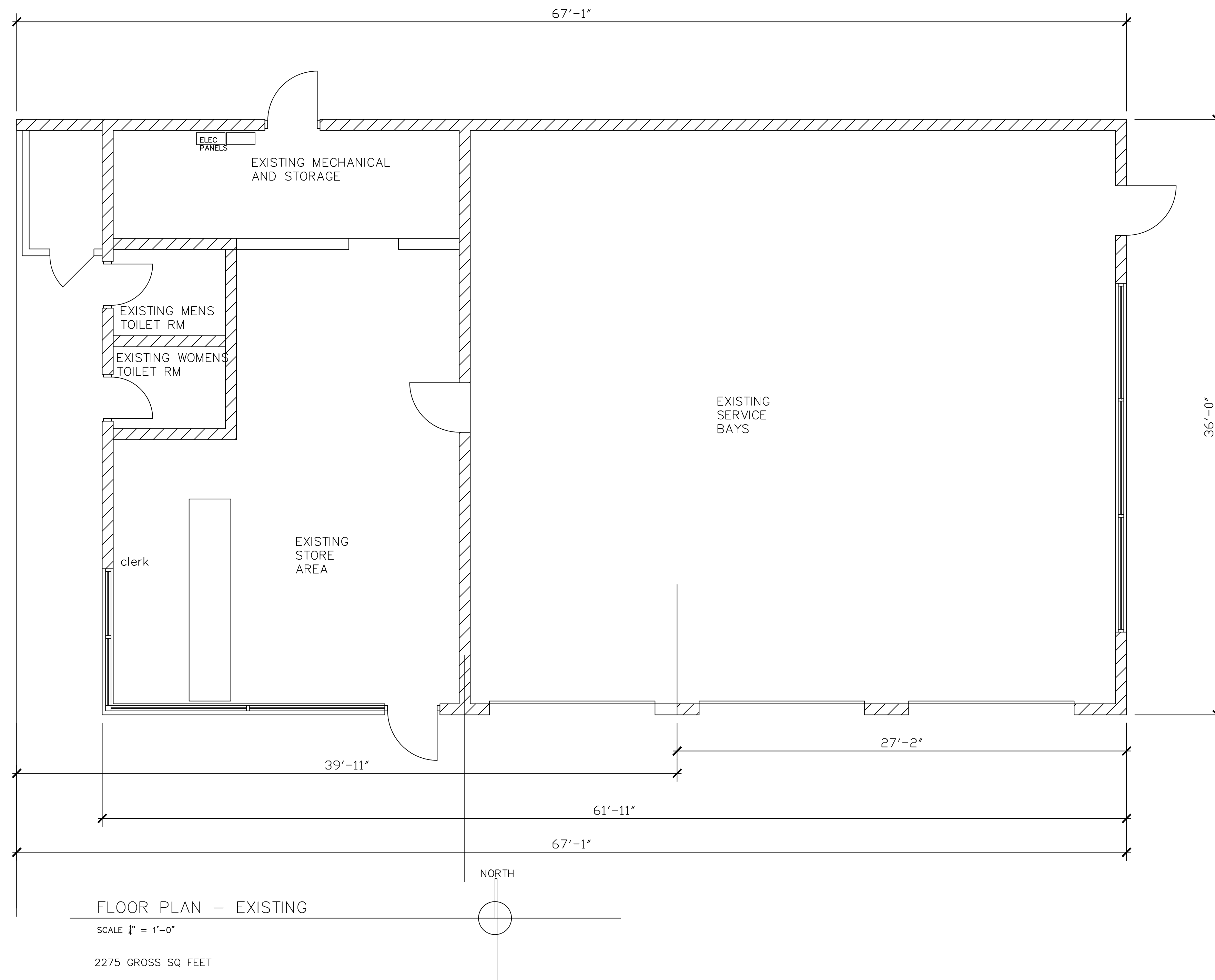
DATE
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REVISIONS
6-9-23
7-10-23
11-22-23
6-6-24
10-16-25
4-15-26

WILLIAM A. MORRIS ARCHITECT LLC
5313 87TH PLACE
PLEASANT PRAIRIE, WI. 53158

REMODELING OF EXISTING BUILDING
WELCOME EASTSIDE LLC
17200 CLEVELAND AVENUE
NEW BERLIN WI.

A1



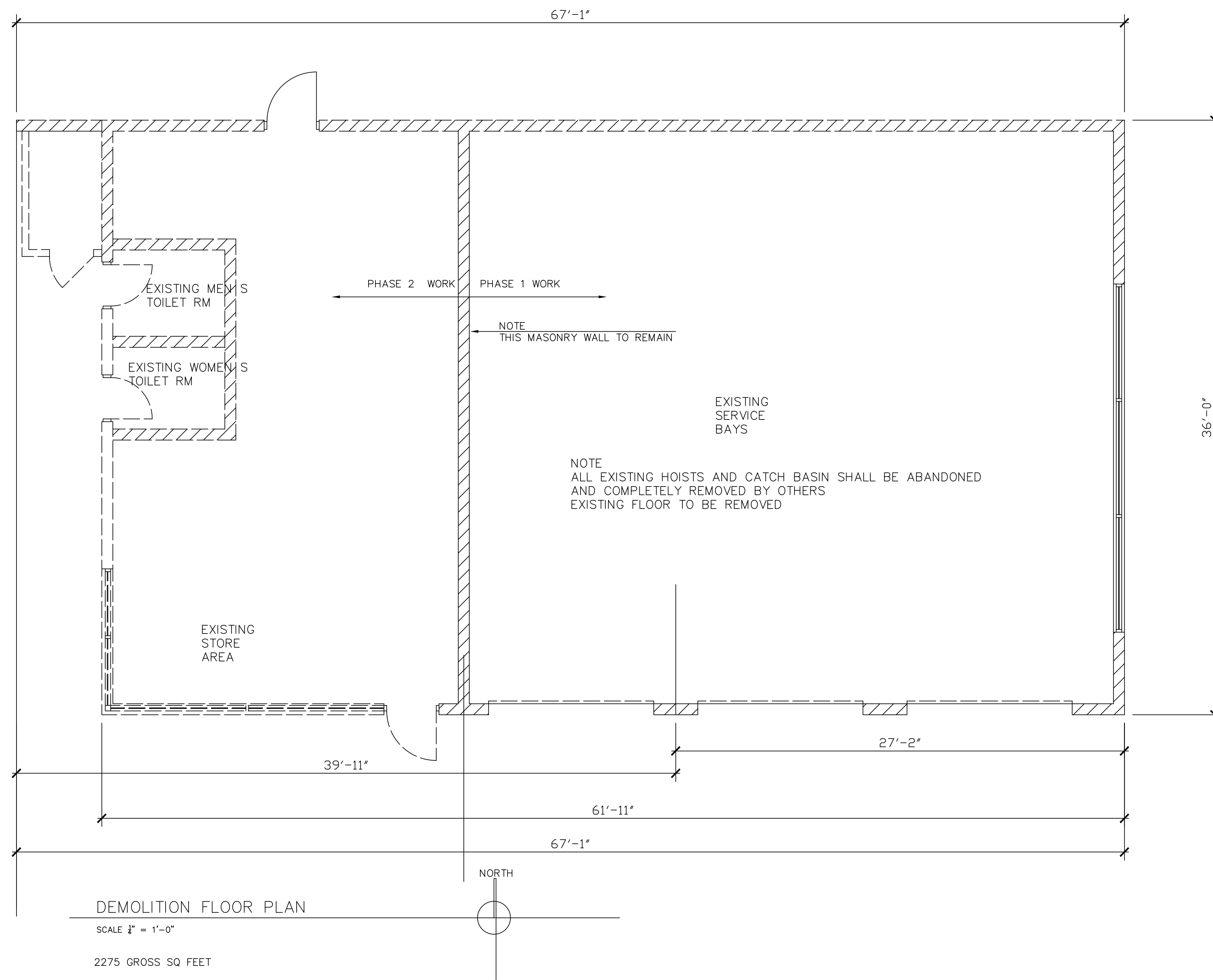
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A2



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A2a



EXISTING NORTH ELEVATION

NTS



EXISTING EAST ELEVATION

NTS



EXISTING SOUTH ELEVATION

NTS



EXISTING WEST ELEVATION

NTS

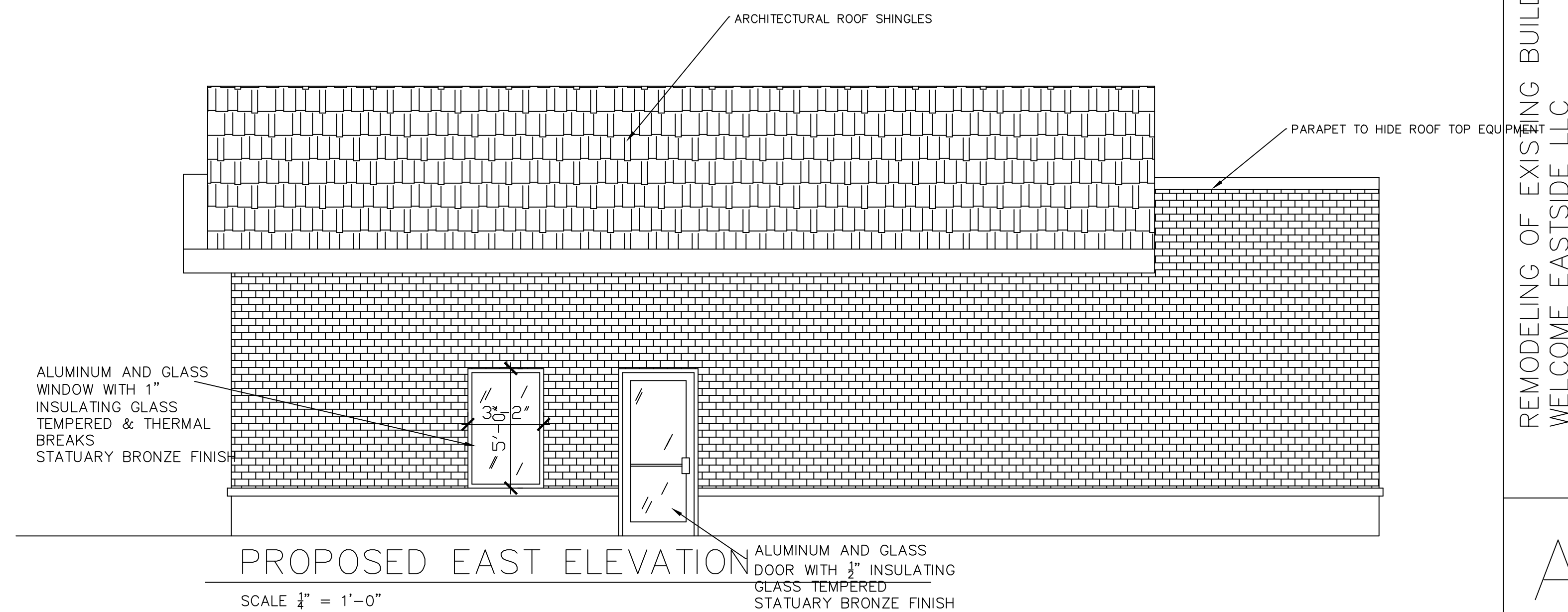
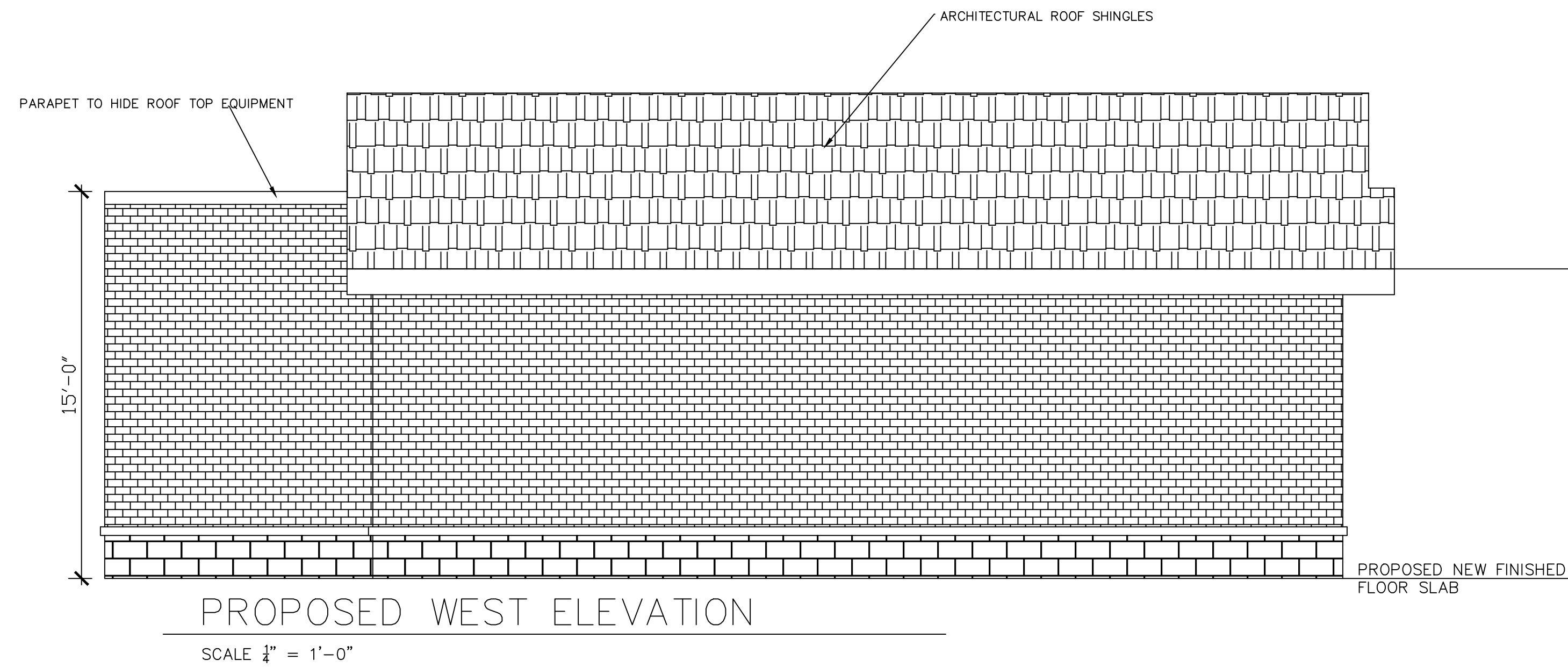
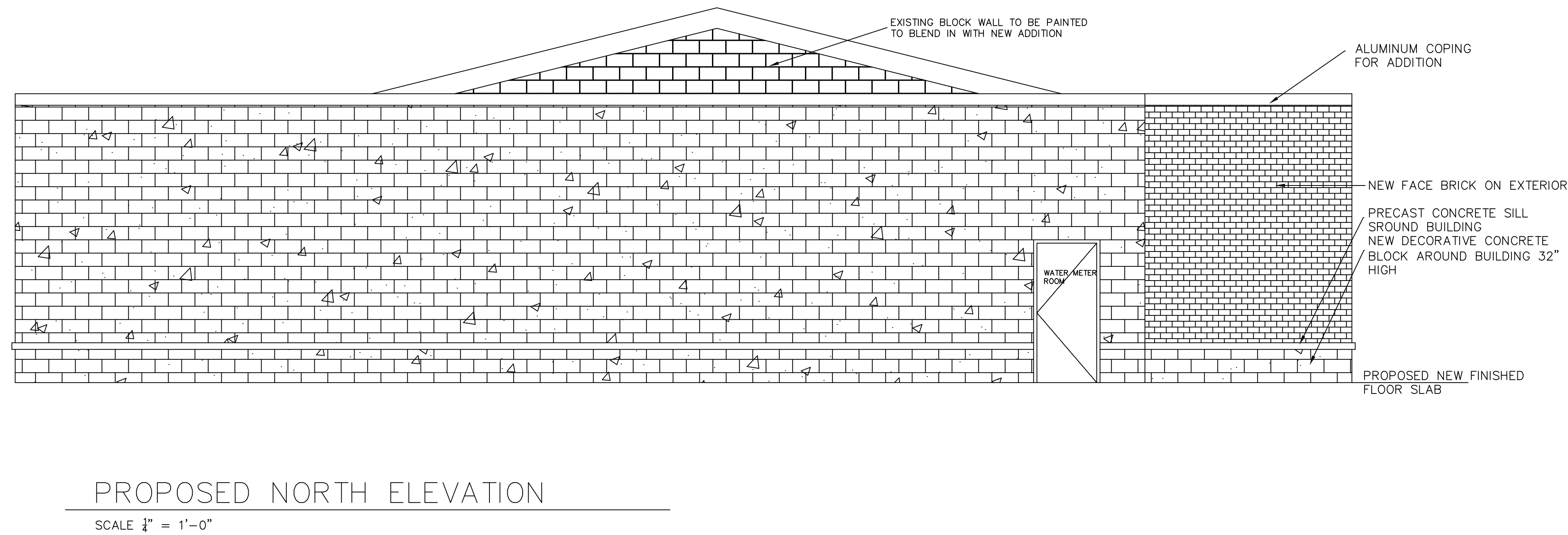
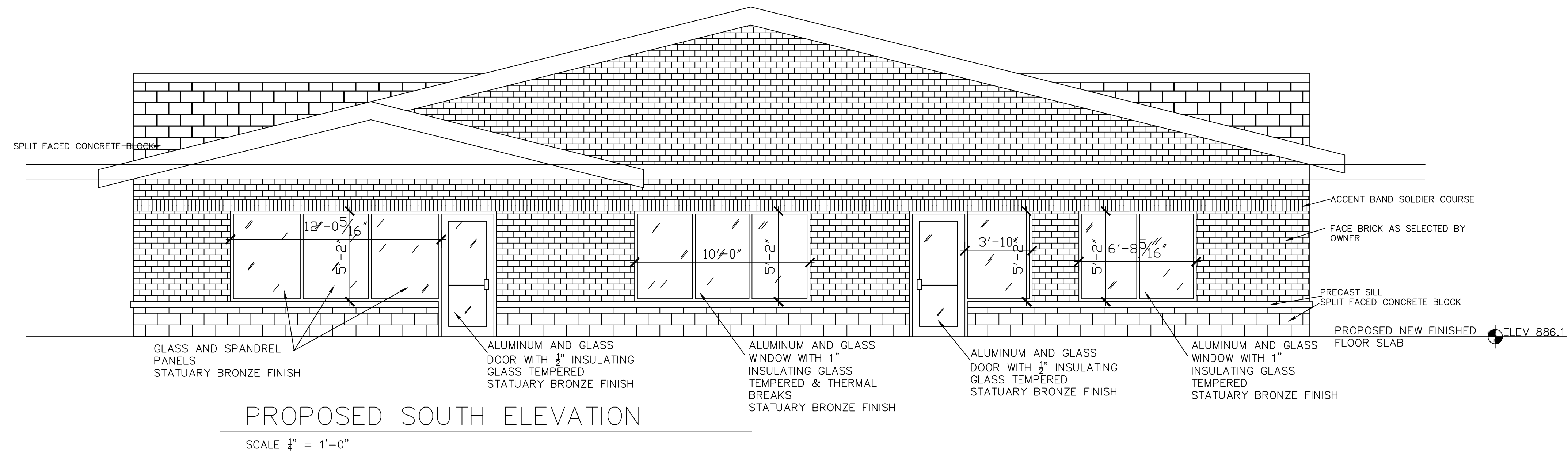
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11-22-23
6-6-24

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A4



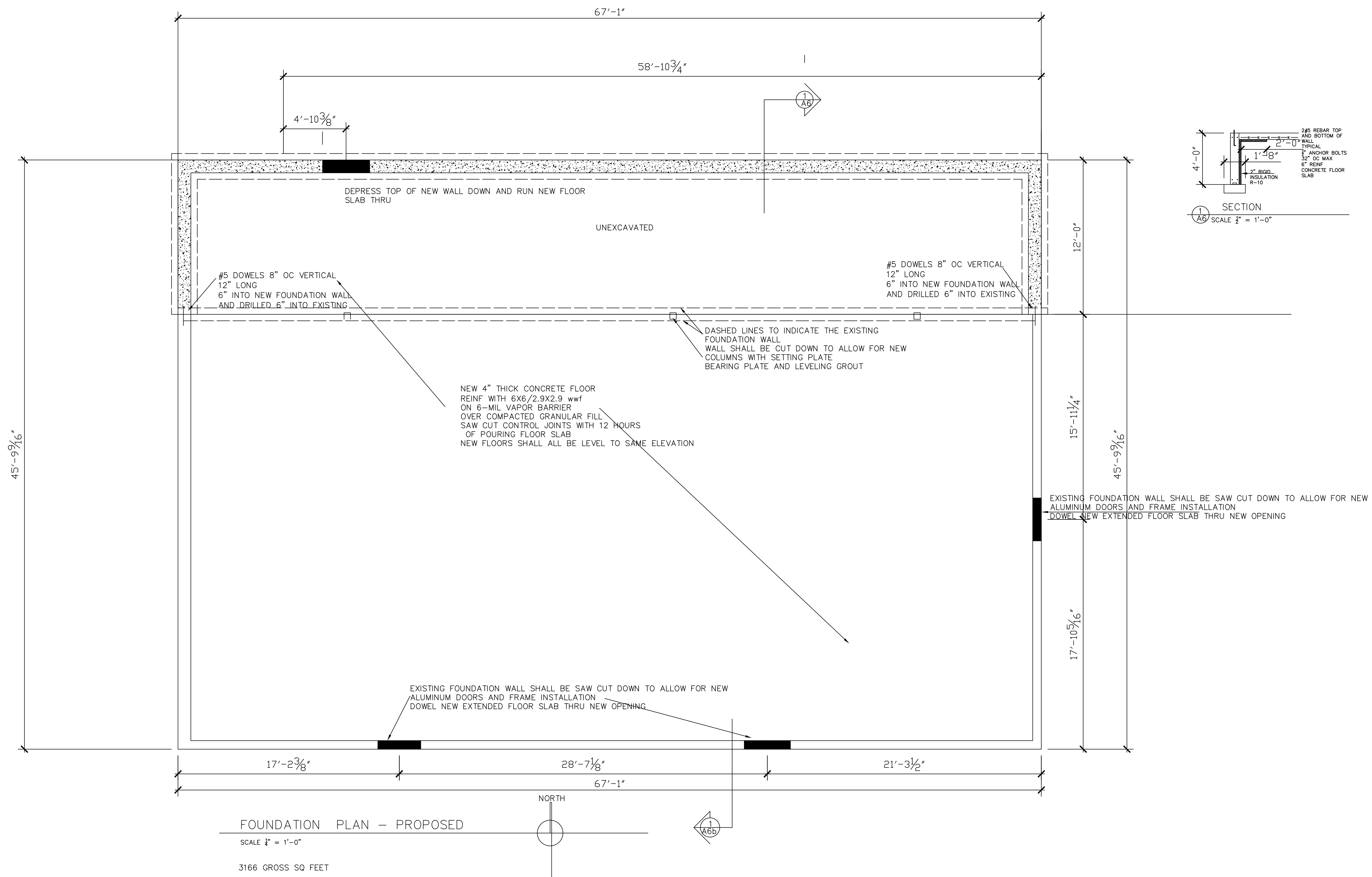
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6-6-24
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4-15-26

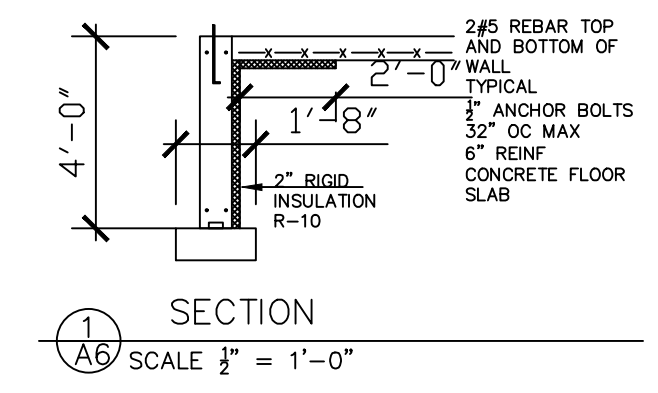
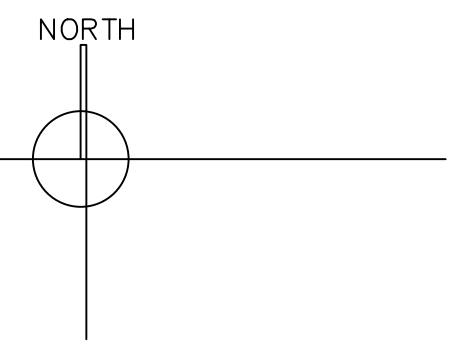
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A5



FOUNDATION PLAN - PROPOSED
 SCALE 1/4" = 1'-0"
 3166 GROSS SQ FEET



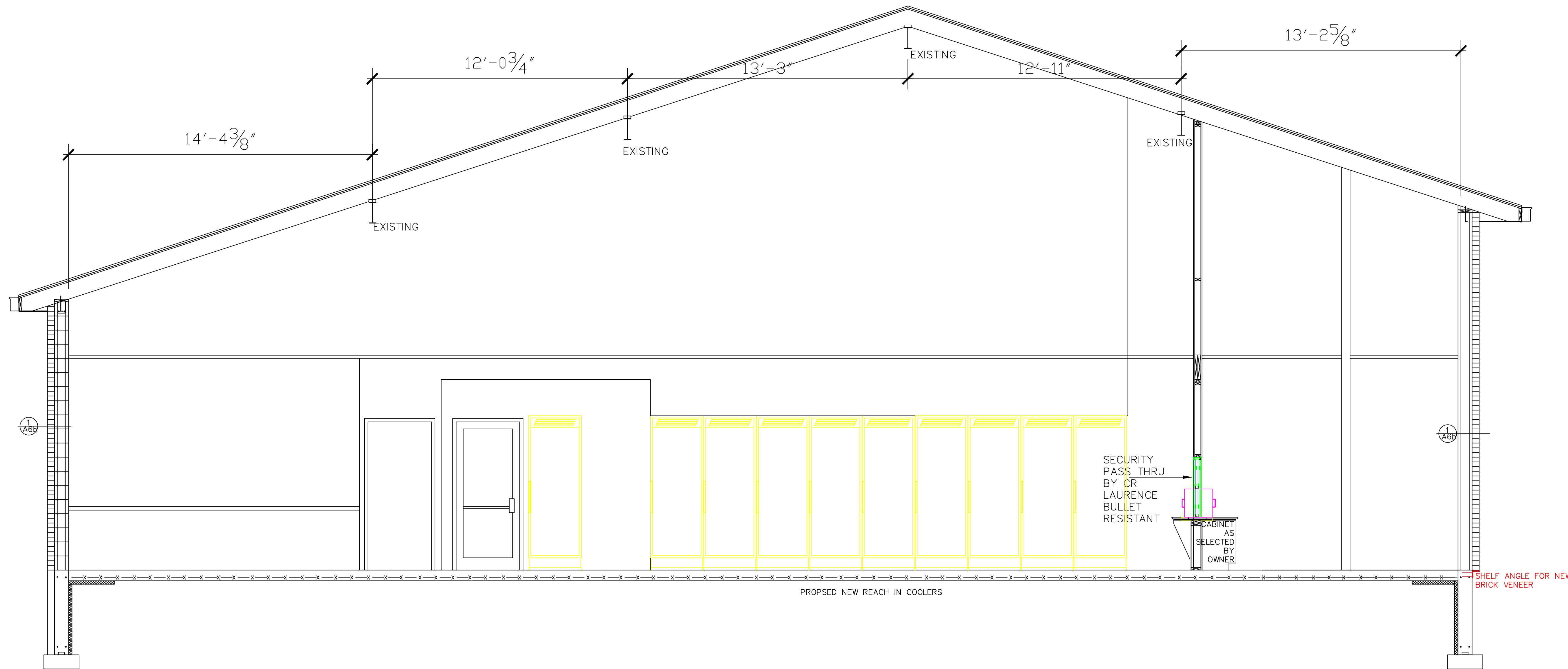
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 3-8-26
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 NEW BERLIN WI.

A6



1 BUILDING SECTION
 A6a SCALE 1/8" = 1'-0"

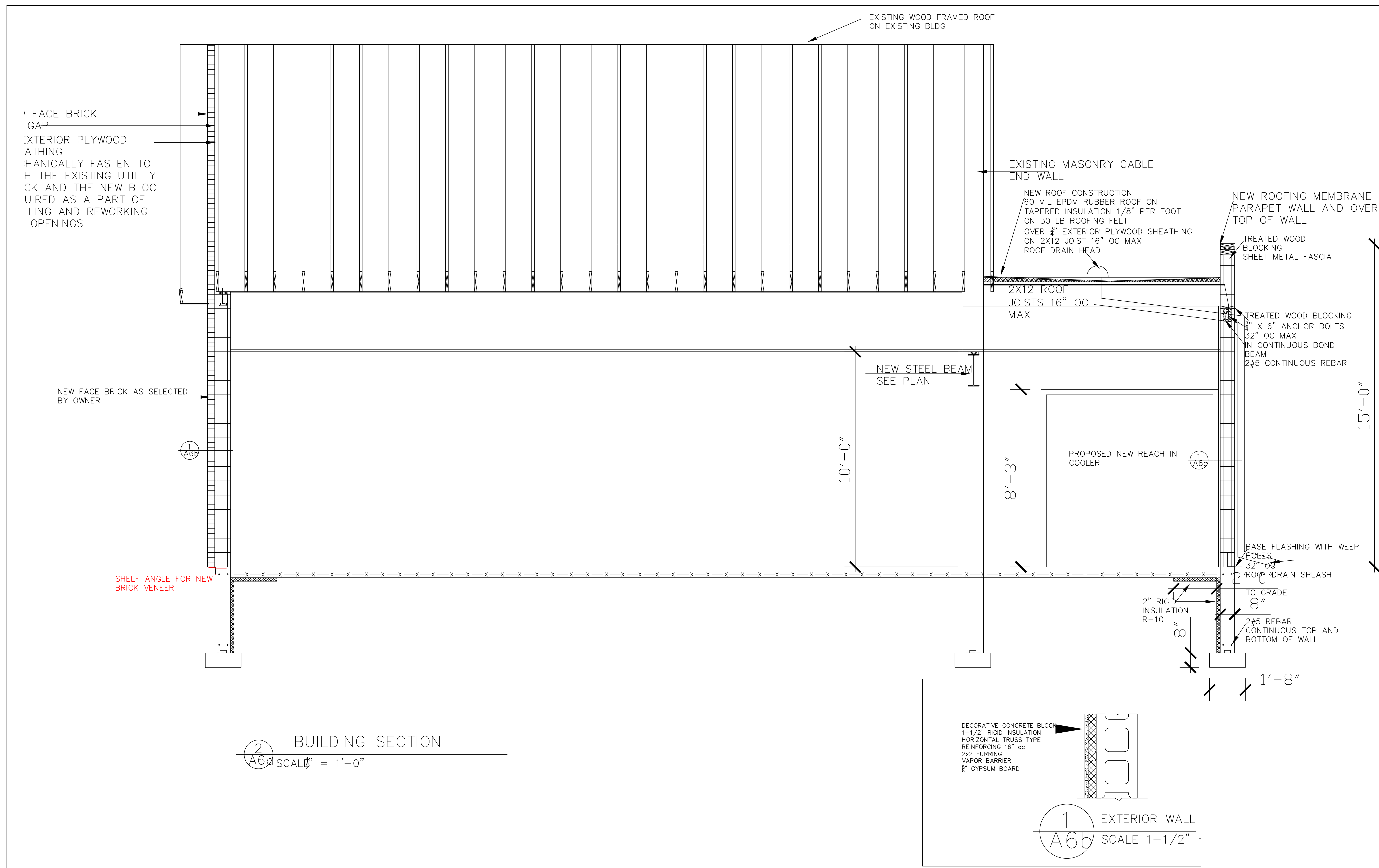
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REMODELING OF EXISTING BUILDING
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 NEW BERLIN WI.

A6a



1/2" FACE BRICK VENEER
 GAP
 EXTERIOR PLYWOOD SHEATHING
 MECHANICALLY FASTEN TO
 THE EXISTING UTILITY
 BLOCK AND THE NEW BLOCK
 REQUIRED AS A PART OF
 SEALING AND REWORKING
 OPENINGS

NEW FACE BRICK AS SELECTED
 BY OWNER

SHELF ANGLE FOR NEW
 BRICK VENEER

EXISTING WOOD FRAMED ROOF
 ON EXISTING BLDG

EXISTING MASONRY GABLE
 END WALL

NEW ROOF CONSTRUCTION
 60 MIL EPDM RUBBER ROOF ON
 TAPERED INSULATION 1/8" PER FOOT
 ON 30 LB ROOFING FELT
 OVER 3/4" EXTERIOR PLYWOOD SHEATHING
 ON 2X12 JOIST 16" OC MAX
 ROOF DRAIN HEAD

NEW ROOFING MEMBRANE
 PARAPET WALL AND OVER
 TOP OF WALL

TREATED WOOD
 BLOCKING
 SHEET METAL FASCIA

2X12 ROOF
 JOISTS 16" OC
 MAX

TREATED WOOD BLOCKING
 3" X 6" ANCHOR BOLTS
 32" OC MAX
 IN CONTINUOUS BOND
 BEAM
 2#5 CONTINUOUS REBAR

NEW STEEL BEAM
 SEE PLAN

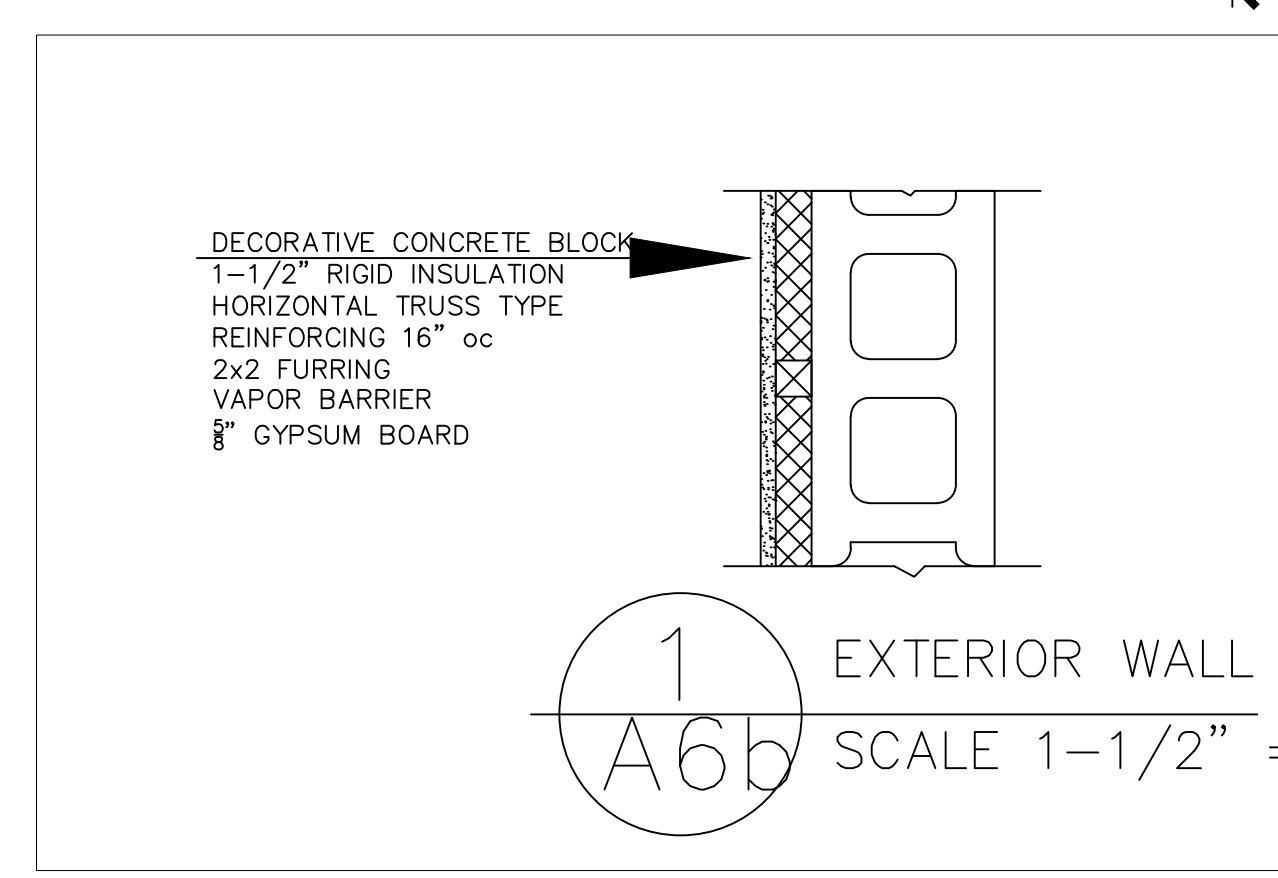
PROPOSED NEW REACH IN
 COOLER

BASE FLASHING WITH WEEP
 HOLES
 32" OC

2" RIGID
 INSULATION
 R-10

TO GRADE
 8"
 2#5 REBAR
 CONTINUOUS TOP AND
 BOTTOM OF WALL

1'-8"



2 BUILDING SECTION
 A6a SCALE 1/2" = 1'-0"

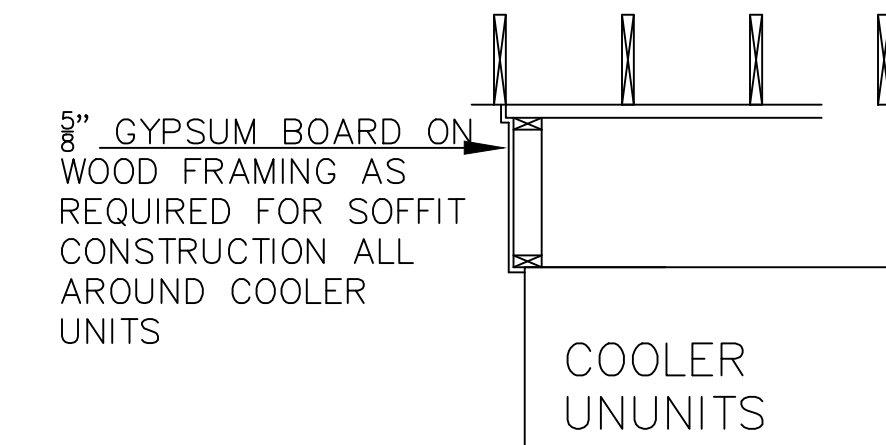
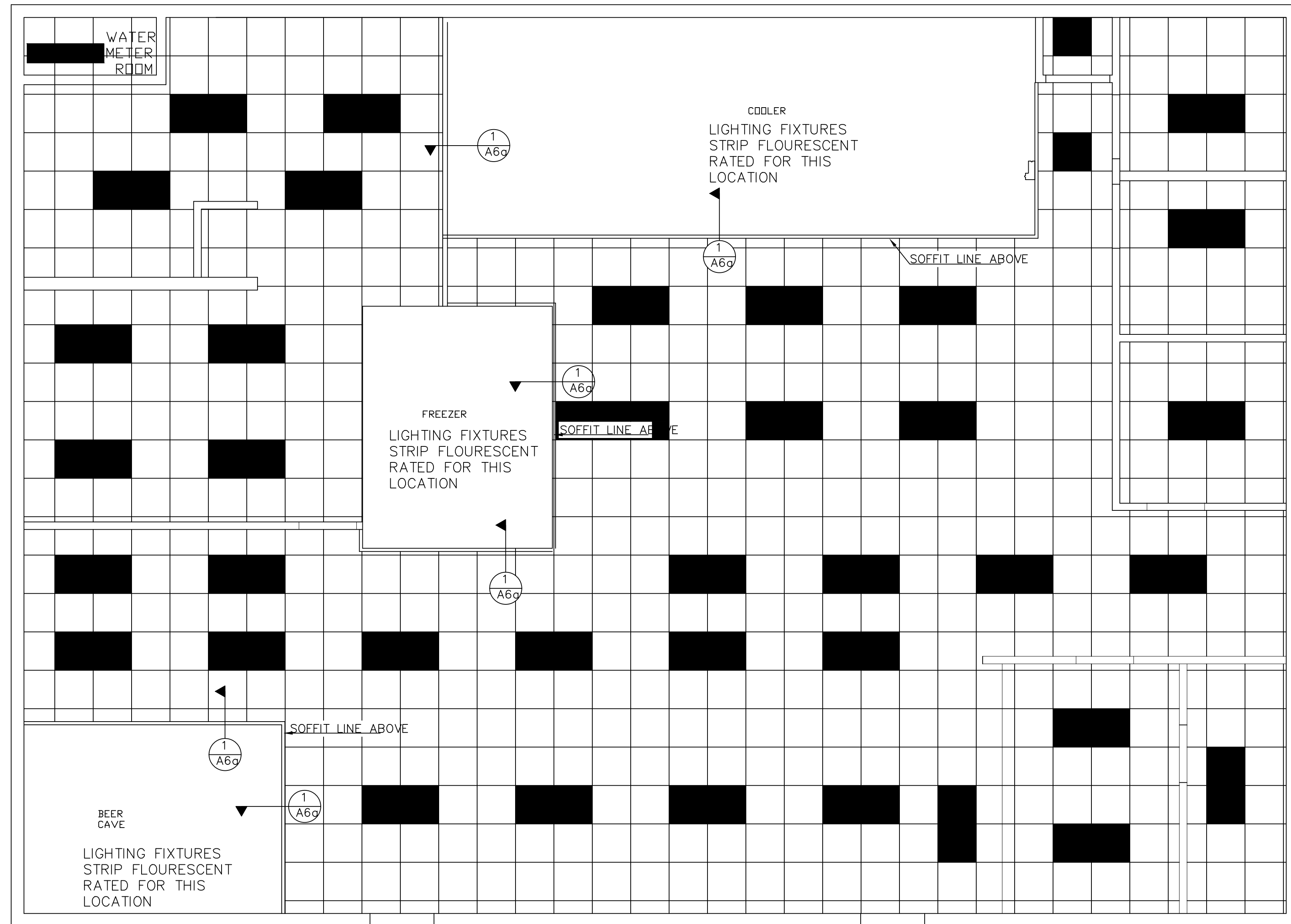
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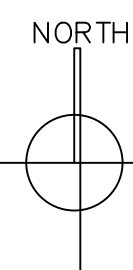
A6b



1
A6g
DETAIL AT SOFFITS
SCALE 1/2" = 1'-0"

REFLECTED CEILING PLAN

SCALE 1/2" = 1'-0"



REVIEW WITH OWNER ON LIGHTING FIXTURES
OPTIONS

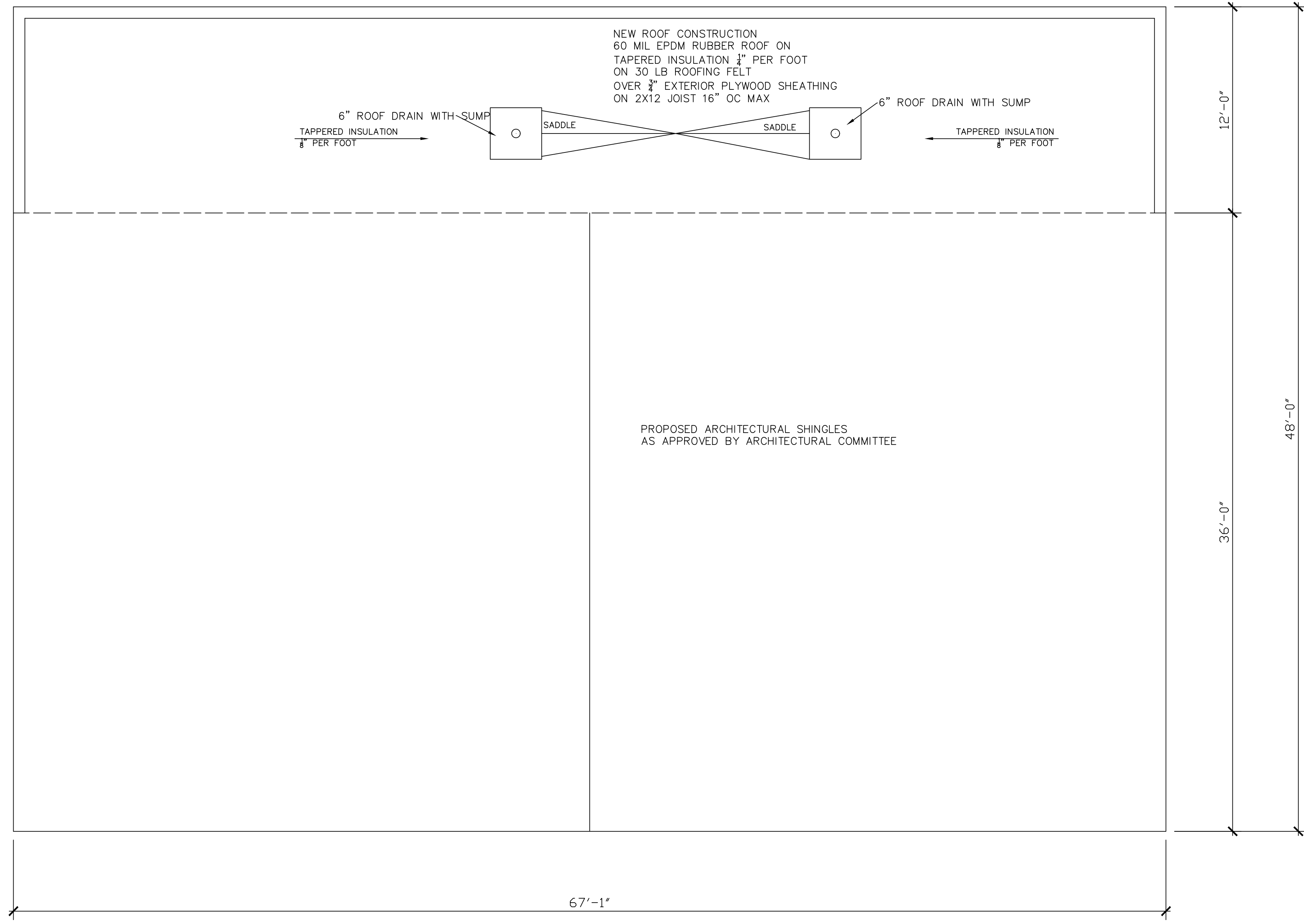
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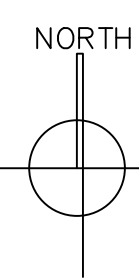
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NEW BERLIN WI.

A6c



ROOF PLAN
 SCALE 1/4" = 1'-0"



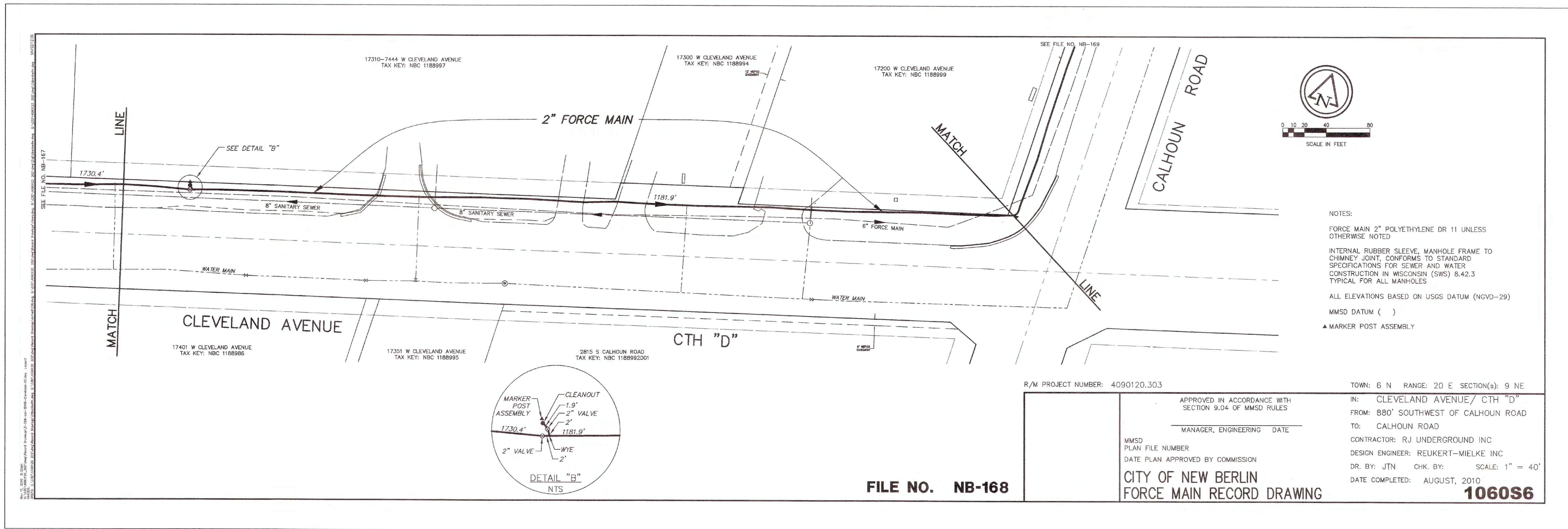
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 17200 CLEVELAND AVENUE
 NEW BERLIN WI.

A6d



FILE NO. NB-168

CITY OF NEW BERLIN
FORCE MAIN RECORD DRAWING

1060S6

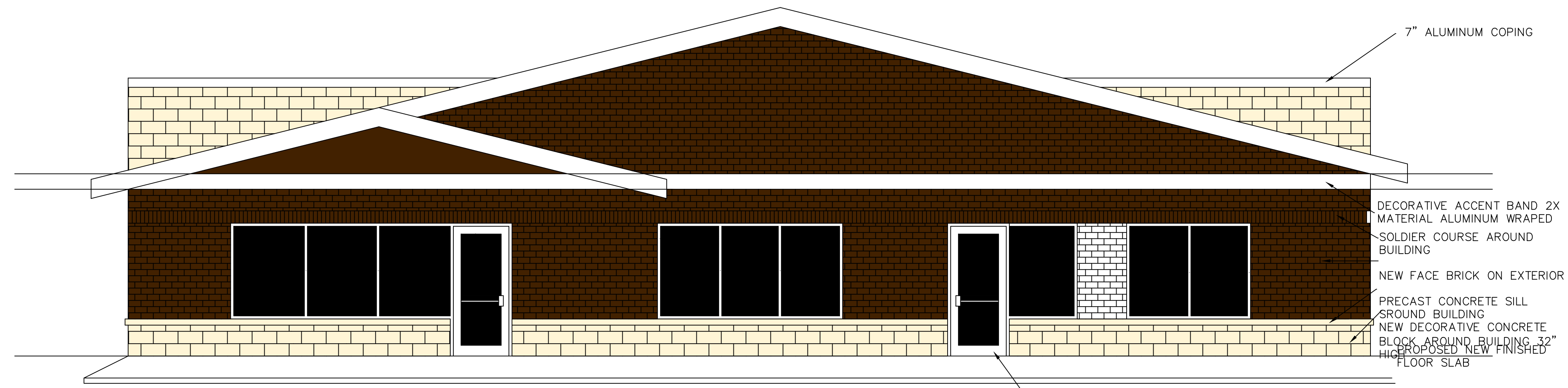
DATE

DATE

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REMODELING OF EXISTING BUILDING FOR
WELCOME EAST SIDE LLC
17200 CLEVELAND AVENUE
NEW BERLIN WI.

A9b

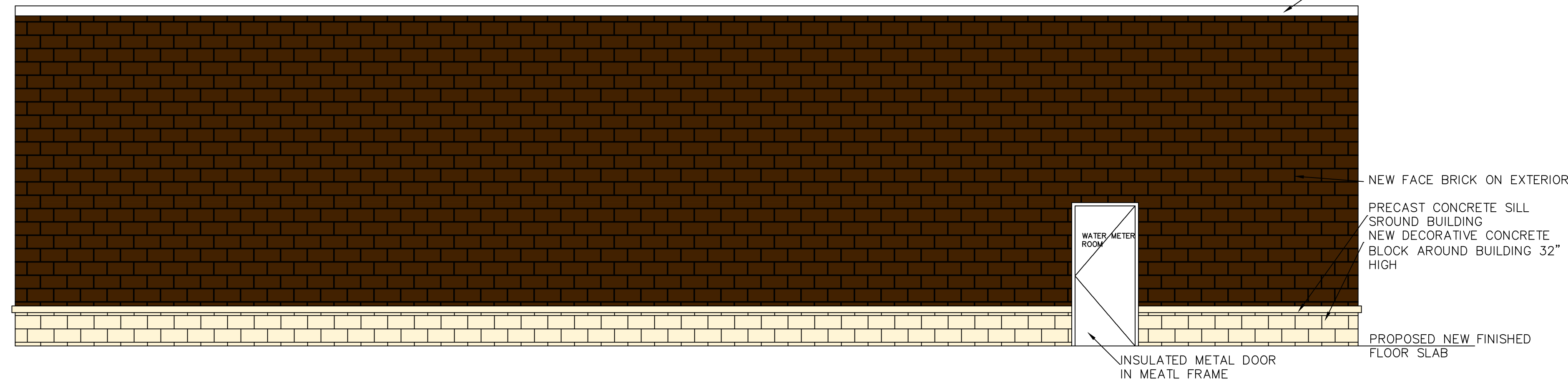


PROPOSED SOUTH ELEVATION

SCALE 1/4" = 1'-0"

ALUMINUM AND GLASS WINDOW WITH 1" INSULATING GLASS TEMPERED & THERMAL BREAKS STATUARY BRONZE FINISH

7" ALUMINUM COPING
 DECORATIVE ACCENT BAND 2X MATERIAL ALUMINUM WRAPED
 SOLDIER COURSE AROUND BUILDING
 NEW FACE BRICK ON EXTERIOR
 PRECAST CONCRETE SILL AROUND BUILDING
 NEW DECORATIVE CONCRETE BLOCK AROUND BUILDING 32" HIGH PROPOSED NEW FINISHED FLOOR SLAB

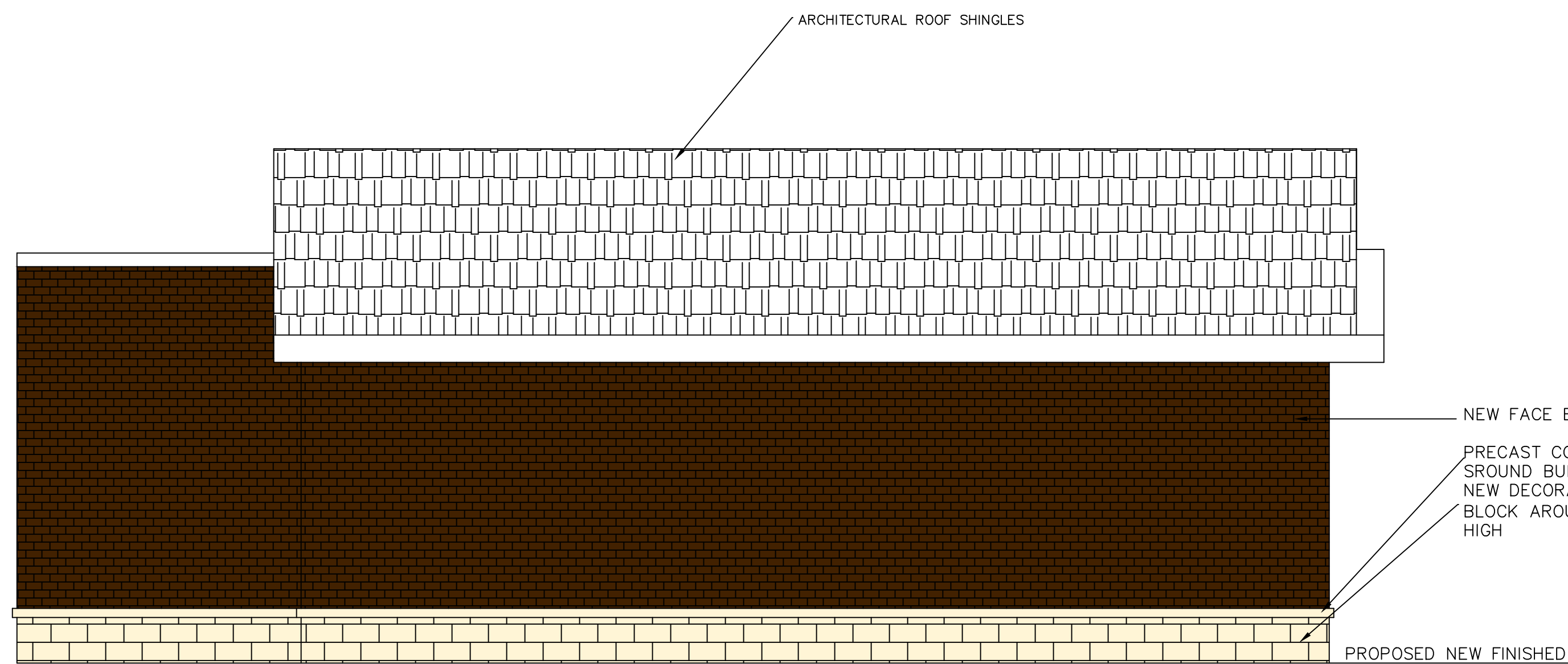


PROPOSED NORTH ELEVATION

SCALE 1/4" = 1'-0"

INSULATED METAL DOOR IN METAL FRAME

7" ALUMINUM COPING
 NEW FACE BRICK ON EXTERIOR
 PRECAST CONCRETE SILL AROUND BUILDING
 NEW DECORATIVE CONCRETE BLOCK AROUND BUILDING 32" HIGH
 PROPOSED NEW FINISHED FLOOR SLAB

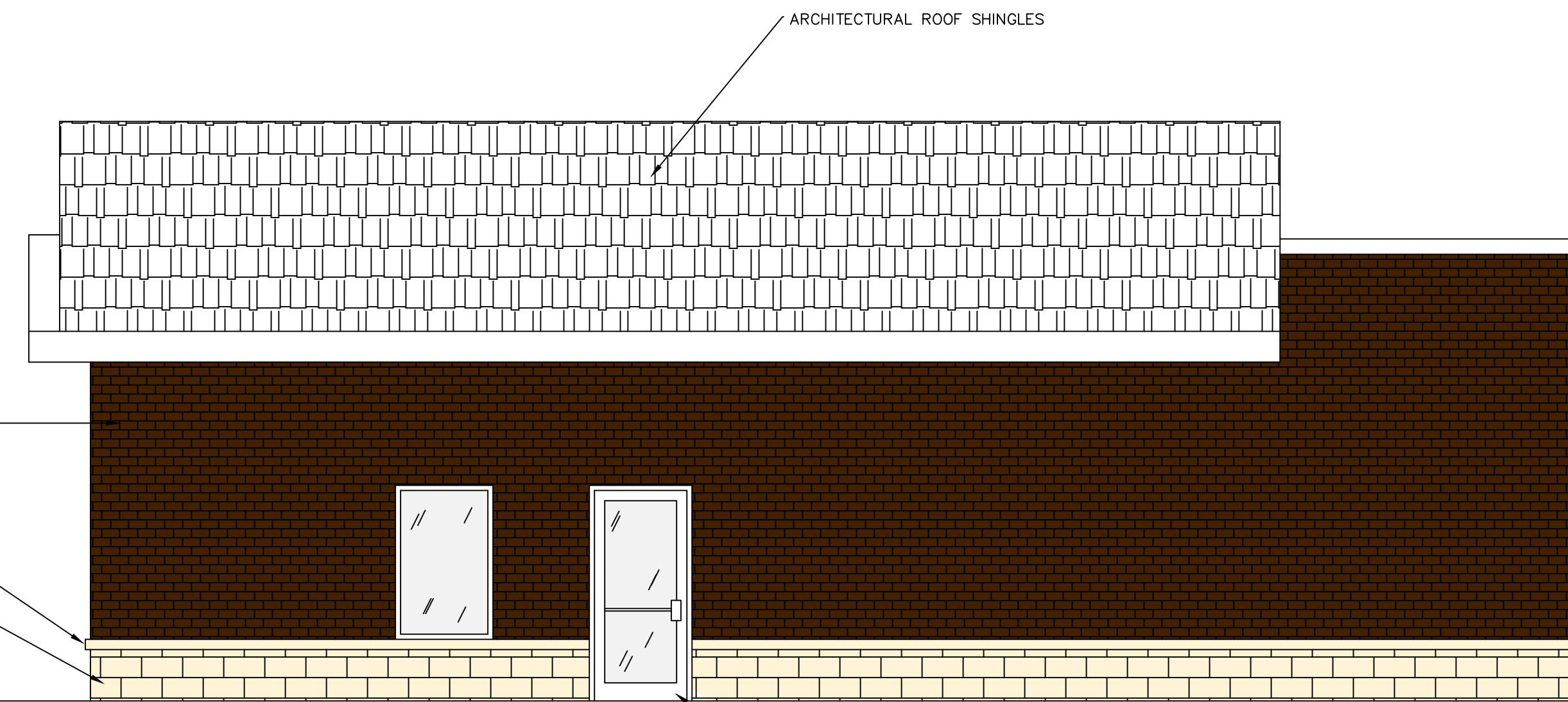


PROPOSED WEST ELEVATION

SCALE 1/4" = 1'-0"

PROPOSED NEW FINISHED FLOOR SLAB

NEW FACE BRICK ON EXTERIOR
 PRECAST CONCRETE SILL AROUND BUILDING
 NEW DECORATIVE CONCRETE BLOCK AROUND BUILDING 32" HIGH



PROPOSED EAST ELEVATION

SCALE 1/4" = 1'-0"

ALUMINUM AND GLASS WINDOW WITH 1" INSULATING GLASS TEMPERED & THERMAL BREAKS STATUARY BRONZE FINISH

PRELIMINARY DWG NOT FOR CONSTRUCTION

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 7-10-23
 6-6-24
 4-15-26

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REMODELING OF EXISTING BUILDING
 WELCOME EASTSIDE LLC
 17200 CLEVELAND AVENUE
 NEW BERLIN WI.

CR

DESIGN CODE:

WISCONSIN COMMERCIAL BUILDING CODE & THE ADOPTED 2015 INTERNATIONAL BUILDING CODE

BUILDING DESIGN LIVE LOADS/CRITERIA:

OCCUPANT LIVE LOADS:	
- FLOOR FRAMING	40 PSF
- ATTIC:	
WITHOUT STORAGE	10 PSF
WITH STORAGE	20 PSF
WITH STORAGE SERVED BY A STAIR	30 PSF
- STORES	
RETAIL	
FIRST FLOOR	100 PSF
UNIFORM LOADING	1,000 lbs.
CONCENTRATED LOADING	
- OFFICE	
UNIFORM LOADING	50 PSF
CONCENTRATED LOADING	2,000 lbs.
HANDRAILS & GUARDS (NON-GLASS):	
- SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION @ ANY LOCATION.	200 lbs.
- LINEAR APPLIED LOAD @ ANY LOCATION OR TOP RAIL.	50 PLF
- DISTRIBUTED LOAD OVER A 12 INCH BY 12 INCH AREA LOCATE ANYWHERE EXCEPT THE HANDRAIL OR TOP RAIL.	50 lbs.
GRAB BARS, SHOWER SEATS & DRESSING ROOM BENCH SEATS:	
- SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION @ ANY LOCATION.	250 lbs.
FIXED LADDERS:	
- FOR EVERY 10 FT. OF LADDER HEIGHT.	300 lbs.
- IN ADDITION TO THE 10 FT. LADDER SECTION REQUIREMENT, A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION @ ANY LOCATION.	300 lbs.
- THE TOP OF EACH RAILING EXTENSION ABOVE THE TERMINATION SURFACE.	100 lbs.
VEHICLE BARRIERS:	
- SINGLE CONCENTRATED LOAD OVER A 12 INCH BY 12 INCH AREA APPLIED 10 TO 27 INCHES ABOVE THE SURFACE.	6,000 lbs.
INTERIOR WALLS & PARTITIONS:	
- WALLS & PARTITIONS 6 FT. & GREATER, UNIFORM HORIZONTAL LOAD OF.	5 PSF

ROOF LOAD DESIGN INFORMATION:	
- GROUND SNOW LOAD (ps)	30 PSF
- TERRAIN CATEGORY	B
- EXPOSURE CONDITION	FULLY EXPOSED
- EXPOSURE FACTOR (Ce)	0.40
- THERMAL FACTOR (Ct)	1.20
- FLAT ROOF SNOW LOAD (pf)	20.74 PSF
* SEE DRIFTED SNOW LOAD DIAGRAMS FOR ADDITIONAL LOADING INFORMATION *	

WIND LOAD DESIGN INFORMATION:	
- BASIC WIND SPEED	115 mph
- RISK CATEGORY	II
- VELOCITY PRESSURE COEFFICIENT (Kzt)	0.85
- EXPOSURE CATEGORY	B
- ENCLOSURE CLASSIFICATION	ENCLOSED BUILDING
- INTERNAL PRESSURE COEFFICIENT (GCpi)	0.10
- GUST EFFECT FACTOR	0.85
- TOPOGRAPHIC FACTOR (Kzt)	1.0
* SEE WIND LOADING DIAGRAMS FOR COMPONENTS & CLADDING PRESSURES *	

SEISMIC DESIGN INFORMATION:	
- RISK CATEGORY	II
- SITE CLASS (ASSUMED)	D
- Sa	0.084
- S1	0.041
- Sns	0.142
- sm1	0.18
- Sds	0.045
- Sd1	0.075
- SEISMIC DESIGN CATEGORY	B
- BASIC SEISMIC FORCE-RESISTING SYSTEM	ORDINARY PLAIN MASONRY SHEAR WALLS
- DESIGN BASE SHEAR (V) (FRONT TO REAR)	6.7 KIPS
- DESIGN BASE SHEAR (V) (SIDE TO SIDE)	4.4 KIPS
- SEISMIC RESPONSE COEFFICIENT (Ca)	0.0623
- RESPONSE MODIFICATION COEFFICIENT (R)	1.12
- OVERSTRENGTH FACTOR (Ao)	2 (FLEXIBLE)
- DEFLECTION AMPLIFICATION FACTOR (Cd)	1.12
- ANALYSIS PROCEDURE USED	EQUIV. LATERAL FORCE

RAIN DESIGN INFORMATION:	
- 15 MINUTE INTENSITY	6.27 IN./HR
- 60 MINUTE INTENSITY	2.98 IN./HR

FLOOD DESIGN INFORMATION:	
- FLOOD ZONE	X
- BASE FLOOR ELEVATION (ft.)	N/A

SOIL LATERAL LOADS (ASSUMED TO BE FIELD VERIFIED):	
- AT-REST PRESSURE	60 PSF/FT
- ACTIVE PRESSURE	45 PSF/FT
- PASSIVE PRESSURE	250 PSF/FT

MATERIAL STRENGTHS:	
CONCRETE:	(COMPRESSIVE STRENGTH @ 28 DAYS)
- SLAB ON GRADE	Fc = 4,000 PSI
- FOOTINGS & ISOLATED PADS	Fc = 3,000 PSI
- FOUNDATION WALLS	Fc = 3,000 PSI
REINFORCING STEEL:	
- BILLET A615 GRADE 60	Fy = 60,000 PSI
STRUCTURAL STEEL:	
- ROLLED "WIDE FLANGE" SHAPES	A912
- PIPE SECTION	A53 GR. B
- RECTANGLE (OR SQUARE) "HOLLOW STRUCTURAL SECTION (#59)"	A500 GR. C
- ROUND "HOLLOW STRUCTURAL SECTION (#59)"	A500 GR. B
- ALL OTHER ROLLED SHAPES & PLATES	A36
STRUCTURAL BOLTS:	
- COMMON BOLTS (CARRIAGE)	A307 GR. A
- ANCHOR BOLTS (HOT-DIP GALV.)	F1554 GR. 36
- THROUGH BOLT CONNECTIONS	A325 OR A440
- THREADED RODS	A36
WELDED CONNECTIONS:	
- WELDING ELECTRODES	E70xx (TO KSI)
CONCRETE MASONRY UNIT:	
- COMPRESSIVE STRENGTH (Fm)	2,800 PSI
MASONRY MORTAR:	
- TYPE "S" MORTAR BELOW GRADE	
- TYPE "N" OR "M" ABOVE GRADE	
WOOD FRAMING:	
- DIMENSIONAL LUMBER MEMBERS TO BE SPRUCE-PINE-FIR #2:	
Fb (BENDING)	875 PSI
Fv (SHEAR)	125 PSI
Fcp (COMP. PERP. TO GRAIN)	425 PSI
Fcp (COMP. PARA. TO GRAIN)	1,050 PSI
Ft (TENSION PARA. TO GRAIN)	450 PSI
E (MODULUS OF ELASTICITY)	1,400,000 PSI
- PRESSURE TREATED DIMENSIONAL LUMBER MEMBERS TO BE SOUTHERN-PINE #1 (2"-4" NOM. WIDTH):	
Fb (BENDING)	1,500 PSI
Fv (SHEAR)	175 PSI
Fcp (COMP. PERP. TO GRAIN)	965 PSI
Fcp (COMP. PARA. TO GRAIN)	1,650 PSI
Ft (TENSION PARA. TO GRAIN)	1,000 PSI
E (MODULUS OF ELASTICITY)	1,600,000 PSI
- LAMINATED-VENEER LUMBER (LVL), ROSEBURG MANUFACTURE:	
Fb (BENDING)	3,100 PSI
Fv (SHEAR)	240 PSI
Fcp (COMP. PERP. TO GRAIN, EDGEWISE)	750 PSI
Fcp (COMP. PARA. TO GRAIN)	3,000 PSI
Ft (TENSION PARA. TO GRAIN)	2,100 PSI
E (MODULUS OF ELASTICITY)	2,000,000 PSI
SOIL BEARING (ASSUMED TO BE FIELD VERIFIED):	
- ALLOWABLE NET BEARING PRESSURE	2,000 PSF

LOAD COMBINATIONS:

ALLOWABLE STRESS DESIGN (ASD):	
1) D	
2) D + L	
3) D + Lr OR S OR R	
4) D + 0.75L + 0.75(Lr OR S OR R)	
5) D + (0.6W OR 0.7E) + (1.0 + 0.145psf)D + 0.170psfE	
6a) D + 0.75L + 0.75(0.6W) + 0.75(Lr OR S OR R)	
6b) D + 0.75L + 0.75(0.7E) + 0.75S + (1.0 + 0.105psf)D + 0.525psfE + 0.75L + 0.75S	
7) 0.6D + 0.6W	
8) 0.6D + 0.7E	
9) 0.6 - 0.145psf)D + 0.170psfE	
10) 0.6 - 0.145psf)D + 0.170psfE	
STRENGTH DESIGN (LRFD):	
1) 1.4D	
2) 1.2D + 1.6L + 0.5(Lr OR S OR R)	
3) 1.2D + 1.6(Lr OR S OR R) + (L OR 0.5W)	
4) 1.2D + 1.0W + L + 0.5(Lr OR S OR R)	
5) 1.2D + 1.0E + L + 0.25 + (1.2 + 0.25psf)D + psfE + L + 0.25 + (1.2 + 0.25psf)D + psfE + L + 0.25	
6) 1.0D + 1.0W	
7) 0.9D + 1.0E + (0.9 - 0.25psf)D + psfE	
8) 0.9 - 0.25psf)D + psfE	

ADDITIONAL SERVICEABILITY:	
1) D + 0.5L (CREEP)	
2) D + 0.5L + W (WIND)	

GENERAL:

- ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING: PLANS AND SPECIFICATIONS, BUILDING CODE INDICATED ABOVE & OSHA REGULATIONS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (ARCHITECTURAL, CIVIL, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THIS PROJECT.
- THE CONTRACTOR SHALL REFER TO OTHER DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIED MEMBERS, DIMENSIONS, ELEVATIONS, DETAILS, OPENINGS, INSERTS, SLEEVES, DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS REQUIRED TO CONSTRUCT THIS PROJECT.
- DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.
- DIMENSIONS AND ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS SUPERSEDE DIMENSIONS AND ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS.
- DO NOT SCALE PLANS.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE STRUCTURAL DESIGNER OF RECORD.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND CONSTRUCTION SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING AND WORKMEN DURING CONSTRUCTION (MEANS & METHODS OF CONSTRUCTION). THIS INCLUDES, BUT IS NOT LIMITED TO: SHORING, UNDERPINNINGS, TEMPORARY BRACING, ETC.
- CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, OUTSIDE FACE OF WALLS, TOP OF FRAMING MEMBERS, ETC.) MATERIAL SUPPLIERS AND DESIGNERS ARE RESPONSIBLE FOR ALL OTHER INFORMATION IN ORDER TO DETAIL/FABRICATE THEIR WORK. CONTACT THE ARCHITECT WITH ANY DISCREPANCIES.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PLANS CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE ARCHITECT'S ATTENTION IN WRITING IMMEDIATELY OR SHALL BID THE MOST EXPENSIVE INSTALLATION SPECIFIED.

EXISTING CONSTRUCTION/CONDITIONS:

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS CORRESPONDING TO THE LOCATION OF EXISTING ELEMENTS (COLUMNS, BEAMS, WALLS, ETC.) NEEDED TO CONSTRUCT THIS PROJECT.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS WITH CONSTRUCTION DOCUMENTS.
- REMOVE AND REPLACE AND/OR MODIFY ALL EXISTING CONSTRUCTION (ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL) AS REQUIRED IN ORDER TO PLACE NEW STRUCTURAL WORK SHOWN ON THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL DESIGN AND PROVIDE ALL SHORING REQUIRED TO SUPPORT EXISTING CONSTRUCTION AND NEW CONSTRUCTION AS REQUIRED TO BUILD THIS PROJECT.

FOUNDATION & EARTHWORK:

- ALL EXTERIOR FOOTINGS MUST BEAR AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.
- DO NOT PLACE ANY FOOTINGS ON FROZEN SUBGRADE.
- BACK FILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.
- DO NOT PLACE BACK FILL AGAINST BASEMENT WALLS UNTIL THE TOP AND BOTTOM OF THE WALL ARE ADEQUATELY BRACED BY THE SLAB ON GRADE AND THE FLOOR FRAMING AT THE TOP OF THE WALL.
- REMOVE ANY EXISTING CONCRETE 2'-0" BELOW NEW CONCRETE FOOTINGS AND SLABS ON GRADE.
- SHORINGS/OR UNDERPINNINGS SHALL BE DESIGNED TO LIMIT HORIZONTAL AND VERTICAL MOVEMENT OF EXISTING CONSTRUCTION TO 1/4" MAXIMUM IN ANY DIRECTION.
- CENTER PIER AND COLUMN FOOTINGS ON COLUMN CENTERLINES AND WALL FOOTINGS ON WALL CENTERLINES UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL BACK FILL WITHIN 3'-0" OF RETAINING WALLS AND BASEMENT WALLS SHALL BE FREE DRAINING GRANULAR MATERIAL APPROVED BY A SOILS ENGINEER AND COMPACTED TO 90% STANDARD PROCTOR.
- TOP OF FOOTING ELEVATIONS SHOWN ON THESE CONSTRUCTION DOCUMENTS REPRESENT MINIMUM FOOTING DEPTHS FOR FROST PROTECTION AND BEST JUDGMENT OF A SUITABLE BEARING STRATUM. ACTUAL GRADE CONDITIONS AND SUITABLE BEARING STRATUM MUST BE VERIFIED BY THE CONTRACTOR AND A SOILS ENGINEER AT THE TIME OF EXCAVATION.
- FOOTING EXCAVATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL. CONTRACTOR SHALL HIRE A SOILS ENGINEER TO FIELD VERIFY NET ALLOWABLE SOIL BEARING CAPACITY STATED ON THESE CONSTRUCTION DOCUMENTS AND IN GEOTECHNICAL REPORT FOR THIS PROJECT. IF SUITABLE BEARING STRATUM DOES NOT EXIST AT FOOTING ELEVATIONS STATED ON CONSTRUCTION DOCUMENTS, EXCAVATIONS SHALL BE EXTENDED UNTIL SOIL WITH STATED BEARING CAPACITY IS REACHED. PLACE COMPACTED FILL BELOW FOOTINGS OR EXTEND FOOTINGS DOWN TO SUITABLE BEARING STRATUM. ENGINEERED FILL BELOW SLABS ON GRADE AND FOOTINGS SHALL BE FREE DRAINING GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND PLACED PER THE SOIL ENGINEER'S RECOMMENDATIONS.
- REFER TO SOILS REPORT (IF APPLICABLE) FOR DESCRIPTION OF EXISTING SOIL CONDITIONS AND RECOMMENDATIONS.
- WHERE NEW FOOTINGS ABUT EXISTING FOOTINGS, STEP THE NEW FOOTINGS AS REQUIRED TO HAVE NEW BOTTOM/FIG ELEVATION MATCH EXISTING BOTTOM/FIG ELEVATION. CONTRACTOR SHALL FIELD VERIFY EXISTING BOTTOM/FIG ELEVATION.

MATERIAL SYMBOLS IN SECTION

	CONCRETE.
	UNDISTURBED NATIVE SOIL.
	NATIVE BACKFILL SOIL.
	DRAINED GRANULAR BACKFILL.
	WOOD STRUCTURAL MEMBER.
	WOOD BLOCKING MEMBER.
	NON-STRUCTURAL MASONRY VENEER.

FRAMING PLAN SYMBOLS

	TOILET LOCATION ABOVE.
	AREA OF MECHANICAL UNIT LOCATION.
	AREA OF INCREASED LIVE LOAD.
	LOCATION OF SHOWER ABOVE.
	POINT LOAD (ABOVE) LOCATION.
	BEARING WALL LOCATION.
	BEARING WALL (ABOVE) LOCATION.

ABBREVIATIONS:

A.B. ANCHOR BOLT	EA. EACH	L. STEEL ANGLE	SIM. SIMILAR
4 AND	E.J. EXPANSION JOINT	lbs. POUNDS	SPEC. SPECIFICATION
@ AT	ELEC. ELECTRICAL	LL. LIVE LOAD	S.O.G. SLAB ON GRADE
ADJ. ADJACENT	ELEV. ELEVATION	LL.H. LONG-LEG HORIZONTAL	SG. SQUARE
ADTL. ADDITIONAL	ENG. ENGINEER	LL.V. LONG-LEG VERTICAL	S.S. STAINLESS STEEL
A.F.F. ABOVE FINISHED FLOOR	EQ. EQUAL	L.V.L. LAMINATED VENEER LUMBER	STD. STANDARD
ALT. ALTERNATE	EQUIP. EQUIPMENT	LMT. LIGHT WEIGHT	STL. STEEL
ALUM. ALUMINUM	E.N. EACH WAY	MAT. MATERIAL	T.C. TOP CHORD
APPROX. APPROXIMATE	EXISTG. EXISTING	MAX. MAXIMUM	TEMP. TEMPERATURE
ARCH. ARCHITECT/ARCHITECTURAL	EXP. EXPANSION	MCH. MECHANICAL	T.O. TOP OF
B.C. BOTTOM CHORD	EXT. EXTERIOR	MIN. MINIMUM	TYP. TYPICAL
BLDG. BUILDING	FOUND. FOUNDATION	MISC. MISCELLANEOUS	U.O.N. UNLESS OTHERWISE NOTED
BM. BEAM	FLR. FLOOR	M.O. MASONRY OPENING	
BRG. BEARINGS	F.V. FIELD VERIFY	N.A. NOT APPLICABLE	
B.O. BOTTOM OF	G.A. GAUGE	N.T.S. NOT TO SCALE	T.C. TOP CHORD
CANT. CANTILEVERED	GALV. GALVANIZED	NMMT. NORMAL HEIGHT	TEMP. TEMPERATURE
C.I.P. CAST-IN-PLACE	G.C. GENERAL	CONTRACTO. CONTRACTOR	T.O. TOP OF
C.J. CONTROL JOINT	O.C. ON CENTER	O.D. OUTSIDE DIAMETER	TYP. TYPICAL
C.L. CENTER LINE	GEN. GENERAL	O.H. OVERHEAD	
CLG. CEILING	GRD. GRADE	pcf POUNDS PER CUBIC FOOT	
C.M.U. CONCRETE MASONRY UNIT	HORIZ. HORIZONTAL	pci POUNDS PER CUBIC INCH	
COL. COLUMN	H.S.S. HOLLOW STRUCTURAL SECTION	plf POUNDS PER LINEAL FOOT	
CONC. CONCRETE	HGT. HEIGHT	psf POUNDS PER SQUARE INCH	
CONN. CONNECTION	HVAC. HEATING, VENTILATION, & AIR CONDITIONING	R. RADIUS	
CONT. CONTINUOUS	ID. INSIDE DIAMETER	REIN. REINFORCED/REINFORCEMENT	
DIA. (#) DIAMETER	INT. INTERIOR	REV. REVISION	
DEMO. DEMOLITION	JST. JOIST	R.T.U. ROOF TOP UNIT	
DIM. DIMENSION	K. KIPS	ksi KIPS PER SQUARE INCH	
DN. DOWN	ksf KIPS PER SQUARE FOOT		
DL. DEAD LOAD			
DWG. DRAWING			
DWL. DOWEL			

	DETAIL REFERENCE
	SECTION REFERENCE
	ELEVATION REFERENCE
	DATUM ELEVATION
	COLUMN GRID REFERENCE
	REVISION REFERENCE
	SPOT DATUM REFERENCE
	BEAM DATUM ELEVATION
	COLUMN REFERENCE
	FOOTINGS REFERENCE
	MOMENT CONNECTION

SCOPE OF DRAWING:
THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

SHEET INDEX:
5.001 -
5.100 -
5.200 -
5.300 -
5.400 -

GAS STATION REMODEL - PRELIM

17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

STRUCTURAL SPECIFICATIONS & INDEX SHEET

S.001

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462



CAST-IN-PLACE REINFORCED CONCRETE:

- CONCRETE WORK SHALL CONFORM TO ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
- CONTRACTOR SHALL SUBMIT A SET OF STEEL REBAR SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- MAXIMUM WATER/CEMENT RATIO FOR CONCRETE SHALL BE AS FOLLOWS:
 - 0.41 FOR SLABS ON GRADE
 - 0.54 FOR CONCRETE BELOW GRADE
 - 0.42 FOR EXPOSED CONCRETE
- CONCRETE EXPOSED TO EXTERIOR CONDITIONS SHALL BE AIR-ENTRAINED 4% - 6%.
- GROUT BELOW BASE PLATES AND BEARING PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT 3/4" THICK MINIMUM.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60). DEFORMED WELDED WIRE FABRIC SHALL CONFORM TO ASTM A65.
- CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.
- PROVIDE (2)-#5 BARS AROUND ALL OPENINGS AND (2)-#5 BARS DIAGONALLY AT ALL OPENING CORNERS. EXTEND BARS 2'-6" PAST OPENING.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS, AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
- PROVIDE A 1" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE.
- DO NOT PLACE CONDUITS, PIPES, DUCTS, OR FIXTURES IN STRUCTURAL CONCRETE UNLESS NOTED OTHERWISE.
- SLEEVES, CONDUITS, OR PIPING PASSING THROUGH CONCRETE SLABS AND WALLS SHALL BE PLACED SO THAT THEY ARE NOT CLOSER THAN THREE DIAMETERS ON CENTER AND SO THAT THEY DO NOT DISPLACE REINFORCING.
- PROVIDE SAW CUT CONTROL JOINTS IN CONCRETE SLABS ON METAL DECK SPACED NO MORE THAN 20'-0" APART. PLACE CONTROL JOINTS ON COLUMN CENTER LINES IN EACH DIRECTION. REFER TO CONTROL JOINT LAYOUT SHOWN ON FOUNDATION PLAN FOR REFERENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BUMPS, FLOOR CURLING, ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.
- REFER TO REINFORCEMENT DEVELOPMENT AND LAP SPICE SCHEDULE FOR LAP SPLICES IN REINFORCING STEEL.
- ALL LAPS IN REINFORCING STEEL SHALL BE CLASS "B" LAP SPLICES UNLESS OTHERWISE NOTED.
- CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULT COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- MAXIMUM SLUMP FOR ALL CONCRETE SHALL NOT EXCEED 4".
- FOR SLABS ON GRADE, PROVIDE POLYPROPYLENE FIBER REINFORCED CONCRETE WITH A FIBER DOSED AT 0.1% BY VOLUME.
- CLASS C FLY ASH OR SLAG MAY BE SUBSTITUTED FOR CEMENT ON A POUND TO POUND BASIS UP TO 10% OF THE TOTAL CEMENTITIOUS CONTENT.
- ALL CONCRETE SLABS SHALL BE WET CURED PER ACI RECOMMENDATIONS FOR NO LESS THAN SEVEN DAYS.
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
- PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE (UNLESS OTHERWISE NOTED):

FOOTINGS - ALL SIDES	3"
SLABS NOT PERMANENTLY AGAINST EARTH - BOTTOM & SIDES	1"
SLABS PERMANENTLY AGAINST EARTH - BOTTOM & SIDES	3"
SLABS - TOP	3/4"
WALLS NOT PERMANENTLY AGAINST EARTH	1"
WALLS PERMANENTLY AGAINST EARTH	3"
BEAMS & GIRDERS NOT PERMANENTLY AGAINST EARTH	1 1/2"
BEAMS & GIRDERS NOT PERMANENTLY AGAINST EARTH	1 1/2"
PIERS & COLUMNS NOT PERMANENTLY AGAINST EARTH	2"
- CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. ANY CONCRETE SURFACE REPAIRS SHALL BE PERFORMED BY THE CONTRACTOR AS REQUIRED. REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS.

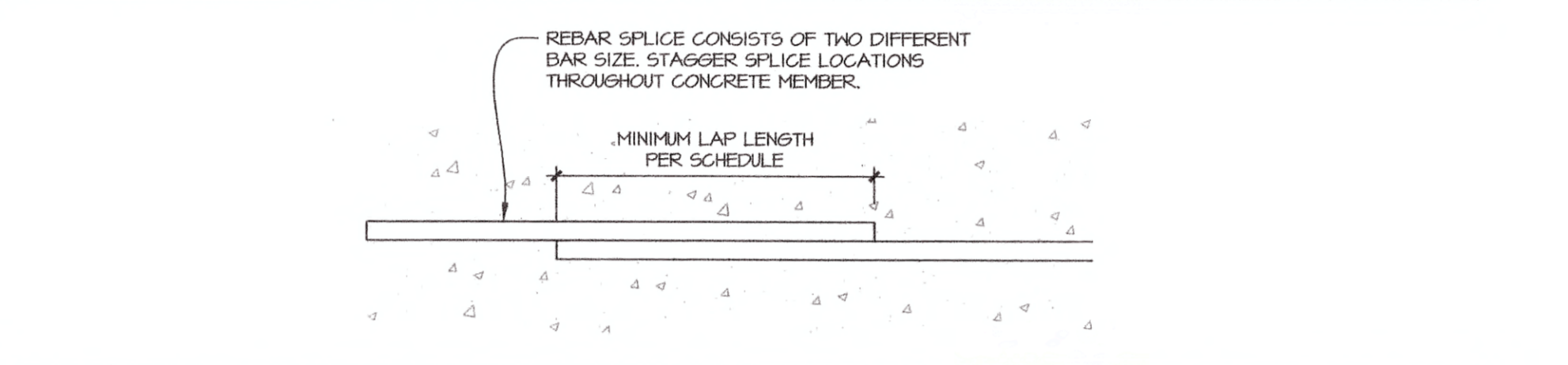
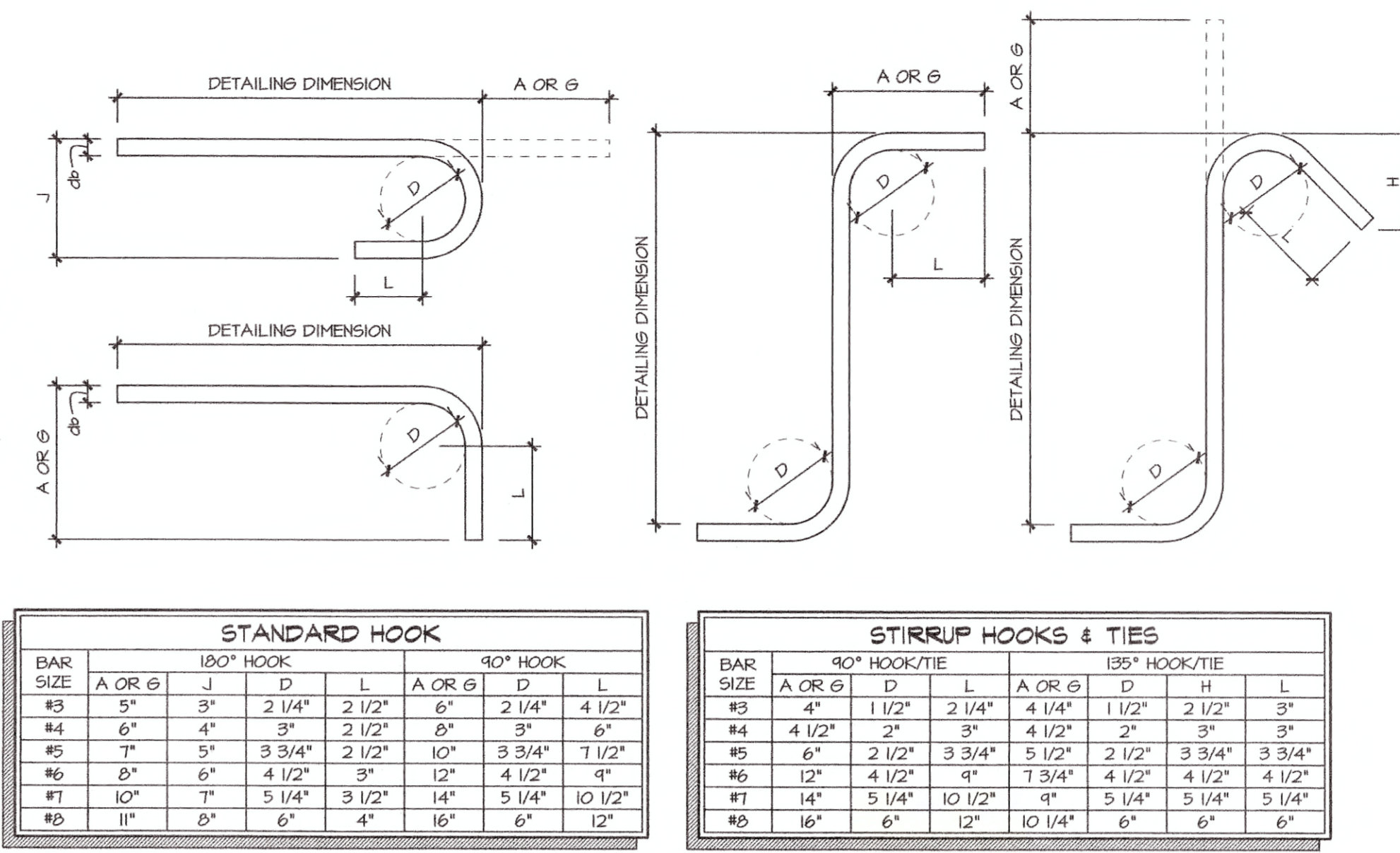
MASONRY:

- MASONRY CONSTRUCTION SHALL CONFORM TO THE TMS 402-13/ ACI 503-13/ ACSE 5-13 & TMS 602-13/ ACI 530-13/ ASCE 6-13 "THE MASONRY STANDARDS JOINT COMMITTEE - BUILDING CODE REQUIREMENTS & SPECIFICATIONS FOR MASONRY STRUCTURES".
- PROVIDE VERTICAL WALL CONTROL JOINTS IN MASONRY WALLS AS FOLLOWS:
 - 25'-0" MAXIMUM FROM CORNER OF WALLS
 - 50'-0" O.C. MAXIMUM
 - AT CHANGES IN WALL HEIGHT AND THICKNESS
 - AT WALLS ABUTTING COLUMNS
- REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF ALL VERTICAL CONTROL JOINTS IN INTERIOR & EXTERIOR WALLS.
- ALL MASONRY (BOND BEAMS, PILASTERS, LINTELS) SHALL BE GROUTED SOLID WITH CONCRETE HAVING $f'c \geq 2,000$ PSI UNLESS NOTED OTHERWISE. COARSE AGGREGATE SHALL BE PEA GRAVEL.
- LAP VERTICAL WALL REINFORCEMENT A MINIMUM OF 36" UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL GROUT MASONRY SOLID AT ALL ANCHOR BOLT LOCATIONS.
- ALL MASONRY WALLS SHALL BE CONSTRUCTED IN A RUNNING BOND PATTERN UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DOCUMENTS.
- ALLOWABLE SITE TOLERANCES:

DIMENSION OF ELEMENTS:	
- IN CROSS SECTION OR ELEVATION	1/4" TO 1/2"
- MORTAR JOINT THICKNESS BETWEEN COURSES	1/8"
- GROUT SPACE OR CAVITY WIDTH (EXCEPT FOR WALLS PASSING FRAMED CONSTRUCTION)	1/4" TO 3/8"
ELEMENTS:	
- VARIATION FROM LEVEL IN BED JOINTS	1/4" IN 10 FT. 1/2" MAX. OVERALL
- VARIATION FROM LEVEL OF TOP SURFACE OF WALLS	1/4" IN 10 FT. 1/2" MAX. OVERALL
- VARIATION FROM PLUMB	1/4" IN 10 FT. 3/8" IN 20 FT. 1/2" MAX. OVERALL
- TRUE TO A LINE	1/4" IN 10 FT. 3/8" IN 20 FT. 1/2" MAX. OVERALL
- ALIGNMENT OF COLUMNS & WALLS (TOP vs BOTTOM)	1/2" FOR LOAD BEARING 3/4" FOR NON-LOAD BEARING
LOCATION OF ELEMENTS:	
- INDICATED IN PLAN	1/2" IN 20 FT.
- INDICATED IN ELEVATION	1/4" IN STORY HEIGHT

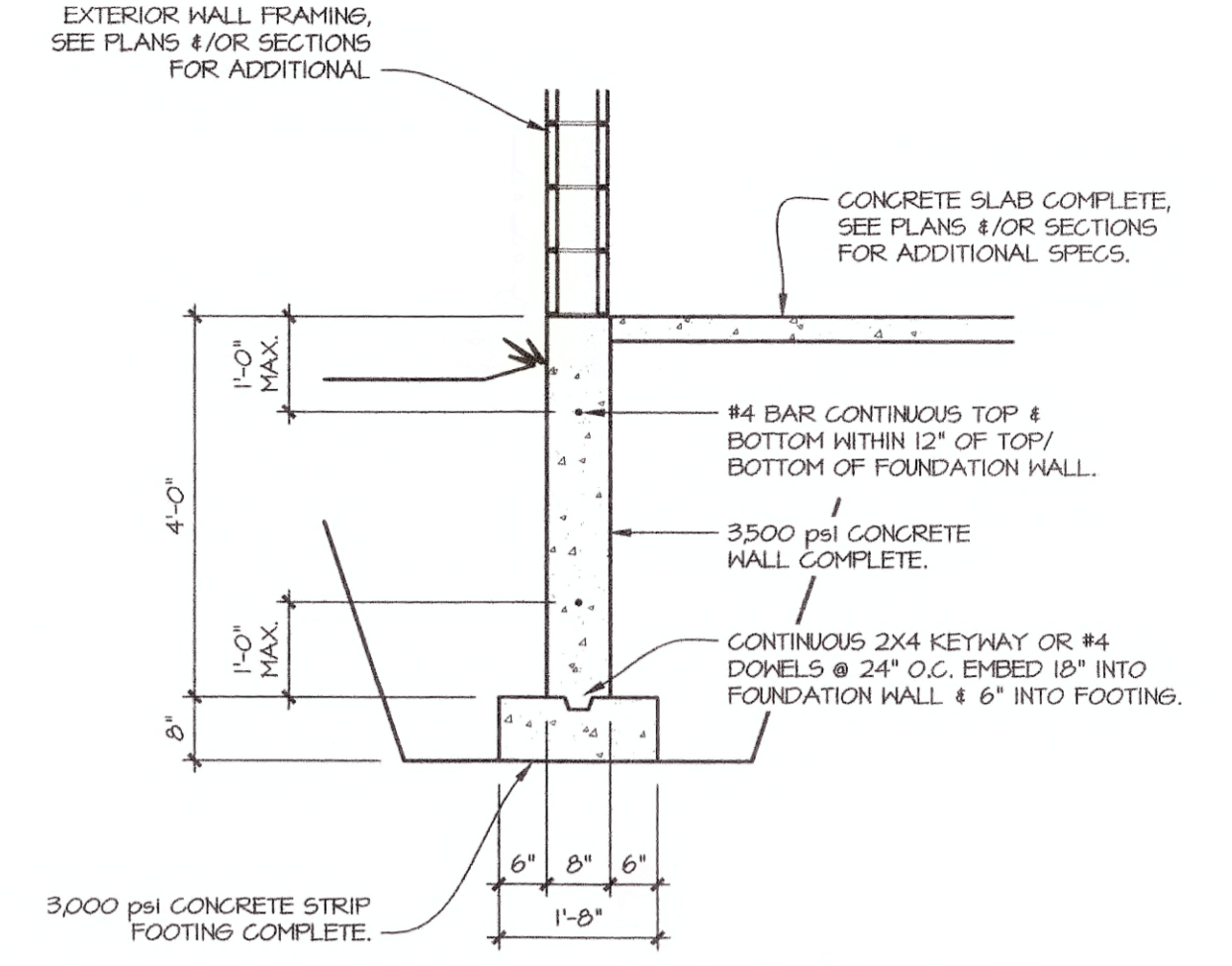
PRE-CAST CONCRETE:

- PRE-CAST DESIGN, DETAILING, MANUFACTURING AND ERECTION SHALL CONFORM TO PCI "DESIGN HANDBOOK".
- PRE-CAST CONCRETE SUPPLIER SHALL DESIGN AND PROVIDE ALL LINTELS ACROSS OPENINGS IN NEW PRE-CAST CONCRETE WALL PANELS. THIS INCLUDES ANY HOT-ROLLED STEEL REQUIRED TO SUPPORT PRE-CAST CONCRETE MEMBERS.
- PRE-CAST CONCRETE WALL PANELS SHALL BE DESIGNED TO RESIST ALL LATERAL LOADS STATED ON THE CONSTRUCTION DOCUMENTS. THIS INCLUDES ALL CONNECTIONS BETWEEN PRE-CAST ELEMENTS, CONNECTIONS TO THE FOUNDATION, AND CONNECTIONS TO THE ROOF & FLOORS.
- MANUFACTURE SHALL DESIGN PRE-CAST CONCRETE TEES, PLANK, COLUMNS, AND WALL PANELS TO RESIST VERTICAL AND LATERAL LOADS SPECIFIED ON THE CONSTRUCTION DOCUMENTS. MANUFACTURE SHALL DESIGN ALL CONNECTIONS BETWEEN PRE-CAST ELEMENTS AND CONNECTIONS TO THE FOUNDATION TO RESIST ALL LOADS SPECIFIED.
- MANUFACTURE SHALL GROUT PRE-CAST PLANK SOLID AND ADD STEEL REINFORCEMENT TO PRE-CAST PLANK AS REQUIRED TO SUPPORT ALL LOADS STATED ON THESE CONSTRUCTION DOCUMENTS.
- PRE-CAST CONCRETE MEMBERS SHALL BE DESIGNED TO SUPPORT ALL VERTICAL LOADS SPECIFIED ON THESE CONSTRUCTION DOCUMENTS. THIS INCLUDES ANY SUPERIMPOSED LOADS FROM PERMANENT EQUIPMENT (FOLDING PARTITIONS, MECHANICAL UNITS, SURGICAL LIGHTS, ETC.).
- DESIGN PRE-CAST CONCRETE PLANK TO SUPPORT ALL STAIR STRINGER REACTIONS. COORDINATE STEEL STAIR CONNECTIONS TO PRE-CAST CONCRETE PLANK WITH STEEL SUPPLIER ON THIS PROJECT.
- FINISH CONCRETE TOPPING ON TOP OF PRE-CAST CONCRETE PLANK TO A LEVEL SURFACE.
- PLACE CONCRETE TOPPING ON TOP OF PRE-CAST CONCRETE PLANK BEFORE CONSTRUCTION OF ANY PARTITION WALLS.

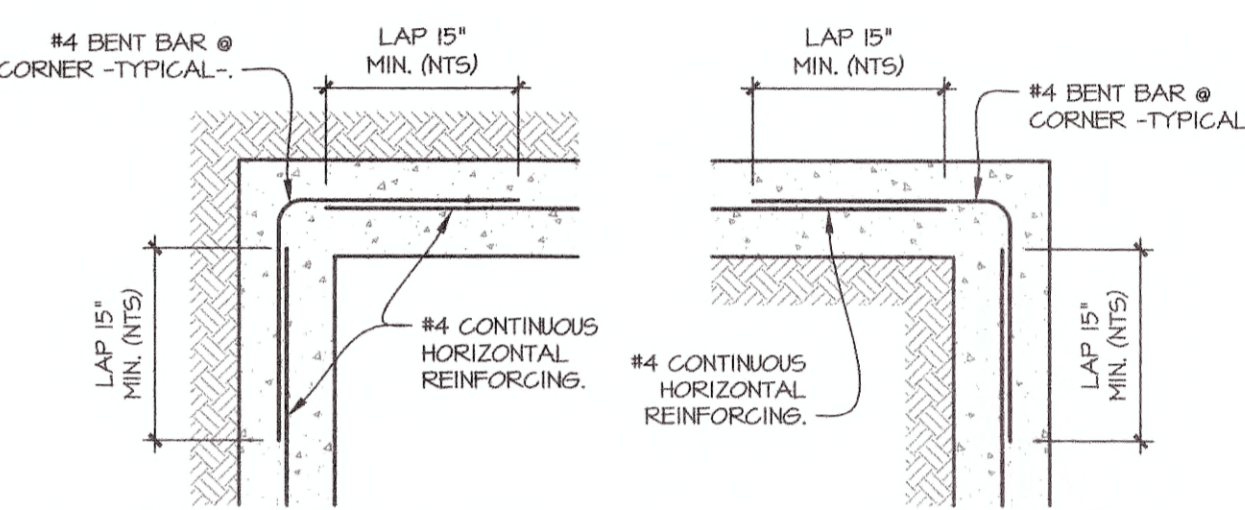


BAR SIZE	MINIMUM CLASS "B" LAP LENGTH FOR 3,000 psi CONCRETE.	MINIMUM CLASS "B" LAP LENGTH FOR 4,000 psi CONCRETE.	MINIMUM CLASS "B" LAP LENGTH FOR 5,000 psi CONCRETE.	MINIMUM CLASS "B" LAP LENGTH FOR 6,000 psi CONCRETE.
#3	22 INCHES	18 INCHES	11 INCHES	15 INCHES
#4	28 INCHES	25 INCHES	22 INCHES	20 INCHES
#5	36 INCHES	31 INCHES	28 INCHES	25 INCHES
#6	43 INCHES	37 INCHES	33 INCHES	30 INCHES
#7	63 INCHES	54 INCHES	44 INCHES	44 INCHES
#8	71 INCHES	62 INCHES	55 INCHES	51 INCHES

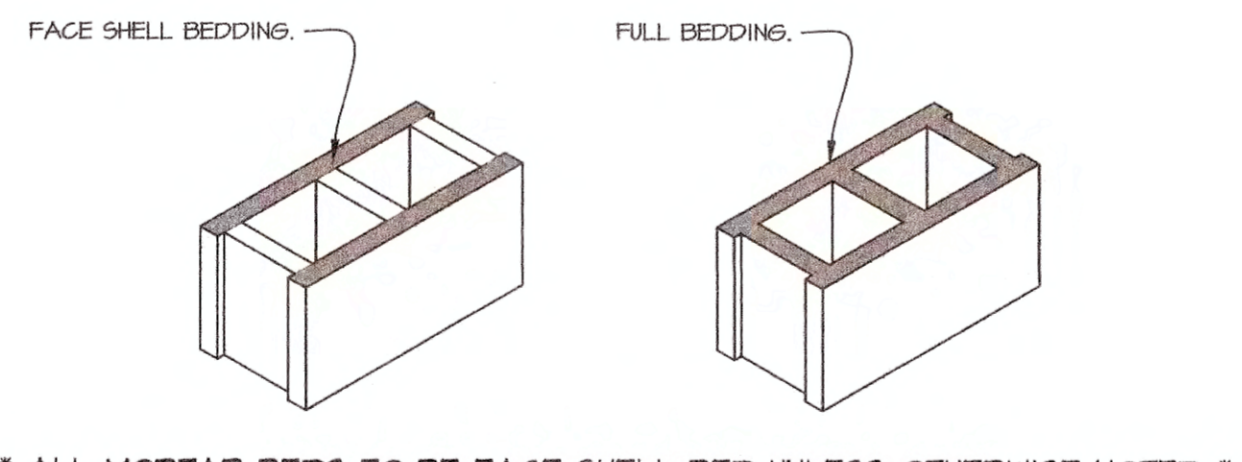
NOTE: THIS SCHEDULE IS APPLICABLE FOR NORMAL WEIGHT CONCRETE, NON-ZINC OR NON-EPOXY COATED, & NON-BUNDLED GRADE 60 REBAR.



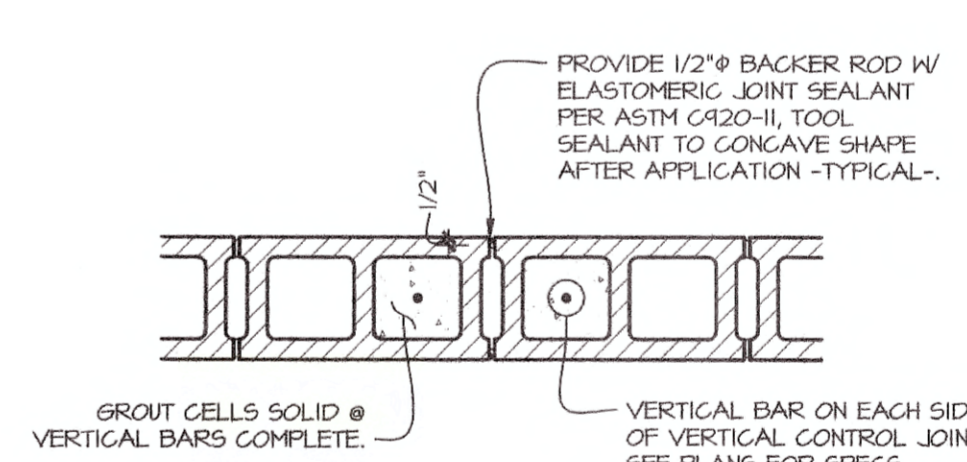
1 FROST FOUNDATION WALL SECTION
1/2" = 1'-0"



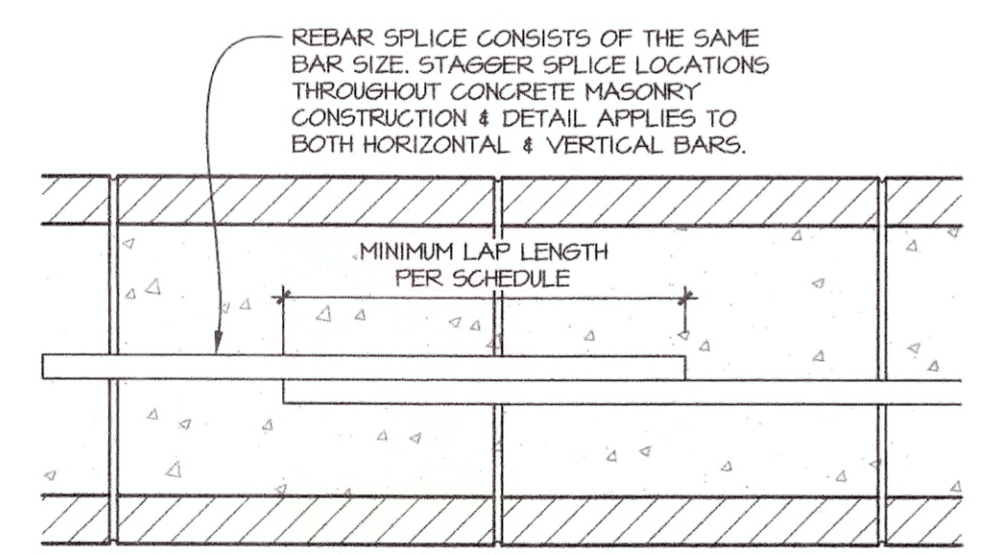
2 HORIZONTAL REINFORCING @ CORNERS
1/2" = 1'-0"



3 CMU MORTAR BED DETAIL
1" = 1'-0"

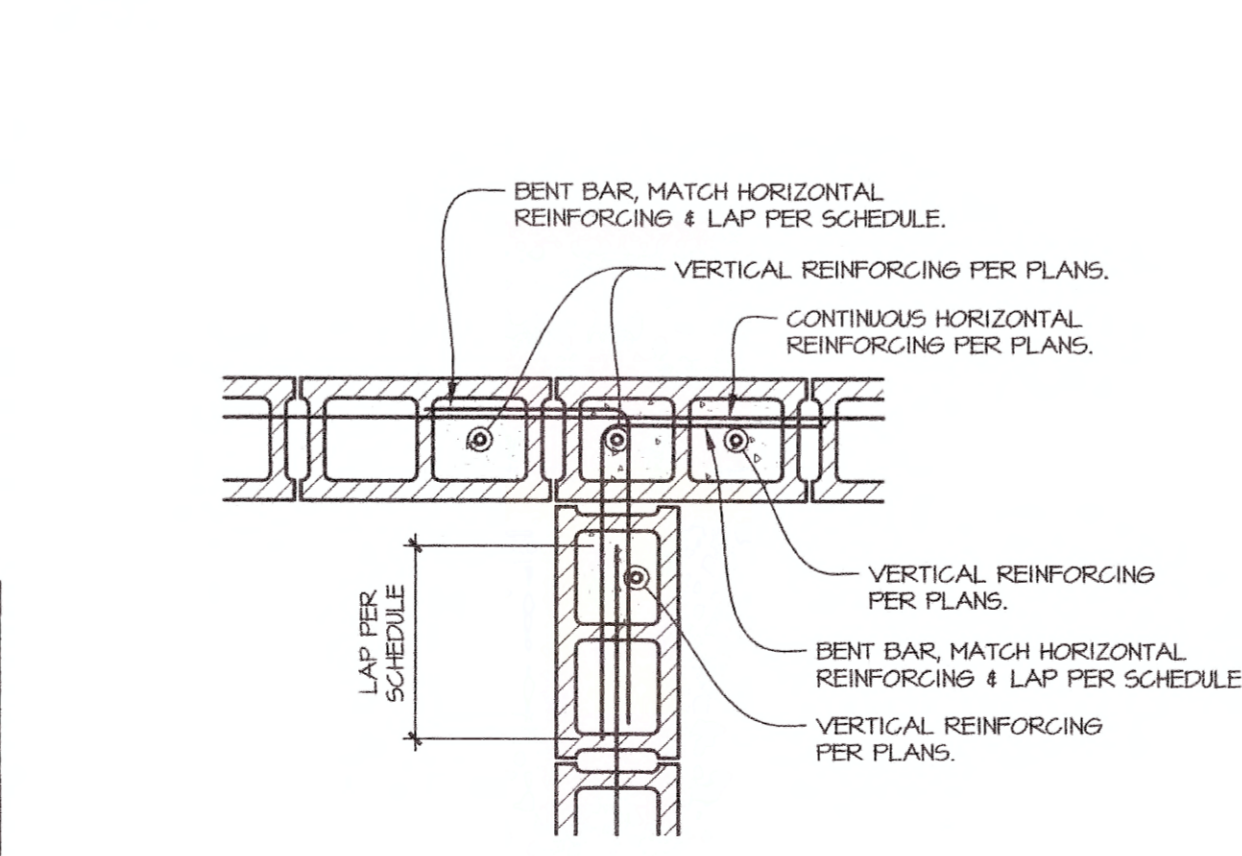


4 VERTICAL CONTROL JOINT
1" = 1'-0"

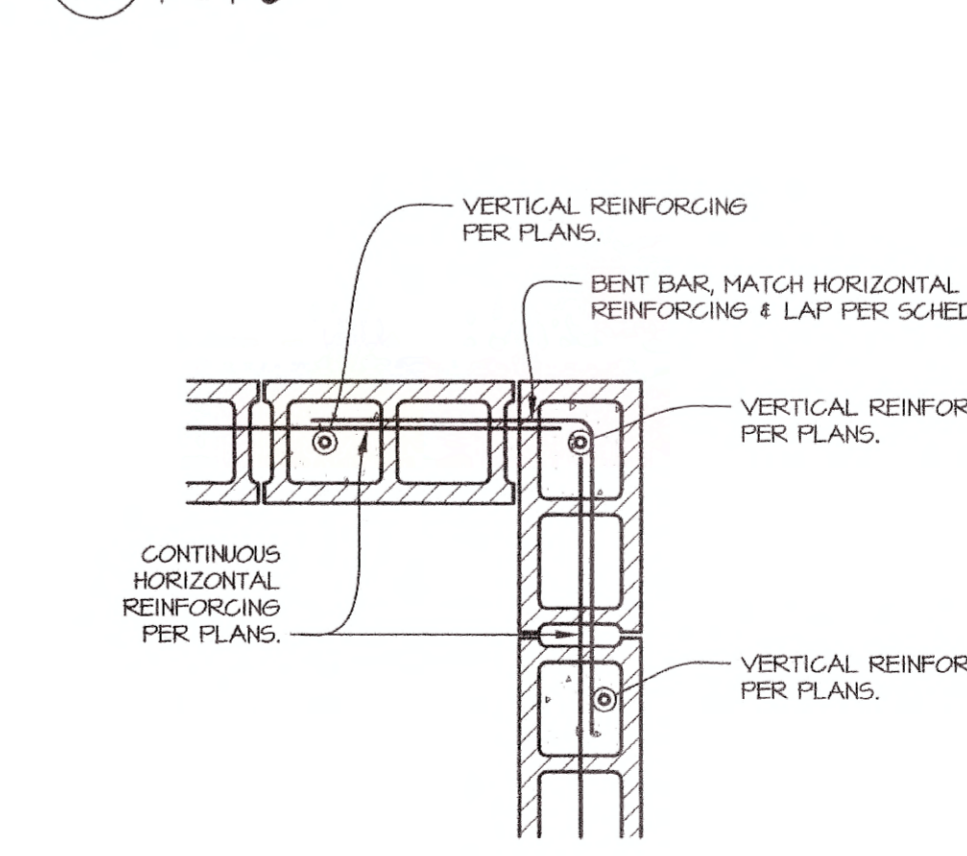


BAR SIZE	MAXIMUM TRANSVERSE DISTANCE BETWEEN LAPTED BARS.	MINIMUM LAP SPLICE LENGTH.
#3	17 INCHES	14 INCHES
#4	22 INCHES	18 INCHES
#5	28 INCHES	24 INCHES
#6	33 INCHES	24 INCHES
#7	48 INCHES	42 INCHES
#8	55 INCHES	48 INCHES

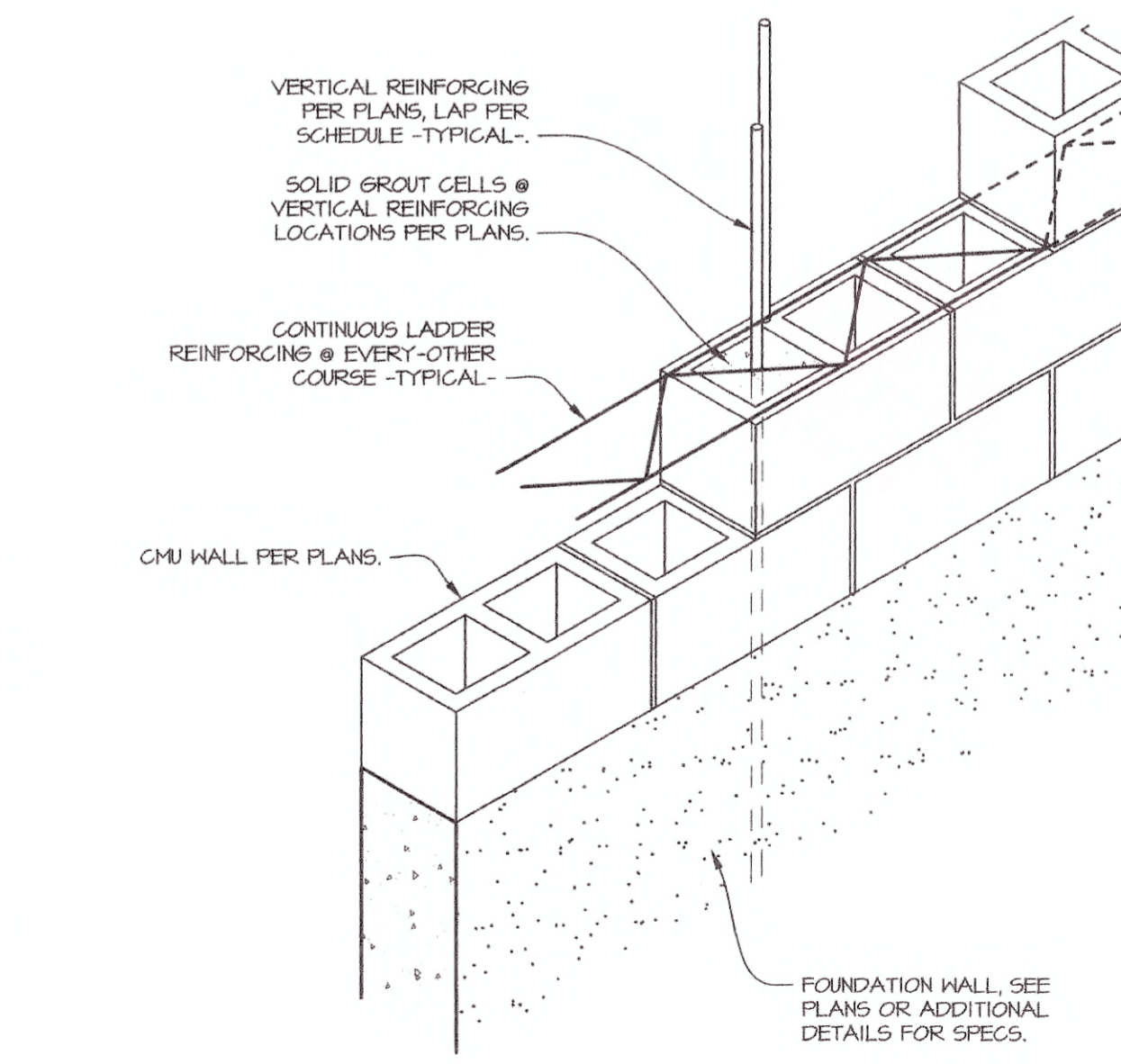
NOTE: THIS SCHEDULE IS APPLICABLE FOR NON-EPOXY COATED GRADE 60 REBAR.



5 HORIZONTAL REINFORCING @ INTERSECTION
1" = 1'-0"



6 HORIZONTAL REINFORCING @ CORNER
1" = 1'-0"



7 WALL ISOMETRIC VIEW
1" = 1'-0"

GAS STATION REMODEL - PRELIM

17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

CONCRETE & MASONRY SPECIFICATIONS & DETAILS

S.002

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462



STRUCTURAL STEEL:

- DESIGN, DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC 360-10 "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS".
- SEISMIC DESIGN, DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC 341-10 "SEISMIC PROVISION FOR STRUCTURAL STEEL BUILDINGS".
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS HOLDING CURRENT AND CERTIFICATES IN THE TYPES OF WELDING SPECIFIED ON THESE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE STRUCTURAL DESIGNER OF RECORD.
- CONTRACTOR SHALL DESIGN AND PROVIDE ANY TEMPORARY BRACINGS OR GUYS REQUIRED TO ERECT STEEL MEMBERS. TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURE IS IN PLACE AND SECURE.
- PROVIDE 3/16" GAP PLATE AT THE ENDS OF ALL EXPOSED TUBE AND PIPE MEMBERS.
- STAIRS, HANDRAILS, AND GUARDRAILS SHALL BE DESIGNED BY THE STEEL SUPPLIER OR ARCHITECT OR RECORD, VERIFY ROLES AND RESPONSIBILITY.
- ALL STEEL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER (WITHIN MILL TOLERANCE).
- THE STEEL SUPPLIER SHALL COORDINATE HIS WORK WITH THE STEEL JOIST SUPPLIER ON THE PROJECT (IF APPLICABLE, SEE CONSTRUCTION DOCUMENTS).
- CAPACITY OF BOLTED OR WELDED CONNECTIONS SHALL BE EQUAL TO OR EXCEED 120% OF BEAM REACTION PRODUCED BY MAXIMUM ALLOWABLE UNIFORM LOAD ON THE GIVEN MEMBER SPAN.
- UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS, ALL BEAM CONNECTIONS SHALL BE DOUBLE ANGLE CONNECTIONS WITH A325 BOLTS. AT BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS, PROVIDE AS MANY BOLTS AS POSSIBLE IN BEAM FLANGE. DOUBLE ANGLE WELDED CONNECTIONS MAY BE USED TO DEVELOP THE SAME CAPACITY AS A BOLTED CONNECTION.
- ALTERNATE CONNECTIONS FROM WHAT IS SPECIFIED ON THE CONSTRUCTION DOCUMENTS WILL NOT BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL DESIGNER OF RECORD.
- USE STANDARD AISC DOUBLE ANGLE CONNECTIONS WHERE POSSIBLE. ALL STANDARD DOUBLE ANGLE CONNECTIONS SHALL BE IN ACCORDANCE WITH ASD CURRENT EDITION AND SHALL BE TYPE 2 FRAMING CONNECTIONS UNLESS NOTED OTHERWISE.
- WHERE HOOD MEMBERS FRAME INTO STEEL MEMBERS, PROVIDE A SADDLE CONNECTION. SEE CONSTRUCTION DOCUMENTS AND/OR VERIFY CONNECTION WITH STRUCTURAL DESIGNER OF RECORD.
- PROVIDE STIFFENER PLATES ON BOTH SIDES OF BEAM NEES AT ALL CONCENTRATED LOADS ABOVE AND BELOW A BEAM. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMN AT BEAM TO BEAM INTERSECTIONS.

WOOD FRAMING:

- DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO AWC NDS-2015 "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION W/ 2012 SUPPLEMENT".
- DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO AWC SDPWS-2015 "SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC".
- PLYWOOD/O.S.B. SHEATHING SHALL CONFORM TO THE CURRENT EDITION OF "U.S. PRODUCT STANDARD PS-1" FOR SOFTWOOD PLYWOOD/O.S.B. AND BEAR THE APA GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.
- PLYWOOD/O.S.B. SHEATHING SHALL BE ATTACHED TO WOOD FRAMING WITH "STRENGTH AXIS PARALLEL TO FLOOR. STAGGER ALL JOINTS.
- PLYWOOD/O.S.B. SHEATHING SHALL BE FASTENED TO SUPPORTS W/ 8d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
- ANY PLYWOOD/O.S.B. SHEATHING THAT IS EXPOSED TO MOISTURE SHALL BE PRESSURE TREATED.
- PLYWOOD/O.S.B. PANEL EDGES SHALL BEAR ON THE FRAMING SUPPORT MEMBERS AND BUTT ALONG THEIR CENTER LINES. NAILS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM THE PANEL EDGE.
- WOOD SILL PLATES AND OTHER WOOD MEMBERS DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- MAXIMUM MOISTURE CONTENT IN ANY WOOD MEMBER SHALL NOT EXCEED 19%.
- 2x WOOD JOISTS SHALL HAVE 1x3 SFF NO.2 CROSS BRIDGING AT 8'-0" o/c MAXIMUM.
- DO NOT EMBED NON-PRESSURE TREATED WOOD MEMBERS IN CONCRETE.
- ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM. USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHERS BETWEEN NUT AND WOOD. VERIFY GALVANIC REACTION CONDITIONS AND REQUIREMENTS.
- ALL FASTENERS ATTACHING PRESSURE TREATED WOOD MEMBERS TO CONCRETE OR MASONRY SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- MAKE NO SUBSTITUTIONS OF ANY ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SPECIFIED ON ANY FRAMING PLANS WITH OUT THE DIRECT WRITTEN PERMISSION OF THE STRUCTURAL DESIGNER OF RECORD.

METAL PLATE CONNECTED WOOD TRUSS NOTES/CRITERIA:

- WOOD TRUSSES SHALL BE DESIGNED AND CONFORM TO TPI 1-2014 "NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION".
- ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
TOP CHORD LIVE LOAD 30 PSF
TOP CHORD DEAD LOAD 10 PSF
BOTTOM CHORD LIVE LOAD N/A (VERIFY NON-STORAGE LOAD)
BOTTOM CHORD DEAD LOAD 10 PSF
- FLOOR TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
TOP CHORD LIVE LOAD 40 PSF
TOP CHORD DEAD LOAD 15 PSF
BOTTOM CHORD LIVE LOAD N/A
BOTTOM CHORD DEAD LOAD 10 PSF
- IN ADDITION TO THE LOADS STATED ABOVE THE TRUSSES SHALL BE DESIGNED FOR ANY SNOW DRIFTING, MECHANICAL, AND/OR ANY SPECIAL LOAD CONDITIONS AS SHOWN ON STRUCTURAL OR ARCHITECTURAL PLANS.
- ROOF TRUSSES SHALL BE DESIGNED FOR A MAXIMUM LIVE LOAD DEFLECTION OF L/240.
- FLOOR TRUSSES SHALL BE DESIGNED FOR A MAXIMUM LIVE LOAD DEFLECTION OF L/480.
- FABRICATION, HANDLING, STORAGE, AND ERECTION SHALL BE IN ACCORDANCE WITH "TRUSS PLATE INSTITUTION" RECOMMENDED PRACTICES AND SHALL BE DONE IN A WORKMAN LIKE MANNER SO AS TO NOT DAMAGE THE TRUSSES. TRUSSES SHALL NOT BE CUT, ADDED ONTO OR ALTERED IN ANY WAY WITH OUT THE WRITTEN CONSENT OF THE TRUSS DESIGNER, STRUCTURAL DESIGNER, OR ARCHITECT OF RECORD.
- WOOD TRUSS DESIGNER/SUPPLIER SHALL SUBMIT FORMAL STAMPED CALCULATIONS BY A REGISTERED ENGINEER FOR REVIEW BEFORE FABRICATION.
- SUBMIT A SET OF TRUSS SHOP DRAWINGS TO THE ARCHITECT & STRUCTURAL DESIGNER OF RECORD FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- SHOP DRAWING SUBMISSIONS SHALL INCLUDE THE FOLLOWING INFORMATION:
- THE NAME, ADDRESS, PHONE NUMBER, AND FAX NUMBER OF THE SUPPLIER.
- SLOPE OR DEPTH, SPAN AND SPACING
- LOCATION OF ALL JOINTS
- ALL DESIGN LOADS
- ADJUSTMENTS TO LUMBER AND METAL CONNECTOR PLATE VALUES FOR CONDITIONS OF USE
- EACH REACTION FORCE AND DIRECTION
- METAL CONNECTOR PLATE TYPE, SIZE, GAUGE, AND THE DIMENSIONAL LOCATION OF EACH CONNECTOR PLATE
- LUMBER SIZE, SPECIES, AND GRADE FOR EACH TRUSS MEMBER
- CONNECTION REQUIREMENTS FOR TRUSS TO TRUSS GIRDERS, TRUSS PLY TO PLY, AND FIELD SPLICES
- CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DEFLECTION FOR LIVE AND TOTAL LOAD
- SPECIFY ALL TRUSS TO TRUSS CONNECTIONS AND HANGERS.
- SPECIFY AND SHOW ALL PERMANENT TRUSS BRACINGS REQUIRED BY DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR ALL ERECTION PROCEDURES AND TEMPORARY TRUSS BRACING REQUIREMENTS DURING ERECTION IN ACCORDANCE WITH TPI'S COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HD-11 BOOKLET) AND THE CURRENT EDITION OF ANS/HP-1.
- TRUSSES EXPOSED TO MOISTURE SHALL BE CONSTRUCTED OF PRESSURE TREATED WOOD AND GALVANIZED METAL PLATES.
- FLOOR TRUSS SPACING SHOWN ON FRAMING PLANS ARE MAXIMUM SPACINGS. TRUSS DESIGNER SHALL REDUCE SPACING AS REQUIRED TO SUPPORT ALL LOADS SPECIFIED ON THESE PLANS AND BY CODE.
- DESIGN ROOF TRUSSES TO RESIST ALL WIND LOADS INCLUDING UPLIFT LOADS (SEE WIND LOADING DIAGRAMS FOR INFORMATION).
- ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED, DETAILED, AND SUPPLIED BY THE TRUSS SUPPLIER/DESIGNER.
- TRUSS FABRICATOR SHALL FIELD VERIFY ALL SPAN DIMENSIONS BEFORE FABRICATING.

RECOMMENDED SIZES FOR WASHERS & ANCHOR ROD HOLES IN BASE PLATES (AISC TABLE 4-2)

ANCHOR ROD DIAMETER (IN.)	ROD DIAMETER (IN.)	WASHER SIZE (IN.)	MIN. WASHER THICKNESS (IN.)
3/4	1 5/16	2	1/4
7/8	1 9/16	2 1/2	5/16
1	1 7/8	3	3/8
1 1/4	2 1/8	3 1/2	1/2

NOTES:
1. HOLE SIZES PROVIDED ARE BASED ON ANCHOR ROD SIZES AND CORRELATE WITH A311T.
2. CIRCULAR OR SQUARE WASHERS MEETING THE WASHER SIZE ARE ACCEPTABLE.
3. ASTM F444 WASHERS ARE PERMITTED INSTEAD OF PLATE WASHERS WHEN HOLE CLEARANCES ARE LIMITED TO 5/16" FOR ROD DIAMETERS UP TO 1", 1/2" FOR ROD DIAMETERS OVER 1" UP TO 2", & 1" FOR ROD DIAMETERS OVER 2".

BOLT HOLE SPECS. FOR STEEL TO STEEL CONNECTIONS.

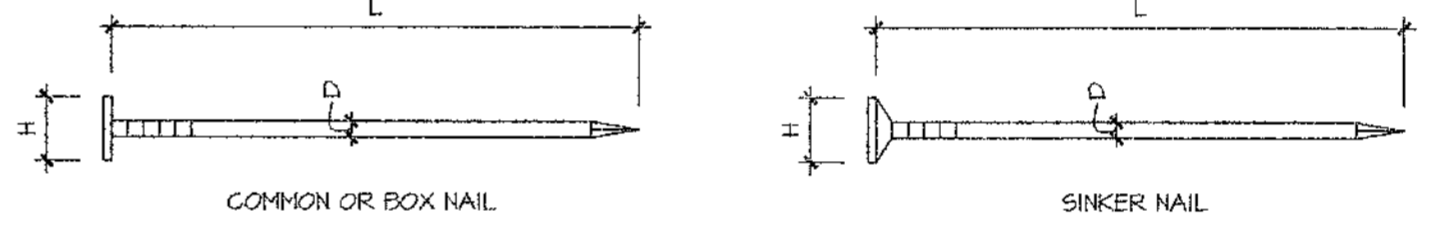
BOLT DIAMETER (IN.)	STD. HOLE SIZE (IN. Ø)	SHORT-SLOT (WIDTH x LENGTH)	LONG-SLOT (WIDTH x LENGTH)	MINIMUM EDGE DISTANCE (IN.)
1/2	9/16	9/16 x 1 1/16	9/16 x 1 1/4	3/4
5/8	1 1/16	1 1/16 x 7/8	1 1/16 x 1 9/16	7/8
3/4	1 3/16	1 3/16 x 1	1 3/16 x 1 7/8	1
7/8	1 5/16	1 5/16 x 1 1/8	1 5/16 x 2 3/16	1 1/8
1	1 7/16	1 7/16 x 1 5/16	1 7/16 x 2 1/2	1 1/4

NOTES:
- ALL HOLES ARE TO BE DRILLED, PUNCHED OR THERMALLY CUT.
- THE MINIMUM DISTANCE BETWEEN STANDARD OR SLOTTED HOLE CENTERS ARE TO BE 3D (3 TIMES THE BOLT DIAMETER).
- THE MAXIMUM DISTANCE FROM CENTER OF STANDARD OR SLOTTED HOLE TO EDGE OF CONNECTIONS IS TO BE LESS THAN EITHER 12L (12 TIMES PART THICKNESS) OR 6 INCHES.

PLYWOOD OR OSB SHEATHING "APA" SPAN RATING

SPAN RATING	SHEATHING										
	3/8"	7/16"	5/8"	1/2"	9/32"	5/8"	23/32"	3/4"	7/8"	1"	1 1/8"
24/0	●										
24/16		●									
32/16			●								
40/20				●							
48/24					●						
FRAMING SPACING		SINGLE FLOOR GRADE									
16" O.C.					●						
19.2" O.C.						●					
24" O.C.							●				
32" O.C.								●			
48" O.C.									●		

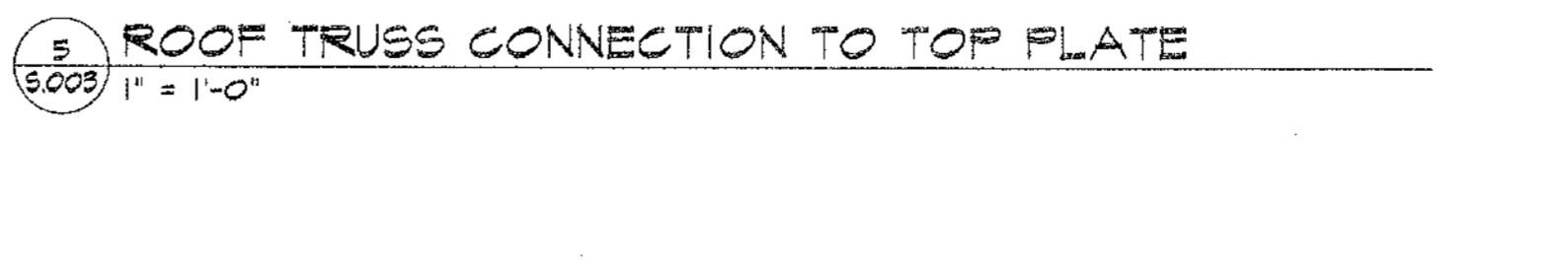
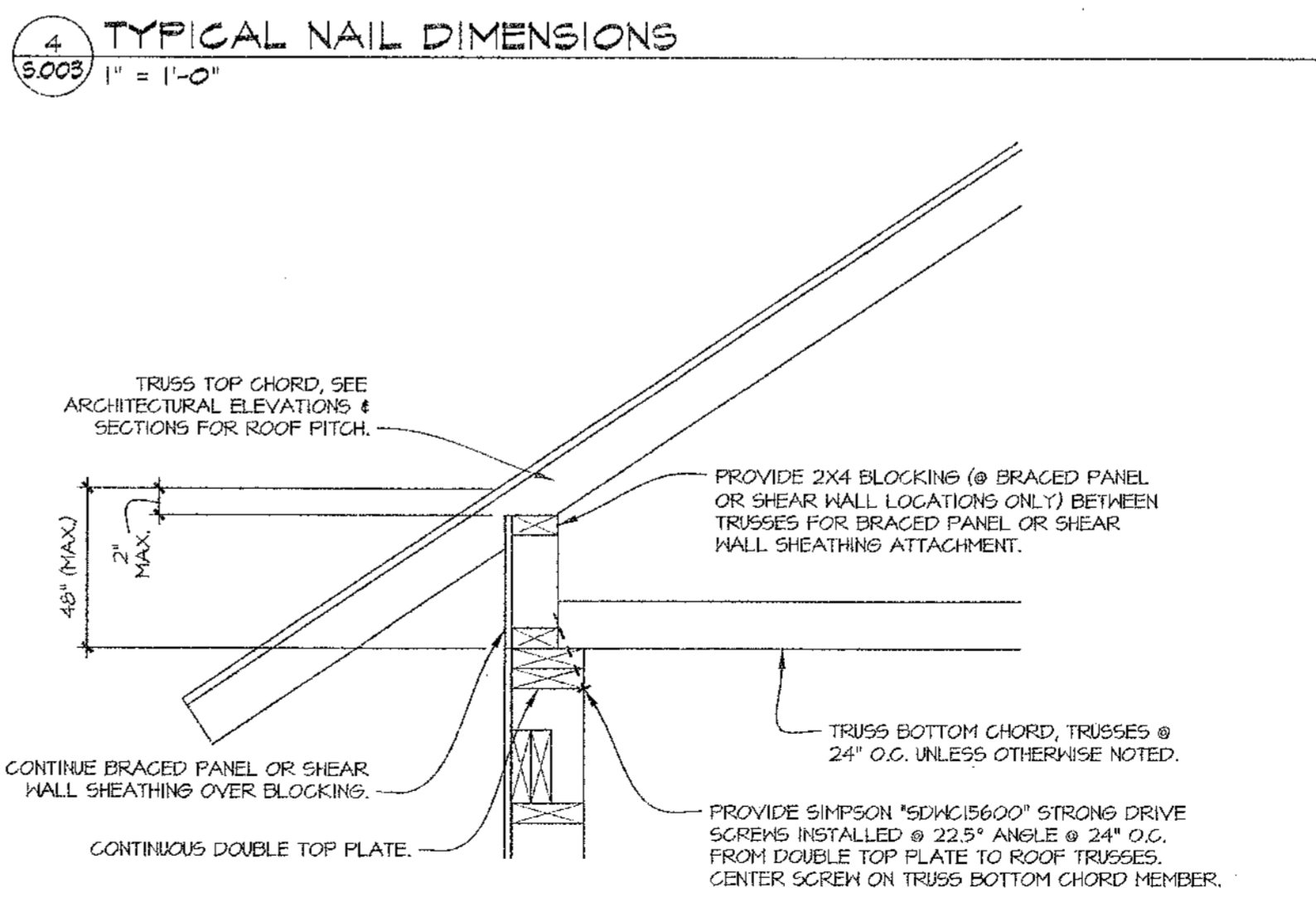
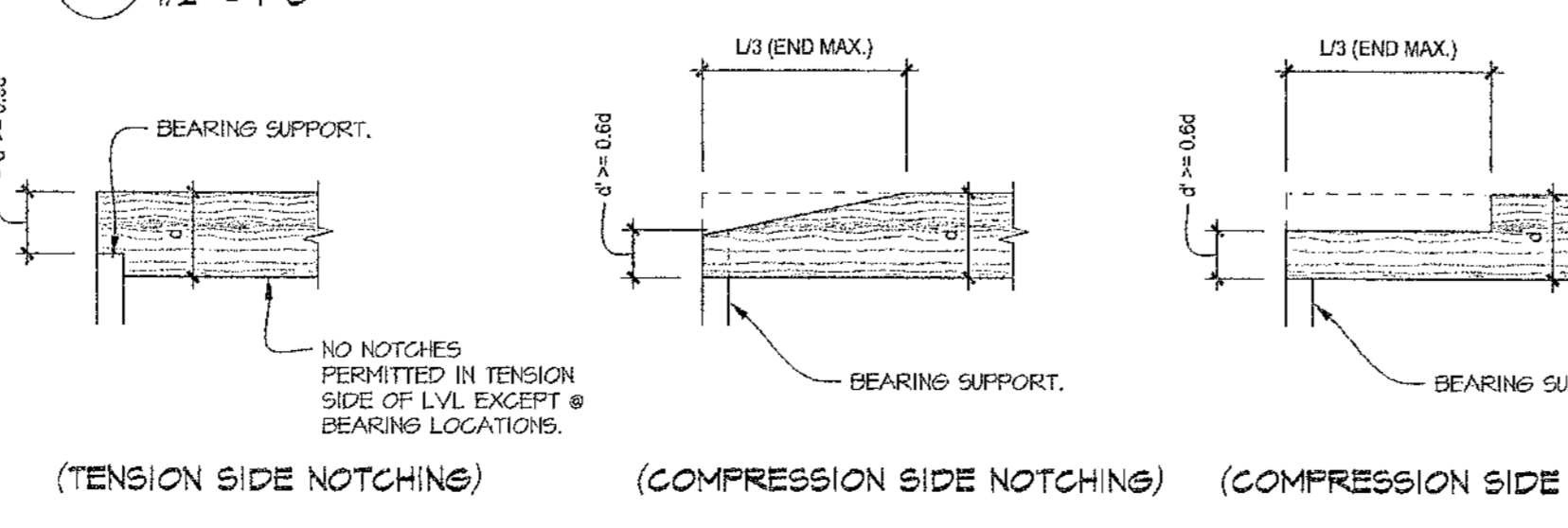
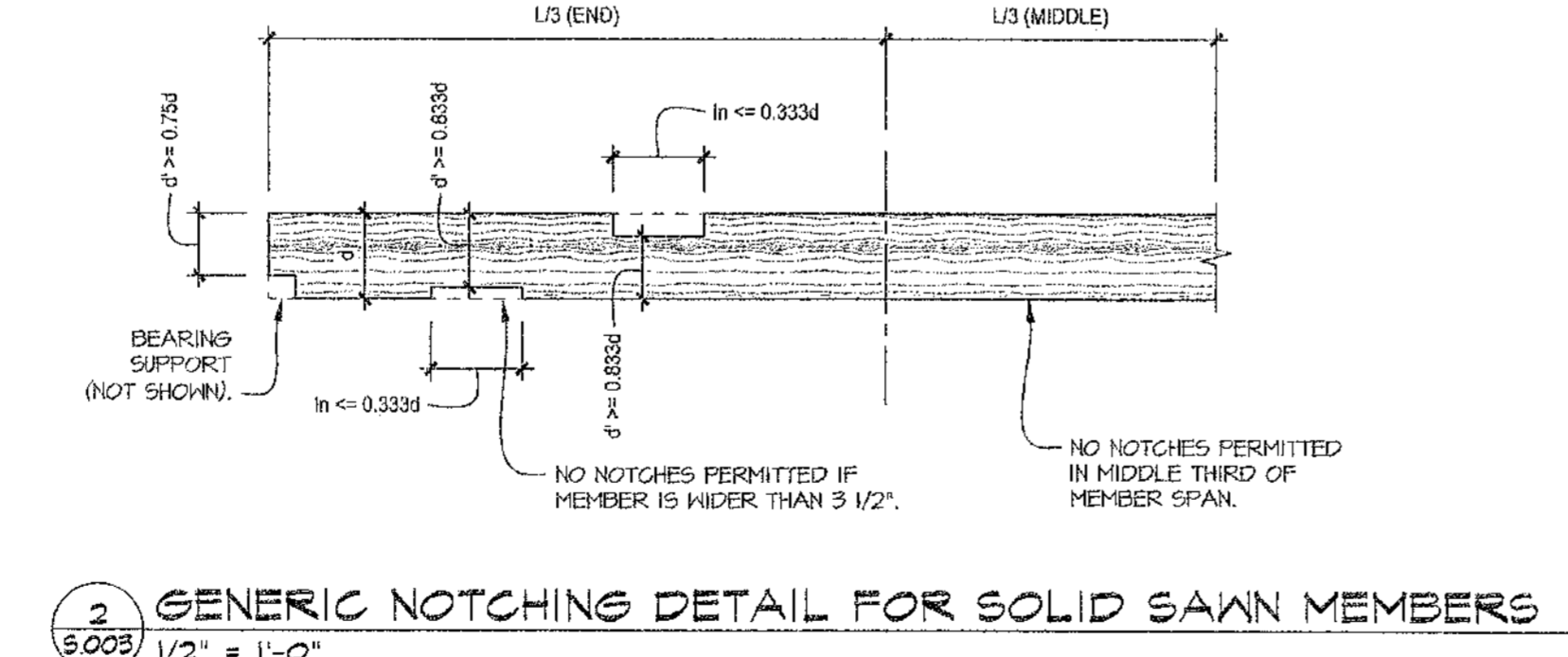
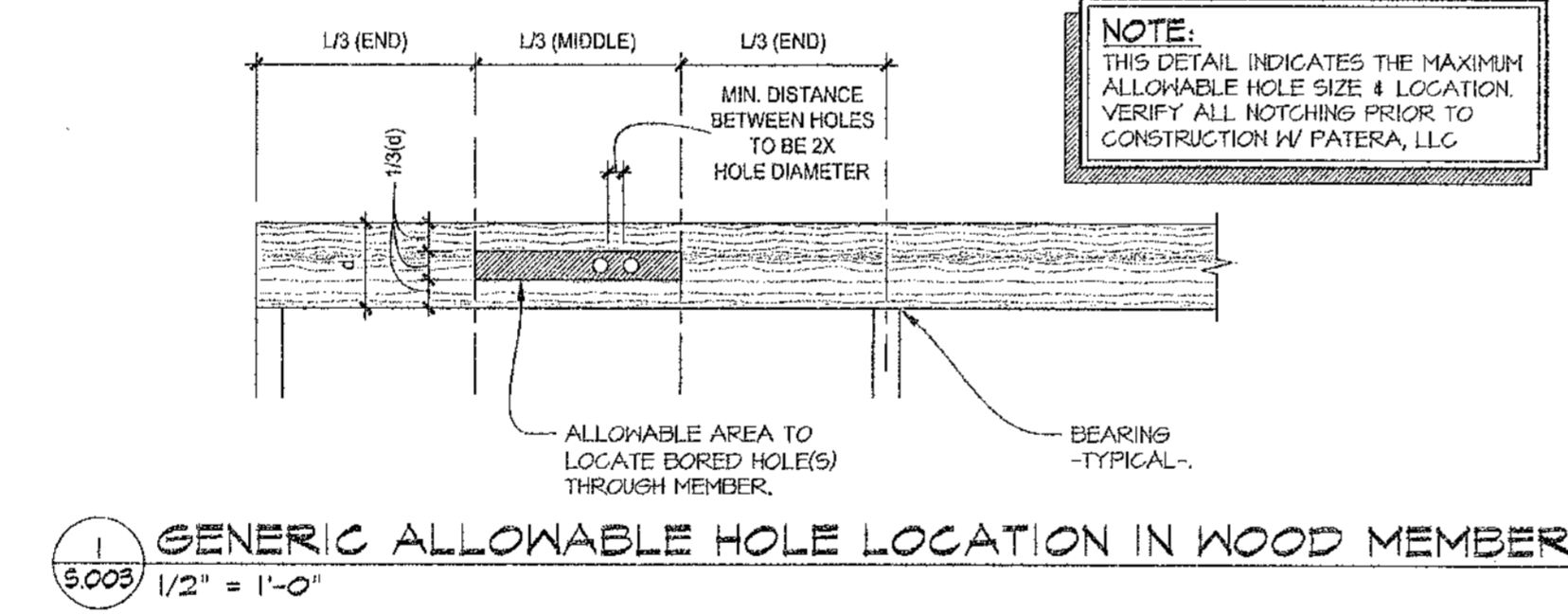
ROOF SHEATHING NOTE:
- PROVIDE 1/8" ROOF SHEATHING W/ SPAN RATING OF 24/16 OR BETTER & ATTACH TO RAFTERS W/ 8d NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN THE FIELD.



NAIL PENNYWEIGHT

TYPE	L	D	NAIL PENNYWEIGHT									
			6D	7D	8D	10D	12D	16D	20D	30D	40D	50D
COMMON	L	2"	2 1/4"	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"
	D	0.113"	0.113"	0.131"	0.148"	0.148"	0.148"	0.192"	0.225"	0.225"	0.244"	0.263"
BOX	L	2"	2 1/4"	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"
	D	0.098"	0.098"	0.131"	0.128"	0.128"	0.155"	0.148"	0.148"	0.162"	0.162"	0.162"
SINKER	L	1 7/8"	2 1/8"	2 3/8"	2 7/8"	3 1/8"	3 1/4"	3 3/4"	4 1/4"	4 3/4"	5 3/4"	6 3/4"
	D	0.092"	0.091"	0.115"	0.120"	0.135"	0.148"	0.177"	0.192"	0.207"	0.244"	0.244"

NOTES:
- TOLERANCES SPECIFIED IN ASTM F 1667. TYPICAL SHAPE OF COMMON, BOX, & SINKER NAILS SHOWN. SEE ASTM F 1667 FOR OTHER NAIL TYPES.



GAS STATION REMODEL - PRELIM

17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

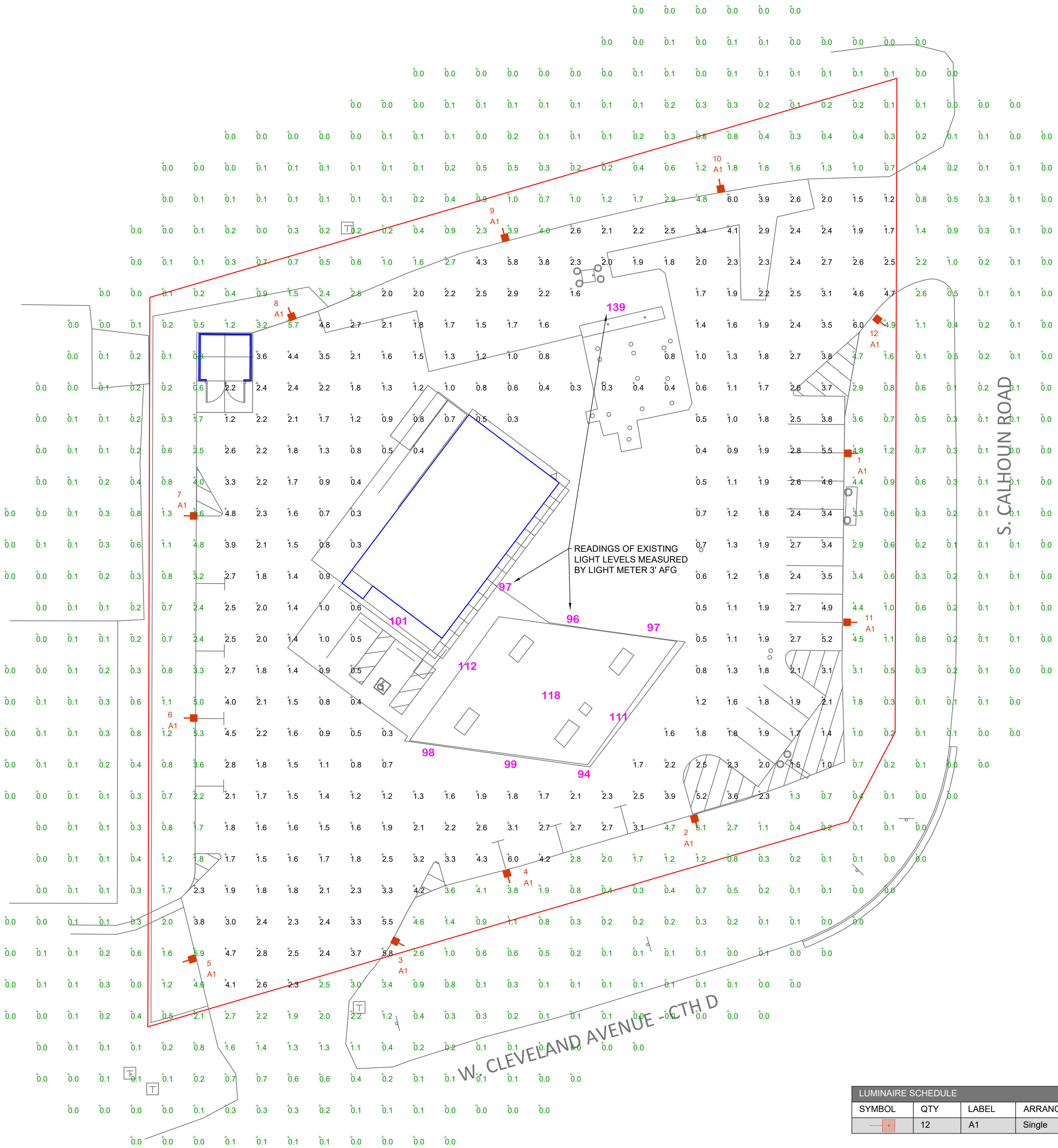
SHEET TITLE: **STEEL & WOOD SPECIFICATIONS & DETAILS**

S.003

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462





READINGS OF EXISTING LIGHT LEVELS MEASURED BY LIGHT METER 3' AFG

NOTE:
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

ANY EXISTING LIGHTING FROM CANOPY NOT INCLUDED IN PHOTOMETRIC CALCULATION EXISTING LIGHTING MEASURED BY LIGHT METER 3' ABOVE GRADE, SHOWN IN MAGENTA

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A1	17
2	A1	17
3	A1	17
4	A1	17
5	A1	17
6	A1	17
7	A1	17
8	A1	17
9	A1	17
10	A1	17
11	A1	17
12	A1	17

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	2.11	6.0	0.3	7.03	20.00
UNDEFINED	0.59	5.9	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING FACTOR	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	12	A1	Single	9972	1.040	0.840	B2-U0-G2	58	696	Lithonia Lighting	RSX1-LED-P2-50K-R4-MVOLT-FAO-XX (SETTING 6)



REV.	BY	DATE	DESCRIPTION
R1	JAN	3/26/25	REVISED PER UPDATED SITE PLAN & TO ACUITY LIGHTING. ADDED LIGHT METER READINGS

DISCLAIMER
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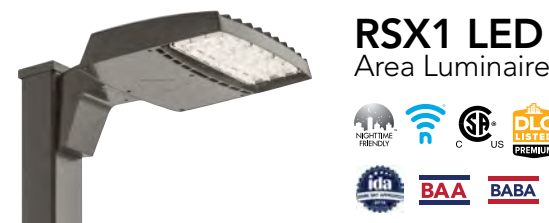
SCALE: 1" = 20'
 LAYOUT BY: JAN
 DWG SIZE: D
 DATE: 05/09/23

PROJECT NAME:
WALIA
NEW BERLIN, WI
 DRAWING NUMBER:
RL-8771-S1-R1

AREA	QTY	LABEL	DESCRIPTION
	12	A1	RSX1-LED-P2-50K-R4-MVOLT-FAO-XX (SETTING 6)



ADDITIONAL FIXTURE INFO



Specifications

EPA (E170): 0.57 ft² (0.05 m²)

Length: 21.8" (55.4 cm) (SPA mount)

Width: 13.3" (33.8 cm)

Height: 3.0" (7.6 cm) Main Body
7.2" (18.4 cm) Arm

Weight: 22.0 lbs (10.0 kg)

SPA mount:

Introduction

The new RSX1 LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX1 features an integral universal mounting mechanism that allows the luminaires to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfilter and other mounting configurations are available.

Items marked by a **design select** qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.lithonia.com/designselect. *See ordering tree for details.

Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

Option	Performance Package	Color Temperature	Description	Subtype	Mounting
RSX1 LED	P1	3000K	R3 Type 3-Start	RSX1 (C99-277V1)	SPA
	P2	4000K	R3 Type 3-Start	RSX1 (C4Y-400V1)	RFA
	P3	5000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P4	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P5	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P6	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P7	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P8	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P9	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P10	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P11	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA
	P12	3000K	R3 Type 3-Start	RSX1 (C5Y-400V1)	WGA

Option	Finish
SP001	Dark Bronze
SP002	Black
SP003	Natural Aluminum
SP004	White
SP005	Brushed Dark Bronze
SP006	Brushed Black
SP007	Brushed Silver Aluminum
SP008	Brushed White

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Ordering Information

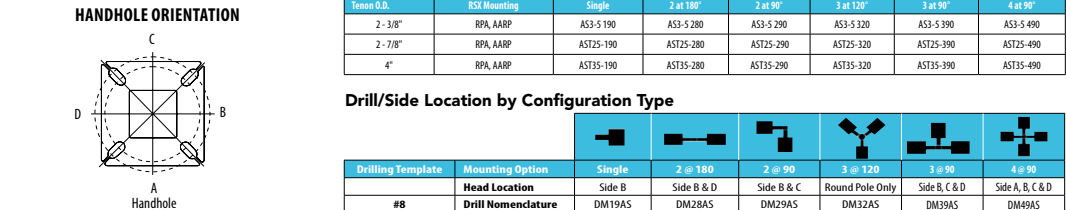
Accessories	Notes
CS1000	CS1000 is not available with RFA.
CS1001	CS1001 is not available with RFA.
CS1002	CS1002 is not available with RFA.
CS1003	CS1003 is not available with RFA.
CS1004	CS1004 is not available with RFA.
CS1005	CS1005 is not available with RFA.
CS1006	CS1006 is not available with RFA.
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CS1094	CS1094 is not available with RFA.
CS1095	CS1095 is not available with RFA.
CS1096	CS1096 is not available with RFA.
CS1097	CS1097 is not available with RFA.
CS1098	CS1098 is not available with RFA.
CS1099	CS1099 is not available with RFA.
CS1100	CS1100 is not available with RFA.

External Shields



Pole/Mounting Information

Accessories including bolloms, cross arms and other adaptors are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).



RSX1 - Luminaire EPA

Other tenons, arms, brackets or other accessories are not included in the EPA data.

Fixture Quantity & Mounting Configuration	10' Pole	12' Pole	14' Pole	16' Pole	18' Pole	20' Pole	22' Pole	24' Pole	26' Pole	28' Pole	30' Pole
10' - Square Pole Adapter	81	81	81	81	81	81	81	81	81	81	81
10' - Round Pole Adapter	81	81	81	81	81	81	81	81	81	81	81
10' - Mast Arm Adapter	81	81	81	81	81	81	81	81	81	81	81

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