

Plan Commission Meeting Agenda



December 8, 2025 - 6:00 PM
Council Chambers
3805 S. Casper Drive

Published: November 26, 2025

AGENDA

1. PUBLIC HEARING(S)

- A. (3) KH CU-2502137 Welcome East Side LLC – 17200 W. Cleveland Avenue – Conditional Use Permit to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition. (PUBLIC HEARING 6:00 PM)

2. PRIVILEGE OF THE FLOOR

Each speaker is limited to 3 minutes. The session will conclude at 6:30 PM.

3. CALL TO ORDER, PLEDGE OF ALLEGIANCE

4. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

5. APPROVAL OF MINUTES

- A. November 3, 2025 Meeting Minutes

6. PLAN COMMISSION SECRETARY'S REPORT

7. CONTINUED BUSINESS

8. NEW BUSINESS

- A. Discussion and possible recommendation to the Common Council to approve (4) GK/NJ LD-2502142 Patrick Vanderburgh with Milwaukee Rescue Mission - New Journey House - 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002) - 1-Lot Certified Survey Map.
- B. (4) GK/NJ UA-2502143 Patrick Vanderburgh with Milwaukee Rescue Mission - New Journey House - 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002) - Use, Site and Architecture for a new 4-story 57,010 sq. ft. rehabilitative development.

9. PENDING

10. COMMUNICATIONS

11. ADJOURN

Additional Information

- The agenda packet, including supplemental information related to agenda items, is available online at www.NewBerlinWI.gov. Once finalized by the governing body, approved meeting minutes will also be posted online.
- Agenda items may be taken out of order at the governing body's discretion.
- Members, and possibly a quorum, of other municipal governmental bodies may attend this meeting to gather information. However, no action will be taken by any governmental body other than the one referenced in this notice.

- Accommodations will be provided under the Americans with Disabilities Act (ADA) to meet the needs of individuals with disabilities. If you require assistance or appropriate aids and services, please contact the Office of the City Clerk at (262) 786-8610 with reasonable notice.

STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: William Morris / Welcome East Side LLC

LOCATION: 17200 W. Cleveland Avenue

REQUEST: Conditional Use Permit for Welcome East Side LLC to reoccupy the existing building for a gas station and convenience store, and the construction of an 891 square foot addition located at 17200 W. Cleveland Avenue.

D.R.C. RECOMMENDATION: Public hearing, no action.

DETAILS IN ATTACHED STAFF REPORT

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of December 8, 2025

William Morris / Welcome East Side LLC
17200 W. Cleveland Avenue

DATE STAFF REPORT: November 11, 2025

APPLICANT / OWNER(S): William Morris / Harjeet Walia with Welcome East Side LLC

REQUEST / DESCRIPTION OF PROJECT: Conditional Use Permit to reoccupy the existing building for a gas station and convenience store, as well as construct an 891 square foot addition, located at 17200 W. Cleveland Avenue.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 10/20/25

DATE OF COMPLETENESS DETERMINATION: 10/24/25

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): 10/14/25, as well as numerous phone calls and emails exchanged as part of previous application (CU-2300814)

Site Visit(s): 11/11/25

CONCEPTUAL PLAN: N/A

SIZE OF DEVELOPMENT / PARCEL(S): 1.27 acres

CURRENT ZONING: B-2 (General Retail Sales and Service District)

CURRENT LAND USE: Gas station, convenience store and service station

PROPOSED ZONING: N/A

PROPOSED LAND USE: Gas station and convenience store

PROPOSED LOT SIZE(S): N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: B-1

Land Use: Commercial

South: Zoning: O-2

Land Use: Light Industrial

East: Zoning: M-1 SPO, C-1 SPO

Land Use: Light Industrial

West: Zoning: B-2

Land Use: Commercial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes, below is a review of the social, economic and physical factors outlined in the various sections of the Plan:

Chapter 12: Neighborhood B (West Lincoln Avenue & Western Area): Yes, this submittal meets the intent of this Chapter.

Planning Context/Vision/Development Polices:

Vision:

- *Any development shall occur as a mix of conservation development, farms, large areas of preserved open spaces, rural trails and facilities, and small-scale neighborhood-oriented retail.*

Land use

- *Future Land Use Map: Rural Commercial*

ZONING CODE (Chapter 275): Yes, this request is consistent with Section 275-34B(2) of the Zoning Code.

SUBDIVISION CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: Yes

CONDITIONAL USE REQUIRED: Yes. Automotive Fuel Sales are a conditional use in the B-2 District.

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: Yes, this was approved at the June 5, 2023 ARC meeting as part of the previous application that expired. See file CU-2300814. The car wash component of the previous request has been removed.

PROPOSED ARCHITECTURE: The applicant is proposing an addition onto the existing building.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetland On Property: No

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: Not inventoried.

Floodplain: No

Topography / Geologic: This site is relatively flat.

BIKE & PEDESTRIAN FACILITIES: No improvements identified.

PARK & OPEN SPACE PLAN: No improvements identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Shown on plans.

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: No impact.

STORM WATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Sewershed Capacity Available: Yes

Adequate Linkage: Yes

On-site system required: No

WATER USAGE CALCULATION: Will be determined at the time of the building permit.

TRAFFIC IMPACT: No impact. The ITE Manual states that a TIA is not required for development with a gas station and convenience store with less than 100 peak trips per hour.

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

9/28/1960	Plan Commission approval of building permit for Moore Oil Company
10/21/1963	Plan Commission approval of PU-56 for Moore Oil Company Service Station
6/5/1972	Plan Commission denial for storage of U-Haul trucks and trailers
5/18/1981	Plan Commission denial of U-62-81 for storage of U-Haul trucks and trailers at AM Petroleum Limited
3/14/1983	Plan Commission approval of U-30-83 for Murphy Oil Corp/Spur Station storage addition
5/20/1991	Plan Commission approval of UA-17-91 for a new 50' x 60' canopy and new pump islands and dispensers
6/7/1999	Plan Commission approval of CU-6-99 for new pump islands and dispensers, a 50' x 60' canopy and fuel card service as well as outdoor storage of the ice machine, soda machine and dumpster behind the building and repainting of the building and adding a tricolor band
10/1/2001	Plan Commission approval of U-63-01 for Citgo canopy and pump enhancements
6/5/2023	Plan Commission Public Hearing for CU-2300814.
8/14/2023	Plan Commission approval of CU-2300814. (Zoning permit expired on 8/13/2025 as no construction had commenced.)

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Re-occupancy will require Public Hearing and approval from the Plan Commission for Conditional Use Permit to re-occupy the existing building.
2. Plan of operation shall be consistent with submitted plans on file. Applicant is proposing to reoccupy the existing building for a gas station and convenience store. They also plan to construct an 891 square foot addition onto the convenience store, bringing the total square footage from 2,275 sf to 3,166 sf. Applicant will be eliminating the auto service part of the business.
 - a. Hours of operation: 24/7
 - b. Number of Employees: 4

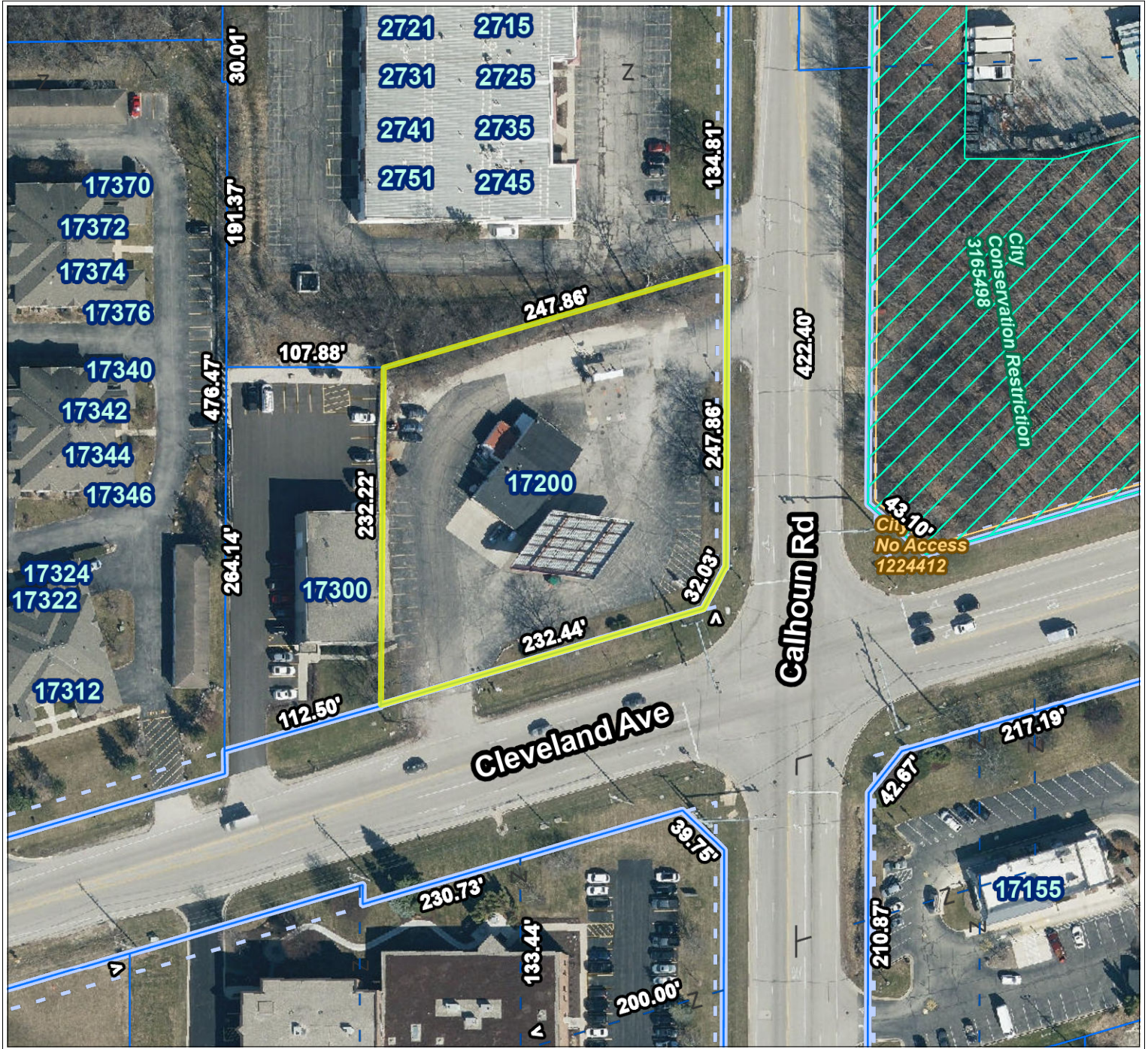
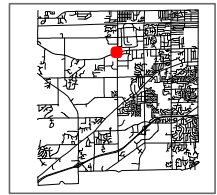
3. Site Development Standards outlined in §275-34 of the Zoning Code:
 - a. Minimum Building Setbacks: 40' Front, 15' Side, 25' Rear
 - b. Lot Coverage: 50% Maximum Coverage by Buildings, 75% Maximum Coverage by Impervious Surfaces, 25% Minimum Coverage by Open Space and Landscaping
 - i. Existing: 2,275 SF Convenience Store
 - ii. Proposed: 3,166 SF Convenience Store (include 891 square foot addition)
4. Monitoring wells (discussion from 6/5/2023 Public Hearing for application # CU-2300814):
 - a. Per the DNR, there are 2 closed sites with continuing obligations at this location. Reports are on file with the Department of Community Development.
 - b. Soil testing shall be required as part of building permit. Soil borings shall analyze for presence of hydrocarbons. If hydrocarbons are found to be present on the site, soil borings on the adjacent properties, with property owner's permission, may be required.

D.R.C RECOMMENDATION: Public hearing, no action. **SEE EXECUTIVE SUMMARY.**

ATTACHMENTS:

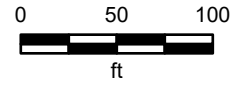
Location Map
Plan of Operation
Plans

CU-2502137
Welcome East Side LLC
17200 W. Cleveland Avenue



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

Parcels	Wetland
Road Right-of-Way	Zoning Wetland Registration
Conservation Easement	Registered Wetland
Environmental Corridor	Outside Wetland
Floodplain FEMA DFIRM	Zoning Overlay
FEMA DFIRM - Zone A	PUD
FEMA DFIRM - Zone AE	Special Conditions Apply
FEMA DFIRM - 0.2% Chance	SPO
	Zoning Boundaries



Scale is estimate - not survey

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The information and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

- The proposed use of the land, building and/or structures.
 - EXISTING GAS / DIESEL SALES AND INTERIOR SALES OF GRAB AND GO PRODUCTS
- Activities to occur both inside and outside all principal and accessory buildings.
 - NO ACCESSORY PRIMARY GAS AND DIESEL FUEL SALES WITH INTERIOR GRAB AND GO PRODUCTS
- The frequency and duration of all activities, including the season, days, and hours of operation.
 - 24/ 7 OPERATION
- The total number of employees and number of employees in largest shift.
 - BETWEEN 2 AND 4
- The estimated number of tenants.
 - OURSELF 1 TENET
- The number, size and type of all vehicles associated with the use
 - SINGLE FAMILY CARS , SMALL TRUCKS LARGERER TRUCKS AT DESEL
- Number of vehicle trips or Traffic Impact Analysis if required by §275-58C.
 - NA
- The expected date of business commencement.
 - THIS HAS NEVER STOPPED OPERATION
 - SERVICE BAYS PHASE 1 AND THE EXISTING STORE AREA PHASE 2

ADDITION AND REMODELING OF EXISTING BUILDING FOR
 WELCOME EASTSIDE LLC
 17200 W CLEVELAND AVENUE
 NEW BERLIN WISCONSIN

DATE
4-14-23

REVISIONS
 6-29-23
 11-0-23
 6-6-24
 10-16-25

WILLIAM A. MORRIS ARCHITECT LLC
 5313 87TH PLACE
 PLEASANT PRAIRIE, WI. 53158

REMODELING OF EXISTING BUILDING
 WELCOME EASTSIDE LLC
 17200 CLEVELAND AVENUE
 NEW BERLIN WI.

A1

1. All work shall be performed in accordance with all applicable local, federal, state and national codes and ordinances and all authorities having jurisdiction.
2. The Contractor and its Subcontractors shall verify all dimensions and/or discrepancies in plans and report any errors to the Architect prior to commencement of the work, or be responsible for same.
3. Do not scale drawings. Verify all on site dimensions and conditions by each subcontractor.
4. All carpentry, plumbing, mechanical and electrical work is to be coordinated between the trades as part of their installation layout. Verify locations of plumbing and HVAC lines with Builder before installation.
5. On site verification of all dimensions and conditions shall be the responsibility of each subcontractor.
6. Architect shall not have control or charge of, and not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, or for the acts or omissions of the subcontractors, or other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the intent of the contract documents.
7. Verify sizes and installation requirements and specifications of all items supplied by others before proceeding with work related thereto.
8. The commencement of each subcontractor's work shall constitute acceptance of all sub-surfaces.
9. Should unsuitable soil conditions arise, promptly advise the Architect of same before proceeding with any further work.
10. Stock pile material as directed by Owner or Builder. Protect all trees and wetland areas retained on site. Provide erosion control as required by the governing authority.
11. Verify locations of all underground lines before proceeding with sub-soil work.
12. Contact Diggers Hot line 48 hours before any underground work.
13. Each Subcontractor shall obtain and provide necessary bonds, permits and necessary inspections as required by municipal, county, state, federal or other agencies having jurisdiction.
14. Truss manufacturer to design and fabricate floor and roof trusses in accordance with all applicable codes.
15. The minimum live load for floor shall be 50 p.s.f. and the minimum snow load for roofs shall be 35 p.s.f. The minimum dead load for floors and roofs shall be 10 p.s.f. The maximum deflection shall be L/480. All girder trusses shall be designed to accept all concentrated loads as required. Truss drawings shall be submitted to the Builder and shall be sealed by a State of Wisconsin licensed structural engineer or by the truss manufacturers engineer registered in Wisconsin. Truss Manufacturer shall confirm headers and lam beams for truss bearing on all span
16. All concrete and reinforcing work shall conform to ACI specifications and recommendations. All concrete footings shall bear on 3000 p.s.f. minimum soil capacity on virgin ground, minimum 3'-8" below grade. All concrete shall attain a 28-day compressive strength of 4000 P.S.I. for walls slabs; 4000 P.S.I. exterior slab use 6% air entrainment
17. All construction lumber shall be Southern Yellow Pine Fb 1000, E-1.3 #2 or better, unless otherwise noted. All wood in contact with concrete or grade shall be pressure treated. Shim all sill plates and provide sill sealer below plate and grout any gaps greater than 1/4".
18. All engineered joists and beams, i.e., micro lams, TJI's, etc. shall be installed in accordance with the manufacturers specifications.
19. Provide doubts cripples under all headers greater than 4'-0".
20. All concentrated loads from headers and beams shall be solid-blocked down to foundation, steel, or girder beams. No back filling of foundation shall occur until floor system is in place to brace top of concrete walls
21. All work shall be performed in a good workmanlike manner. Each subcontractor shall amend and make good at his own cost any defects and other faults in his workmanship and materials.
22. Each contractor to clean up debris inside and outside the building site which has been caused by his work and place in dumpster provide by builder on a daily basis.
23. All electrical work shall conform to the National Electric Code, NEC latest edition and local building code.

These drawings and Specifications: Specifications and the accompanying drawings are complimentary and what is called for by one shall be binding as if called for by both the quality and quantity shall prevail.

Coordination of work: A general contract will be left for the work and successful contractor shall be responsible for all other sub-contractors and coordination of the Specifications and or dimensions of all work or where it comes in contact with others work. All details of material selections shall be reviewed and referred to the owner where questions occur. Errors due to failure to comply with this requirement shall be corrected at the expense of the contractor or contractors involved.

Codes Ordinances: All work shall comply with all local, state, and county codes and regulations as applicable.

Examination of the Site: Contractor shall visit the site and review all existing conditions. He shall familiarize himself as to the nature and location of the work and the general and local conditions that he is to perform. He shall have full knowledge as to the transportation, disposal, handling of materials, availability of water, electric power, and all other facilities in the area where work shall be

performed or that having a bearing on the performance of his work. Dispose of all debris legally.

Contractor shall field verify all dimensions prior to starting work and coordinate same with all trades.

Construction is scheduled to occur while owners occupy the adjacent business. The contractor is responsible for providing safety and access at all times to the site for the owners clients as well as employees. The owner and Architect shall have no responsibility for means and methods of the work performed by contractors.

Weather conditions: Contractor shall protect all parts of their work from weather damage frost, rain, heat, ect. and shall be responsible for replacement and or repair of any damaged work to the satisfaction of the owner which in his opinion have become damaged due the above.

Responsibility of the Contractor: Each contractor is responsible for and must guarantee first class workmanship and materials that have been provided and installed by him.

Each contractor shall furnish all necessary barricades, temporary construction dust screens and scaffolding as required for completing their work in a safe workman like manner.

Surveys, Permits, and Regulations: The owner shall furnish all required surveys, contractors shall obtain and pay for all local necessary permits.

Auto Insurance: Each contractor shall maintain auto insurance for their respective vehicles used during project or on owners property.

Fire and Extended Insurance: The owner shall maintain in effect fire insurance and builders risk insurance coverage as required upon all items and materials on the property that are a part of or are necessary and stored on site for the completion of the work.

Pilferage: Each contractor shall be responsible for his own equipment, tools and materials required for construction and or including those items relating to any work furnished by the owner and delivered to the job site.

Electrical: All work shall comply with National Electrical Code, current edition, and any electrical code requirements of the local jurisdiction.

Guarantee: All contractors shall provide a one year guarantee of their work from the date of acceptance by the owner and shall leave the site in perfect and working order upon completion.

Dumpsters: General contractor shall provide all necessary dumpsters during construction and shall coordinate for all trades including that work which may be performed by the owner.

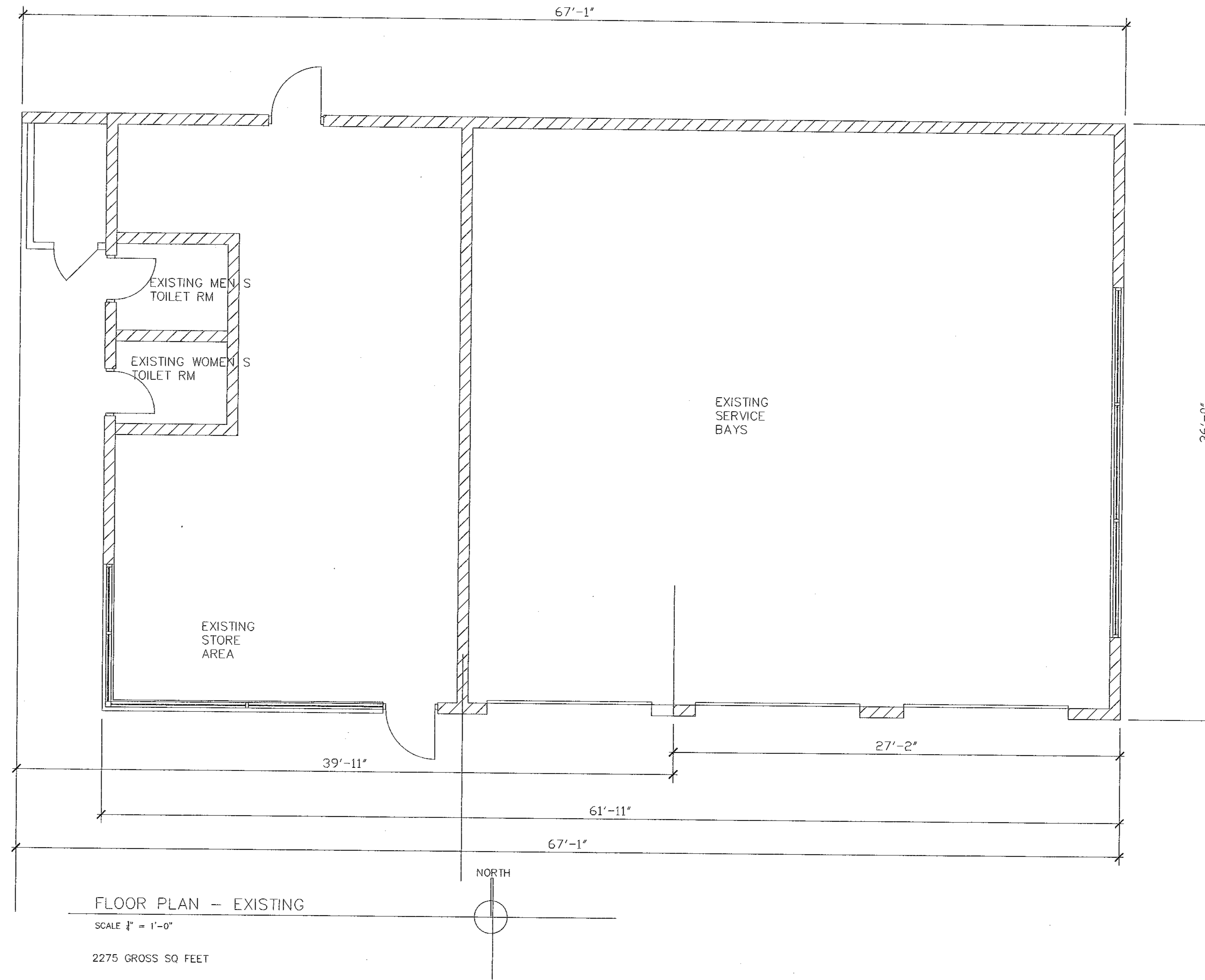
Clean up: General contractor shall at the end of the project fully broom clean all surfaces of dust and debris and leave site in a clean unconstructive condition.

Erosion control measures shall be established prior to any excavating on this site and shall be the responsibility of the excavating contractor performing any work, all shall comply with the state of Wisconsin DNR technical standards

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C6	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C7	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C8	PROJECT NOTES AND SPECIFICATIONS



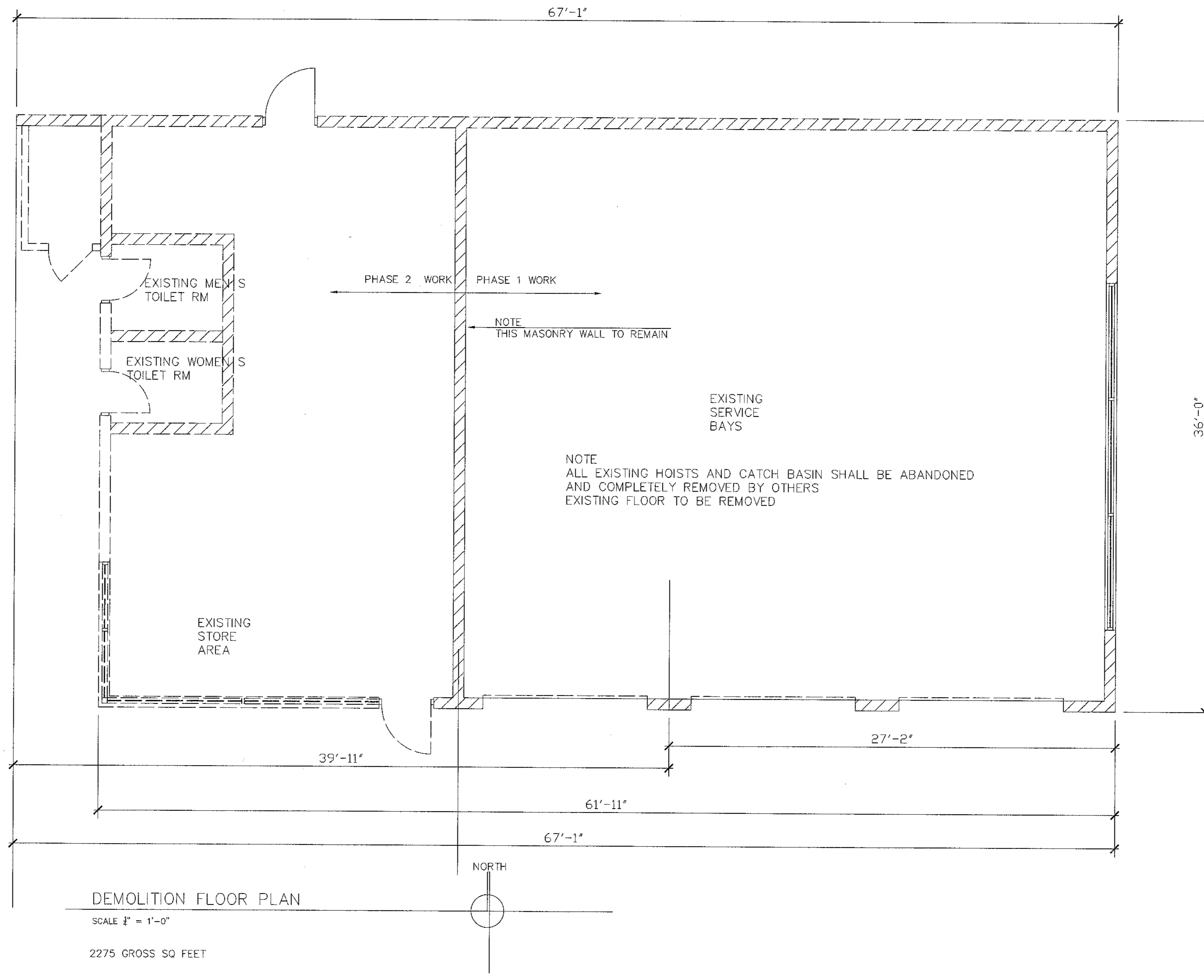
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11-22-23
6-6-24
10-16-25

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A2



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A2a



EXISTING NORTH ELEVATION

NTS



EXISTING EAST ELEVATION

NTS



EXISTING SOUTH ELEVATION

NTS



EXISTING WEST ELEVATION

NTS

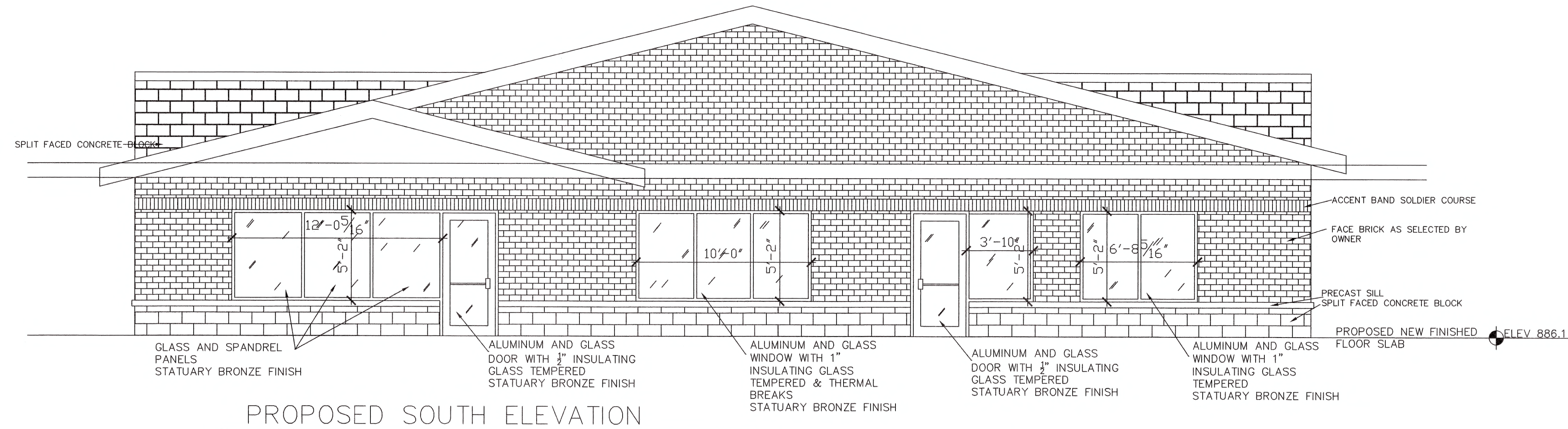
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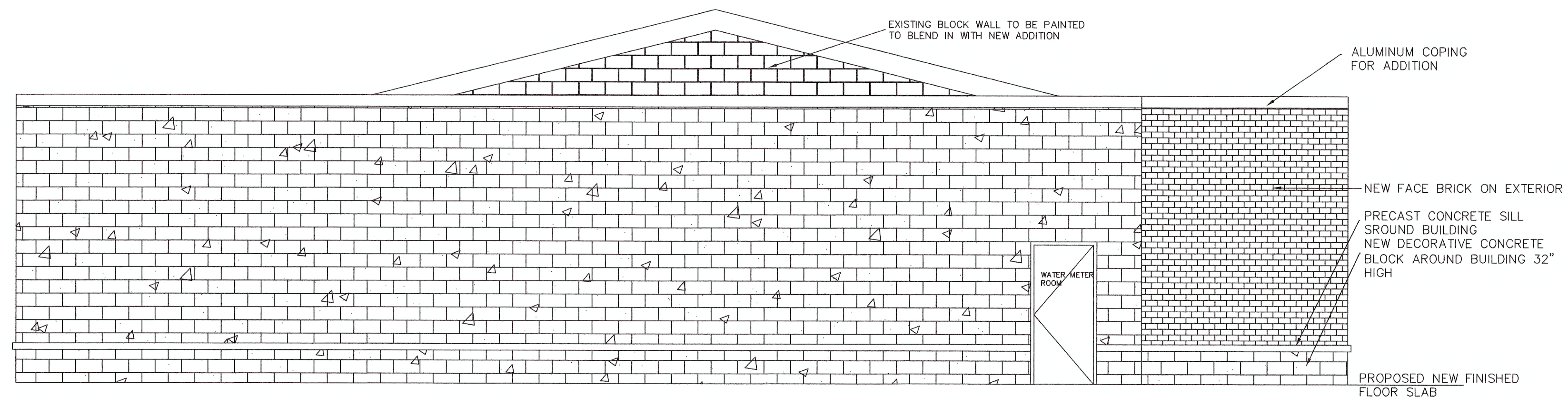
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A4



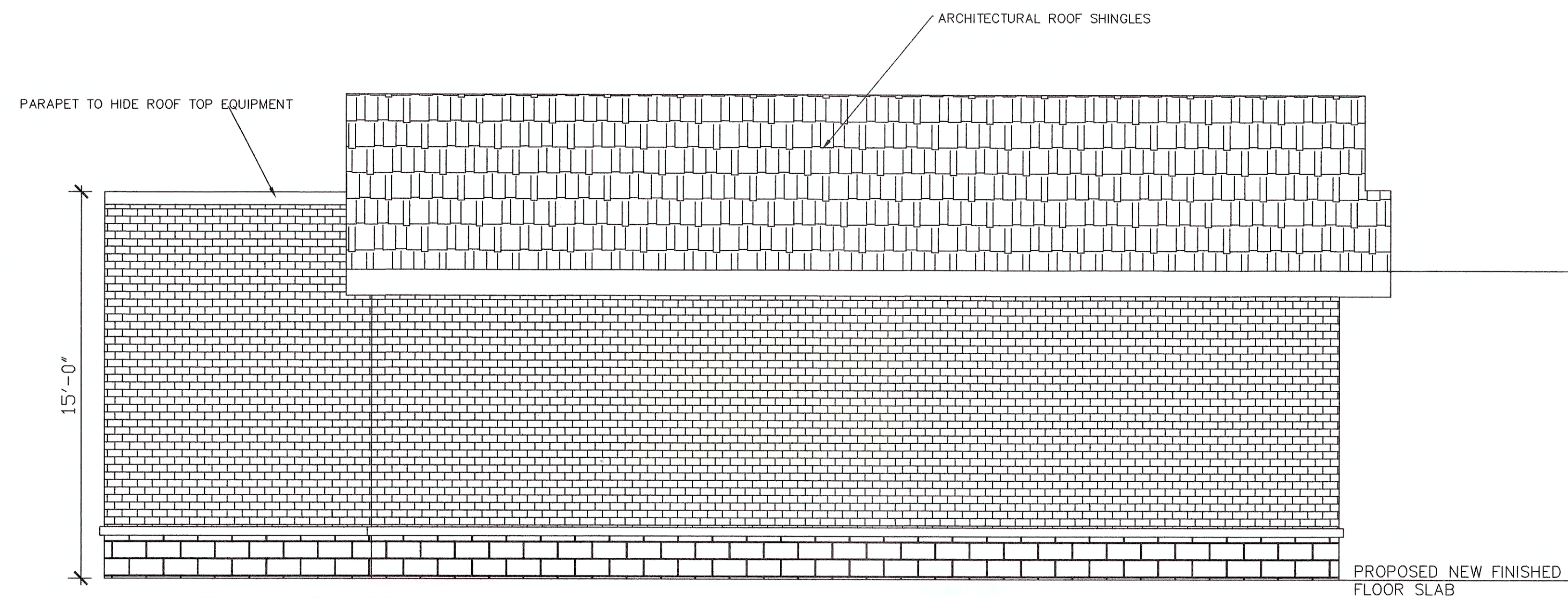
PROPOSED SOUTH ELEVATION

SCALE 1/4" = 1'-0"



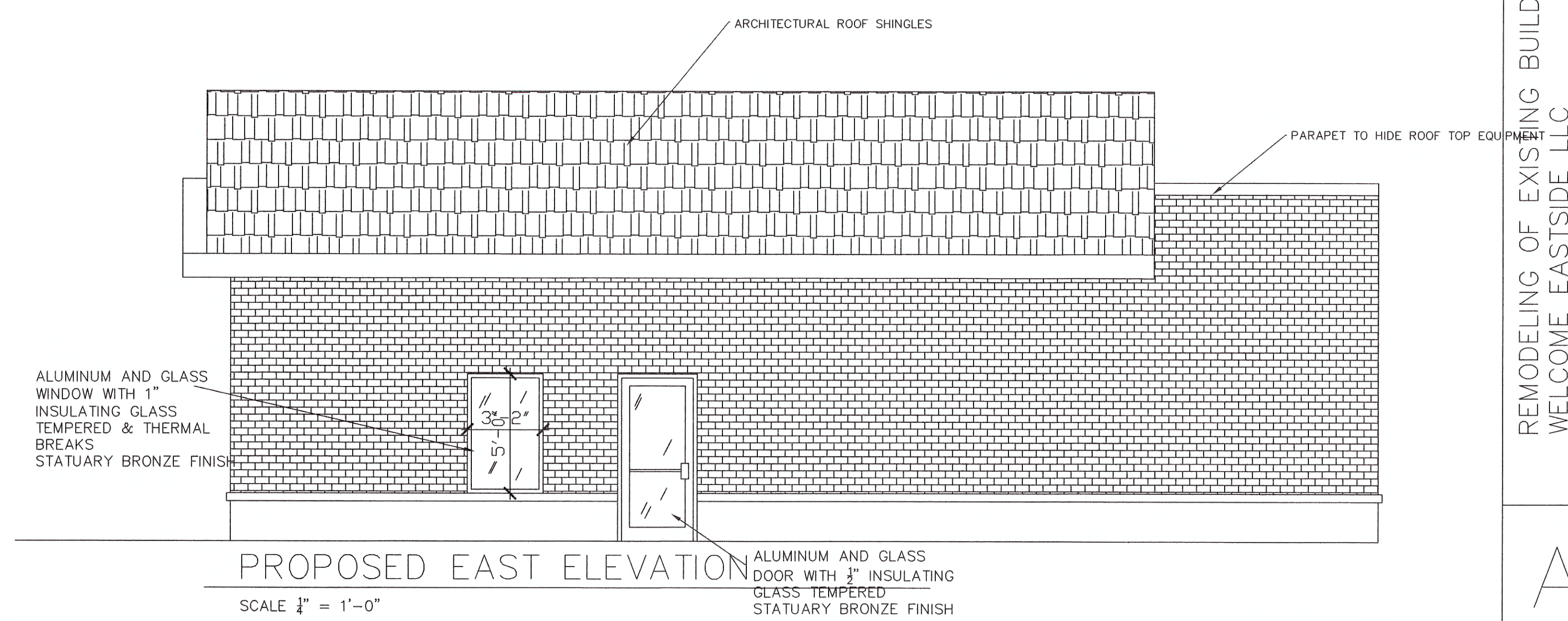
PROPOSED NORTH ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE 1/4" = 1'-0"

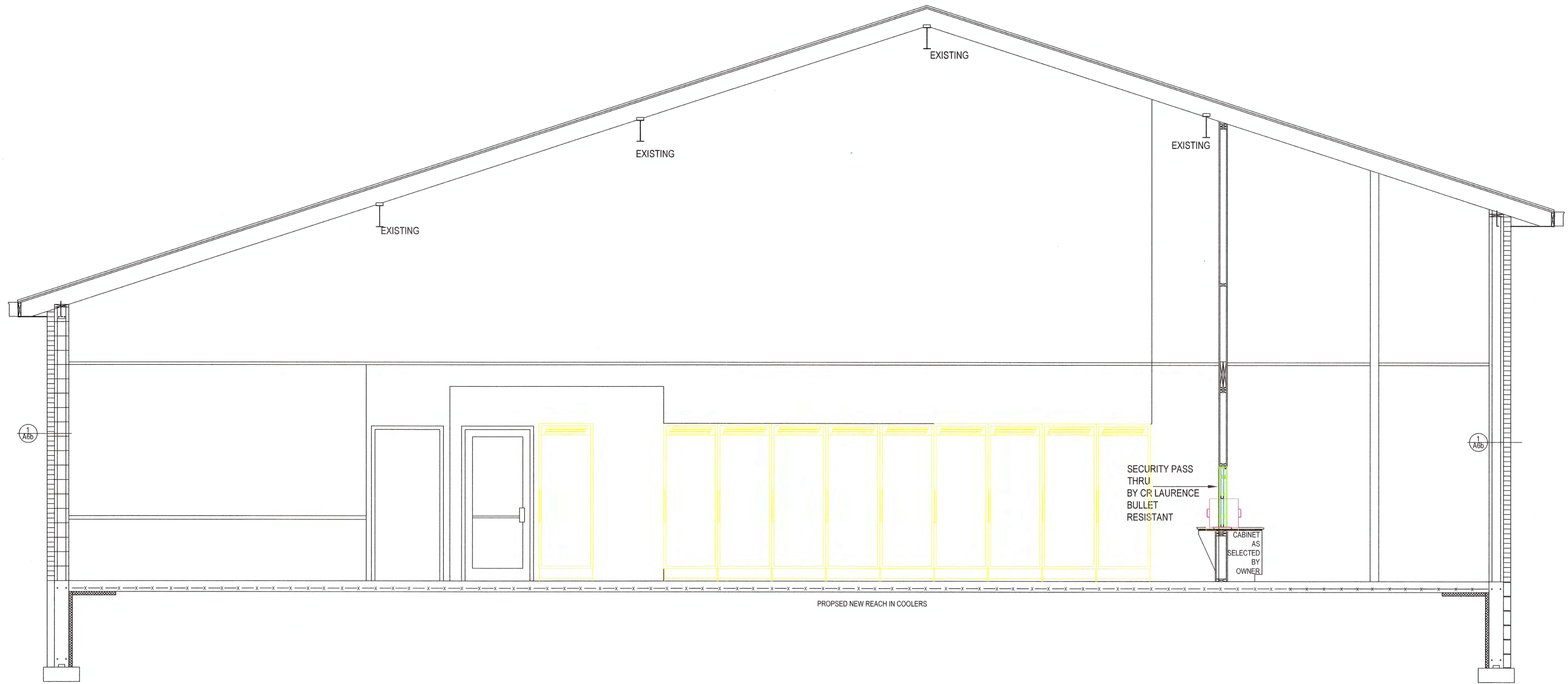
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NEW BERLIN WI.

A5



1 BUILDING SECTION
 A6a SCALE 1/2" = 1'-0"

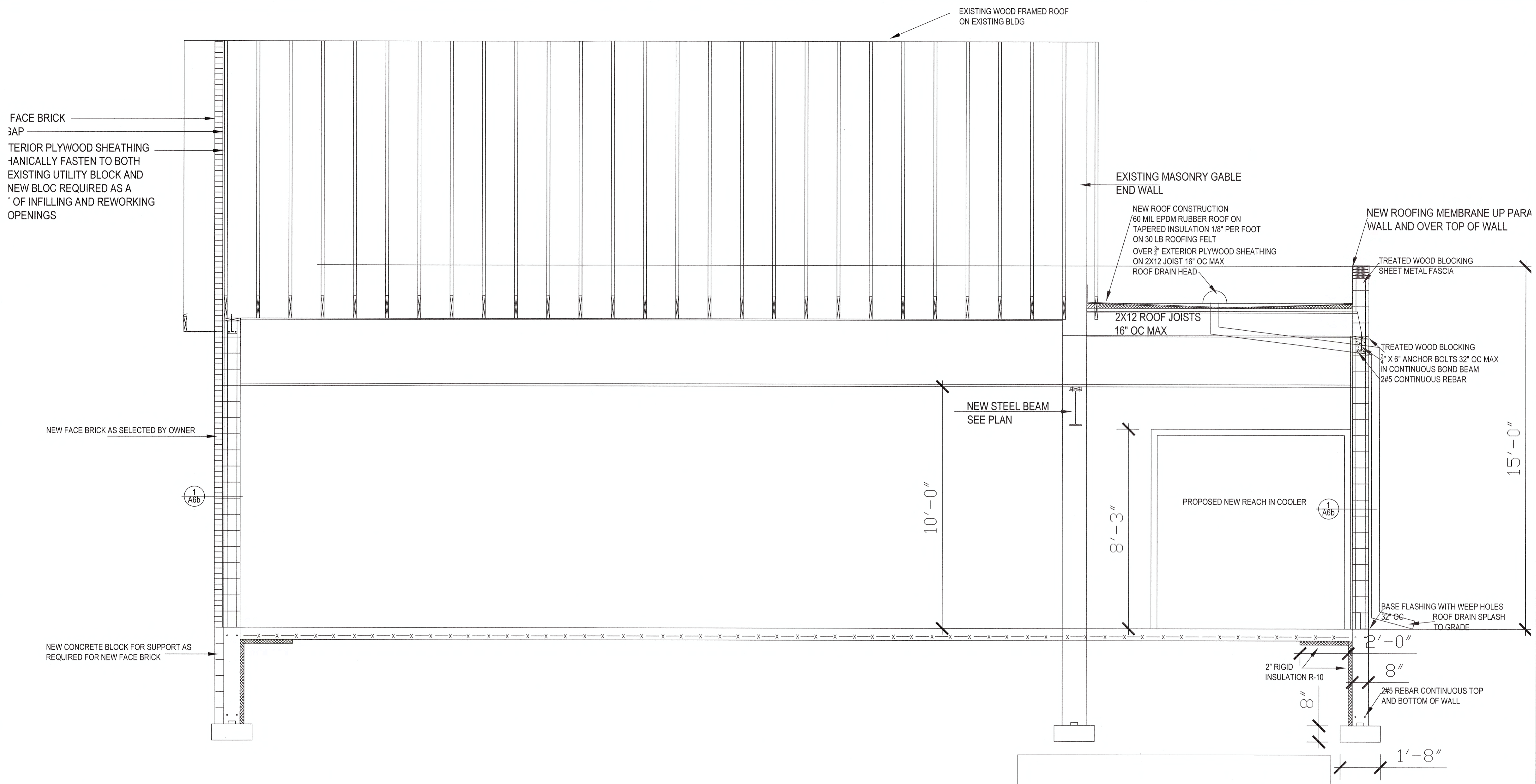
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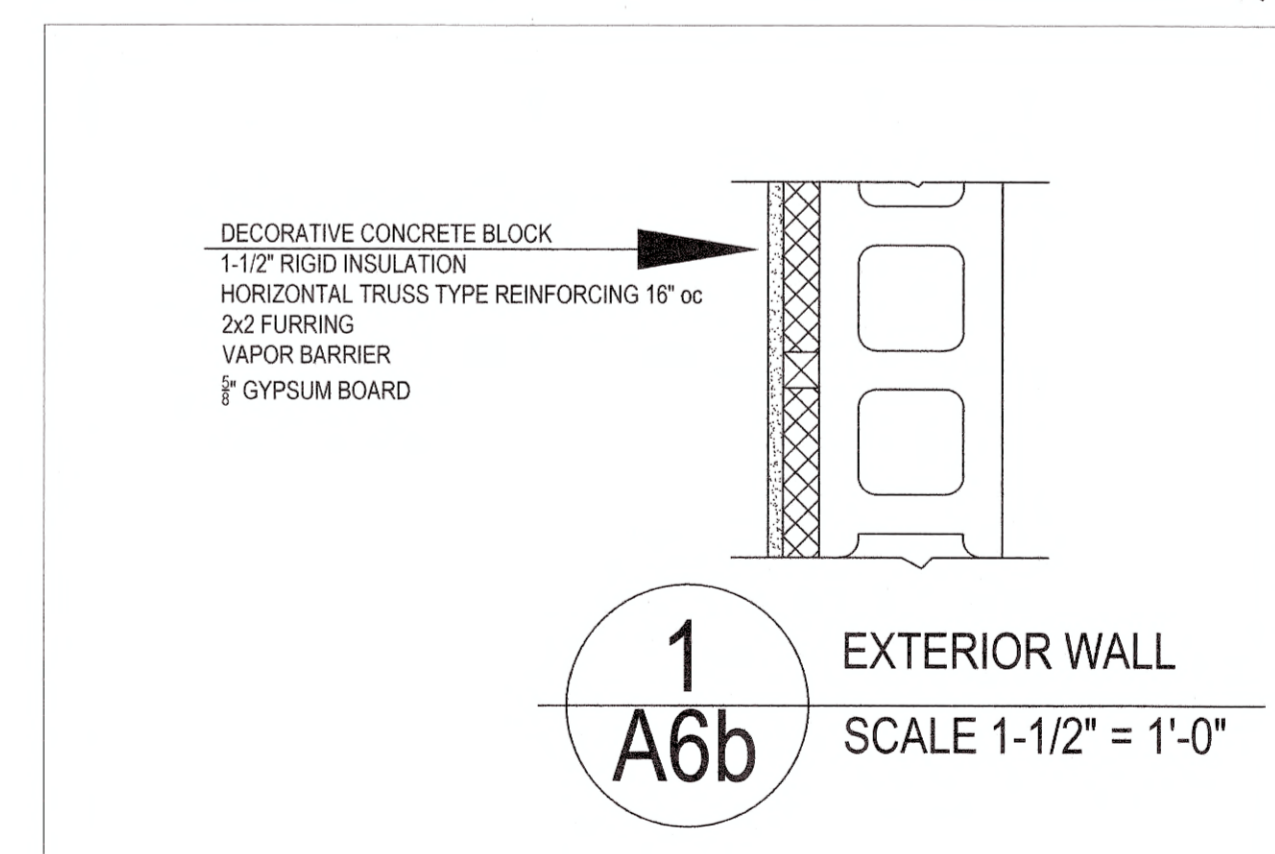
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 17200 CLEVELAND AVENUE
 NEW BERLIN WI.

A6a



2 BUILDING SECTION
 A6a SCALE 1/2" = 1'-0"



1 EXTERIOR WALL
 A6b SCALE 1-1/2" = 1'-0"

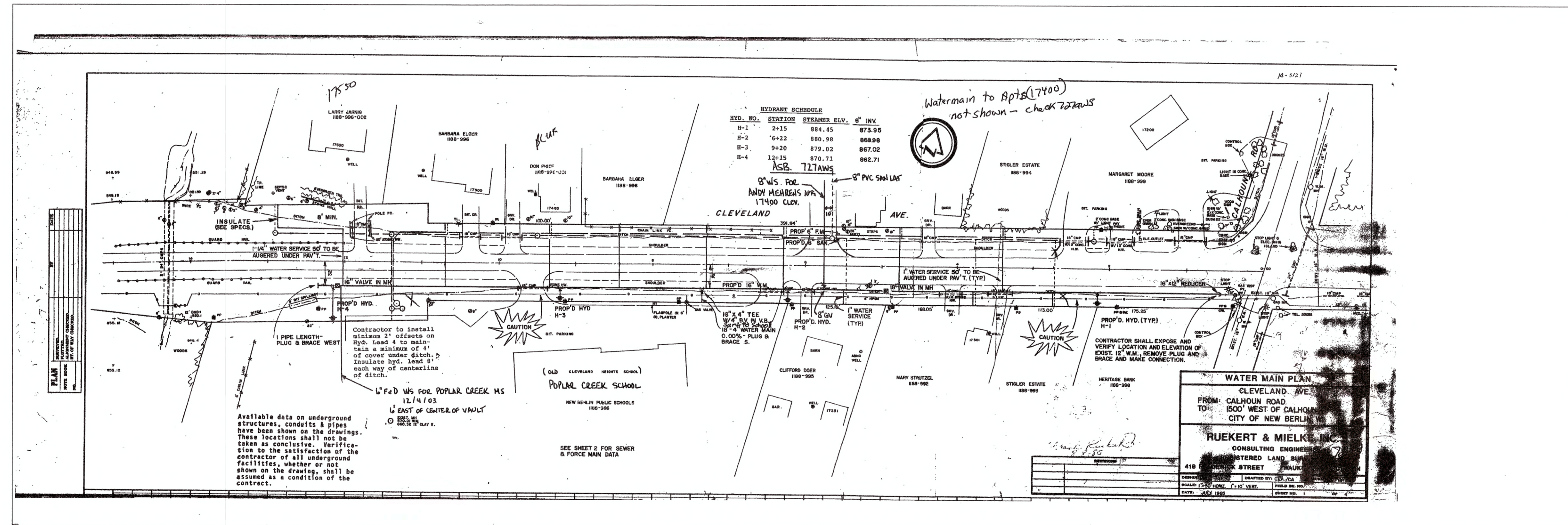
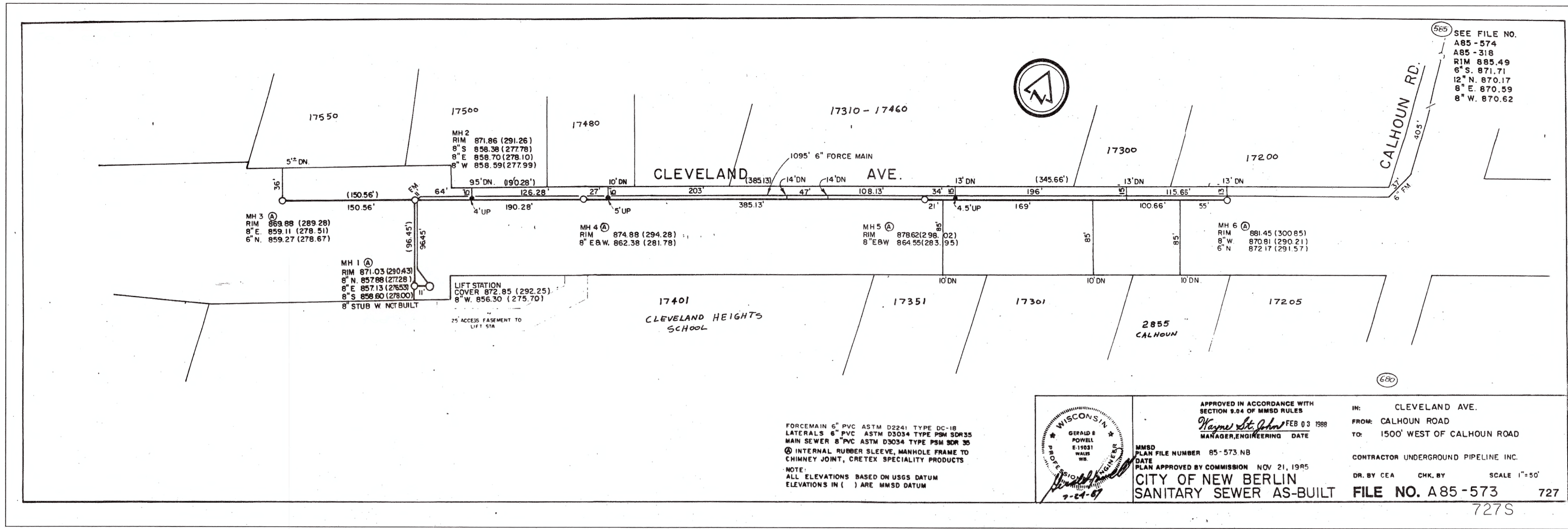
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A6b



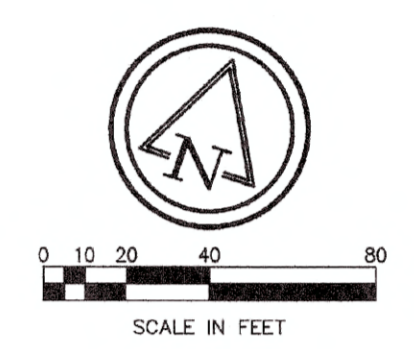
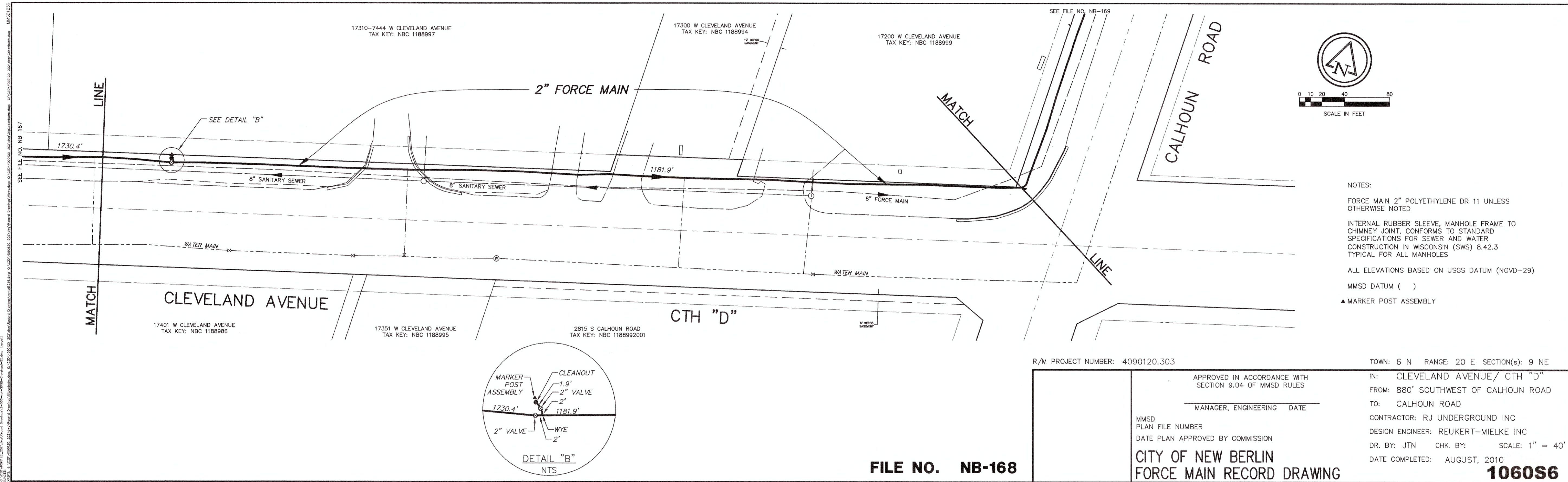
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DATE

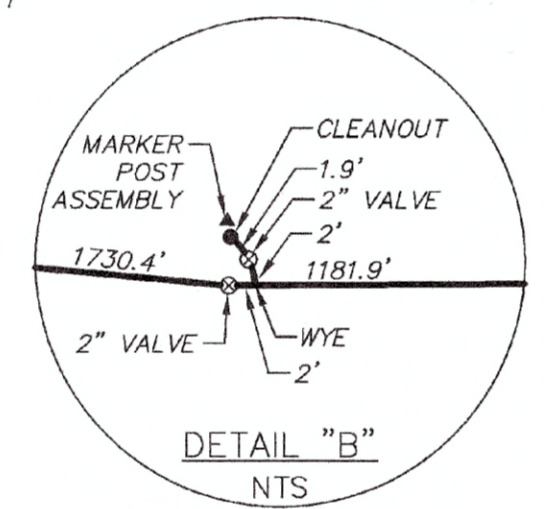
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PLEASANT PRAIRIE WI. 53158

REMODELING OF EXISTING BUILDING FOR
WELCOME EAST SIDE LLC
17200 CLEVELAND AVENUE
NEW BERLIN WI.

A9a



NOTES:
 FORCE MAIN 2" POLYETHYLENE DR 11 UNLESS OTHERWISE NOTED
 INTERNAL RUBBER SLEEVE, MANHOLE FRAME TO CHIMNEY JOINT, CONFORMS TO STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SWS) 8.42.3 TYPICAL FOR ALL MANHOLES
 ALL ELEVATIONS BASED ON USGS DATUM (NGVD-29)
 MMSD DATUM ()
 ▲ MARKER POST ASSEMBLY



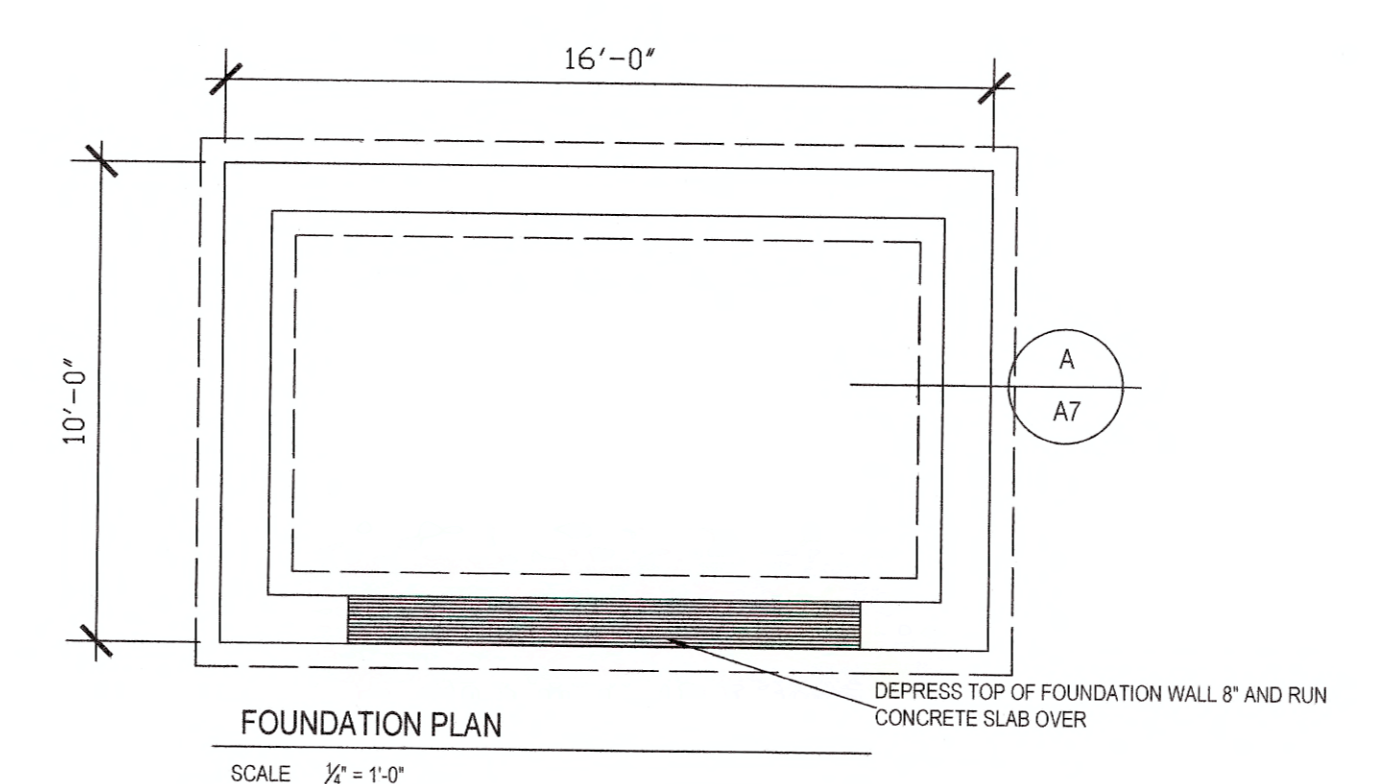
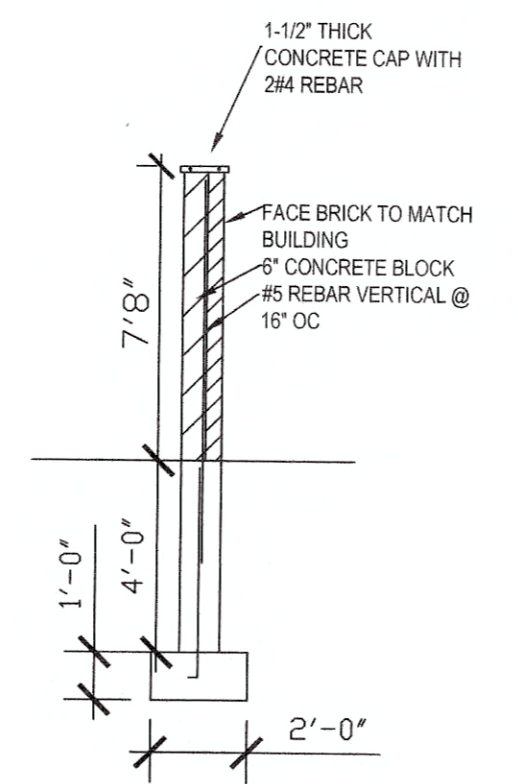
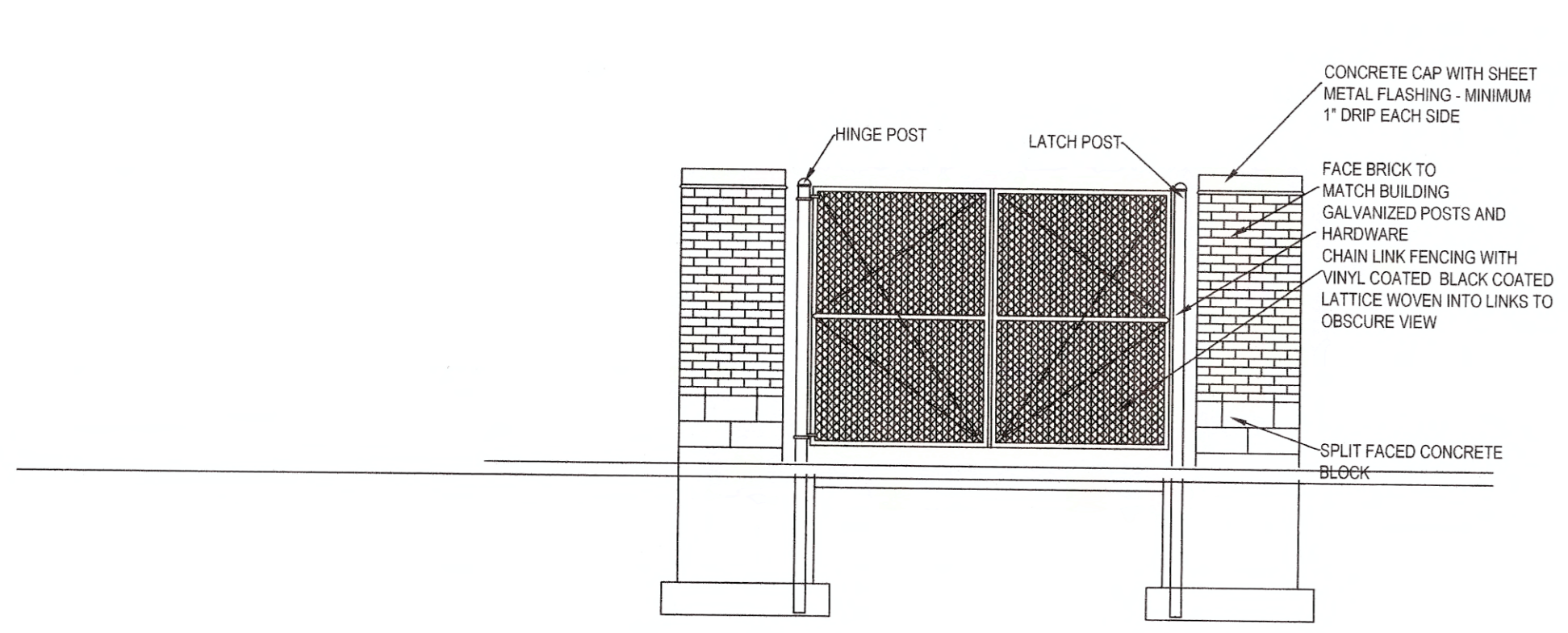
R/M PROJECT NUMBER: 4090120.303
 TOWN: 6 N RANGE: 20 E SECTION(s): 9 NE
 IN: CLEVELAND AVENUE/ CTH "D"
 FROM: 880' SW OF CALHOUN ROAD
 TO: CALHOUN ROAD
 CONTRACTOR: RJ UNDERGROUND INC
 DESIGN ENGINEER: REUKERT-MIELKE INC
 DR. BY: JTN CHK. BY: SCALE: 1" = 40'
 DATE COMPLETED: AUGUST, 2010
1060S6

FILE NO. NB-168

APPROVED IN ACCORDANCE WITH SECTION 9.04 OF MMSD RULES

 MANAGER, ENGINEERING DATE
 MMSD
 PLAN FILE NUMBER
 DATE PLAN APPROVED BY COMMISSION
CITY OF NEW BERLIN
FORCE MAIN RECORD DRAWING

DATE
 DATE
 WILLIAM A MORRIS ARCHITECT LLC
 5313 87TH PLACE
 PLEASANT PRAIRIE WI. 53158
 REMODELING OF EXISTING BUILDING FOR
 WELCOME EAST SIDE LLC
 17200 CLEVELAND AVENUE
 NEW BERLIN WI.
A9b



DUMPSTER ENCLOSURE
SCALE 1/8" = 1'-0"

REFUSE
ENCLOSURE

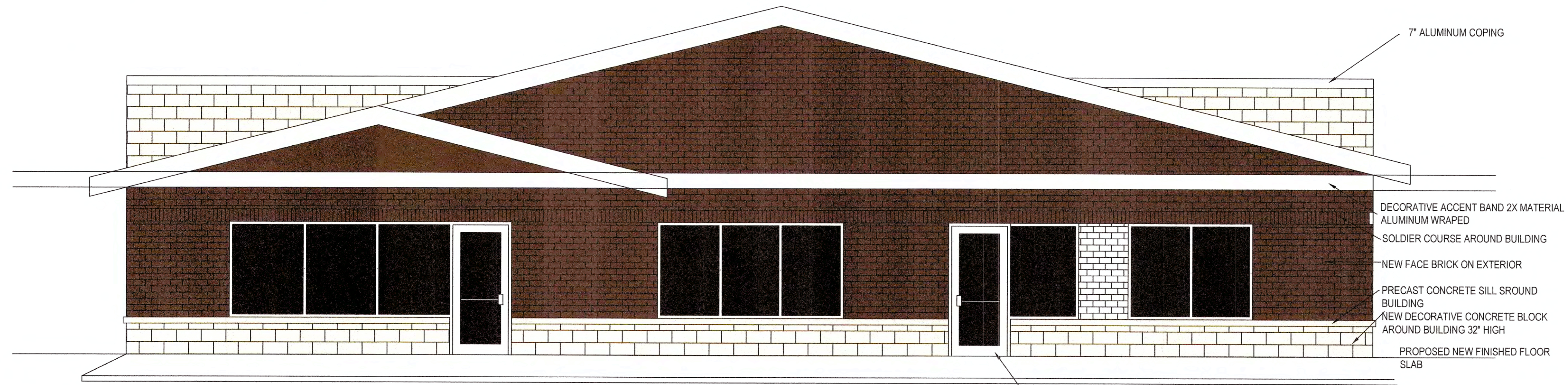
DATE
4-14-23

REVISIONS
6-29-23
11-22-23
6-6-24

WILLIAM A. MORRIS ARCHITECT LLC
5313 87TH PLACE
PLEASANT PRAIRIE, WI. 53158

REMODELING OF EXISTING BUILDING
WELCOME EASTSIDE LLC
17200 CLEVELAND AVENUE
NEW BERLIN WI.

A11



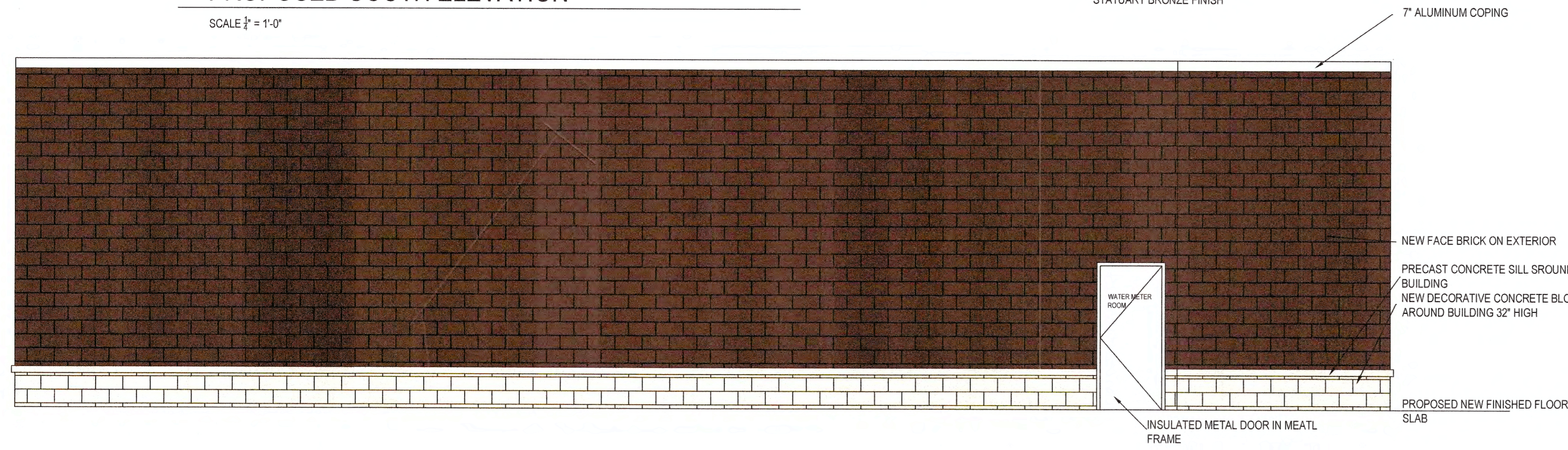
PROPOSED SOUTH ELEVATION

SCALE 1/4" = 1'-0"

ALUMINUM AND GLASS WINDOW WITH 1" INSULATING GLASS TEMPERED & THERMAL BREAKS STATUARY BRONZE FINISH

7" ALUMINUM COPING

DECORATIVE ACCENT BAND 2X MATERIAL ALUMINUM WRAPED
 SOLDIER COURSE AROUND BUILDING
 NEW FACE BRICK ON EXTERIOR
 PRECAST CONCRETE SILL SROUND BUILDING
 NEW DECORATIVE CONCRETE BLOCK AROUND BUILDING 32" HIGH
 PROPOSED NEW FINISHED FLOOR SLAB



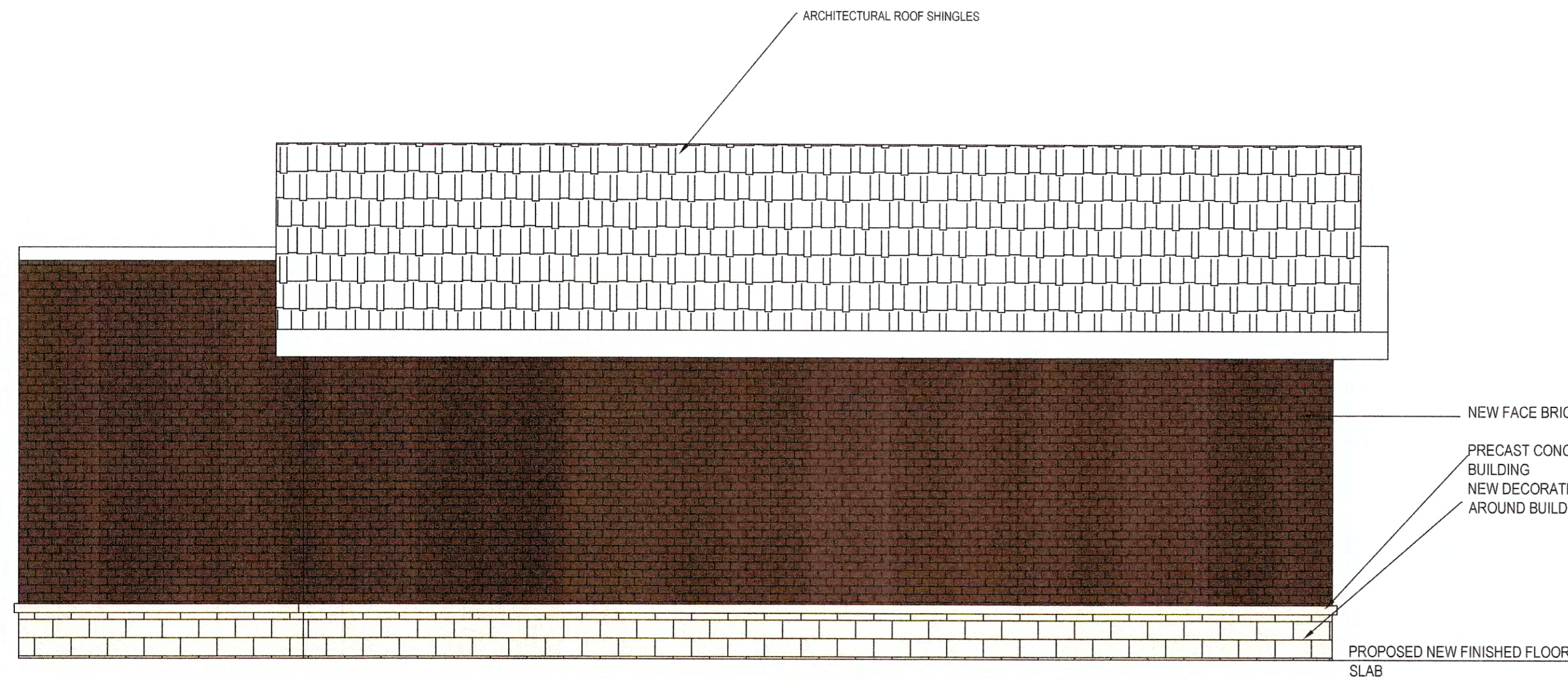
PROPOSED NORTH ELEVATION

SCALE 1/4" = 1'-0"

INSULATED METAL DOOR IN METAL FRAME

7" ALUMINUM COPING

NEW FACE BRICK ON EXTERIOR
 PRECAST CONCRETE SILL SROUND BUILDING
 NEW DECORATIVE CONCRETE BLOCK AROUND BUILDING 32" HIGH
 PROPOSED NEW FINISHED FLOOR SLAB

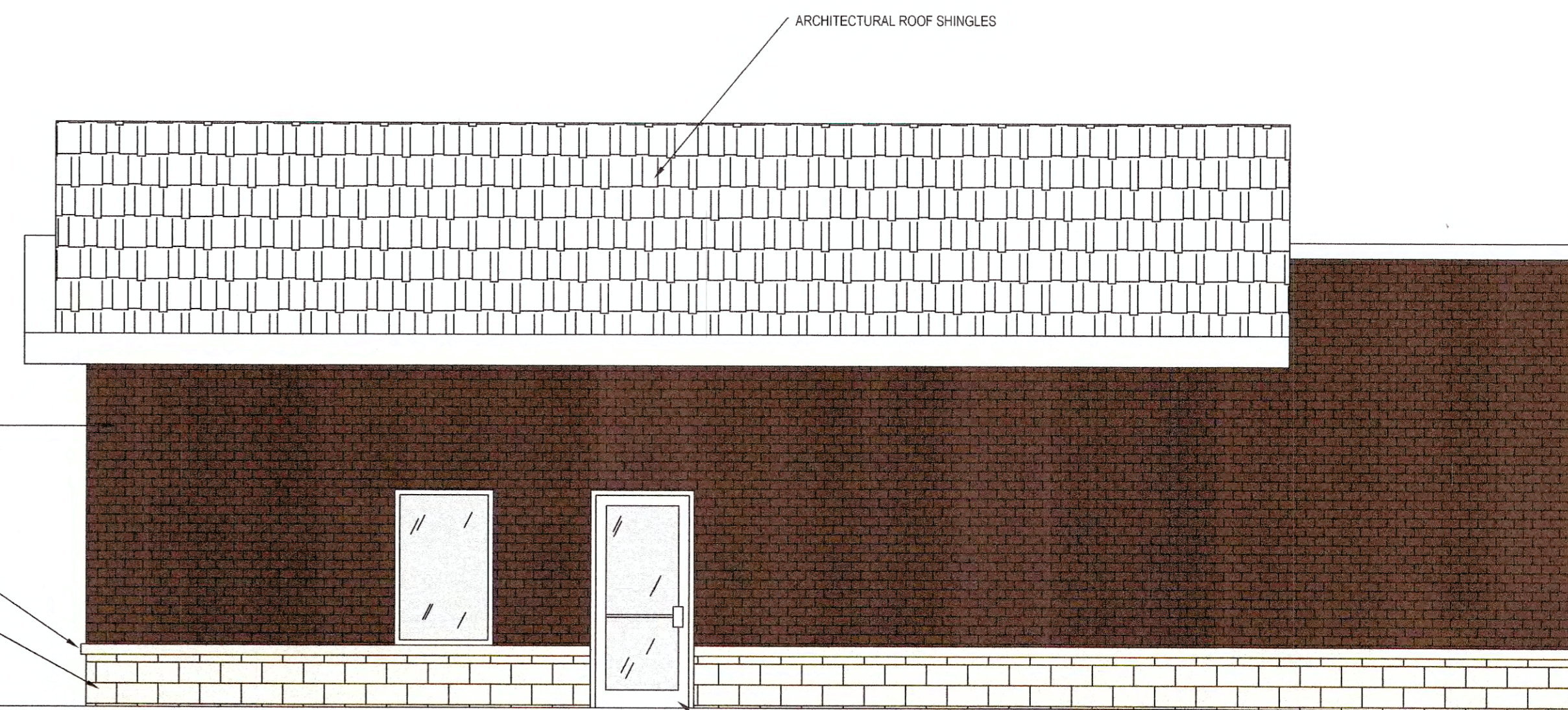


PROPOSED WEST ELEVATION

SCALE 1/4" = 1'-0"

NEW FACE BRICK ON EXTERIOR
 PRECAST CONCRETE SILL SROUND BUILDING
 NEW DECORATIVE CONCRETE BLOCK AROUND BUILDING 32" HIGH

PROPOSED NEW FINISHED FLOOR SLAB



PROPOSED EAST ELEVATION

SCALE 1/4" = 1'-0"

ALUMINUM AND GLASS WINDOW WITH 1" INSULATING GLASS TEMPERED & THERMAL BREAKS STATUARY BRONZE FINISH

DATE
4-14-23

REVISIONS
6-29-23
7-10-23
6-6-24

WILLIAM A. MORRIS ARCHITECT LLC
 5313 87TH PLACE
 PLEASANT PRAIRIE, WI. 53158

REMODELING OF EXISTING BUILDING
 WELCOME EASTSIDE LLC
 17200 CLEVELAND AVENUE
 NEW BERLIN WI.

CR

DESIGN CODE:

WISCONSIN COMMERCIAL BUILDING CODE & THE ADOPTED 2015 INTERNATIONAL BUILDING CODE

BUILDING DESIGN LIVE LOADS/CRITERIA:

Table with columns for design criteria (e.g., Occupant Live Loads, Attics, Stores, Office, Handrails, Fixed Ladders, Vehicle Barriers, Interior Walls, Roof Load, Wind Load, Seismic Design, Rain Design, Flood Design, Soil Lateral Loads, Material Strengths, Structural Steel, Reinforcing Steel, Concrete Masonry, Masonry Mortar, Wood Framing, Pressure Treated Lumber, Laminated Veneer Lumber, Soil Bearing) and corresponding values.

LOAD COMBINATIONS:

Table with columns for Allowable Stress Design (ASD) and Strength Design (LRFD) load combinations (1) through (7).

ADDITIONAL SERVICEABILITY:

- 1) D + 0.5L (CREEP)
2) D + 0.5L + Ws (WIND)

GENERAL:

- 1. ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING...
2. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS...
3. THE CONTRACTOR SHALL REFER TO OTHER DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENTS...
4. DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS...
5. DIMENSIONS AND ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS SUPERSEDE DIMENSIONS AND ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS.
6. DO NOT SCALE PLANS.
7. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE STRUCTURAL DESIGNER OF RECORD.
8. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND CONSTRUCTION SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING AND WORKMEN DURING CONSTRUCTION...
9. CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS...
10. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PLANS...
11. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS CORRESPONDING TO THE LOCATION OF EXISTING ELEMENTS...
12. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS...
13. REMOVE AND REPLACE AND/OR MODIFY ALL EXISTING CONSTRUCTION...
14. CONTRACTOR SHALL DESIGN AND PROVIDE ALL SHORINGS REQUIRED TO SUPPORT EXISTING CONSTRUCTION AND NEW CONSTRUCTION...
15. FOOTING EXCAVATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL...
16. REFER TO SOILS REPORT (IF APPLICABLE) FOR DESCRIPTION OF EXISTING SOIL CONDITIONS...
17. WHERE NEW FOOTINGS ABUT EXISTING FOOTINGS, STEP THE NEW FOOTINGS AS REQUIRED TO HAVE NEW BOTTOM/FTG ELEVATION MATCH EXISTING BOTTOM/FTG ELEVATION.

EXISTING CONSTRUCTION/CONDITIONS:

- 1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS CORRESPONDING TO THE LOCATION OF EXISTING ELEMENTS...
2. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS...
3. REMOVE AND REPLACE AND/OR MODIFY ALL EXISTING CONSTRUCTION...
4. CONTRACTOR SHALL DESIGN AND PROVIDE ALL SHORINGS REQUIRED TO SUPPORT EXISTING CONSTRUCTION AND NEW CONSTRUCTION...

FOUNDATION & EARTHWORK:

- 1. ALL EXTERIOR FOOTINGS MUST BE AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.
2. DO NOT PLACE ANY FOOTINGS ON FROZEN SUBGRADE.
3. BACK FILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.
4. DO NOT PLACE BACK FILL AGAINST BASEMENT WALLS UNTIL THE TOP AND BOTTOM OF THE WALL ARE ADEQUATELY BRACED BY THE SLAB ON GRADE AND THE FLOOR FRAMING AT THE TOP OF THE WALL.
5. REMOVE ANY EXISTING CONCRETE 2'-0" BELOW NEW CONCRETE FOOTINGS AND SLABS ON GRADE.
6. SHORINGS/OR UNDERPINNING SHALL BE DESIGNED TO LIMIT HORIZONTAL AND VERTICAL MOVEMENT OF EXISTING CONSTRUCTION TO 1/4" MAXIMUM IN ANY DIRECTION.
7. CENTER PIER AND COLUMN FOOTINGS ON COLUMN CENTERLINES AND WALL FOOTINGS ON WALL CENTERLINES UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ALL BACK FILL WITHIN 3'-0" OF RETAINING WALLS AND BASEMENT WALLS SHALL BE FREE DRAINING GRANULAR MATERIAL...
9. TOP OF FOOTING ELEVATIONS SHOWN ON THESE CONSTRUCTION DOCUMENTS REPRESENT MINIMUM FOOTING DEPTHS FOR FROST PROTECTION...
10. FOOTING EXCAVATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL...
11. REFER TO SOILS REPORT (IF APPLICABLE) FOR DESCRIPTION OF EXISTING SOIL CONDITIONS...
12. WHERE NEW FOOTINGS ABUT EXISTING FOOTINGS, STEP THE NEW FOOTINGS AS REQUIRED TO HAVE NEW BOTTOM/FTG ELEVATION MATCH EXISTING BOTTOM/FTG ELEVATION.

MATERIAL SYMBOLS IN SECTION

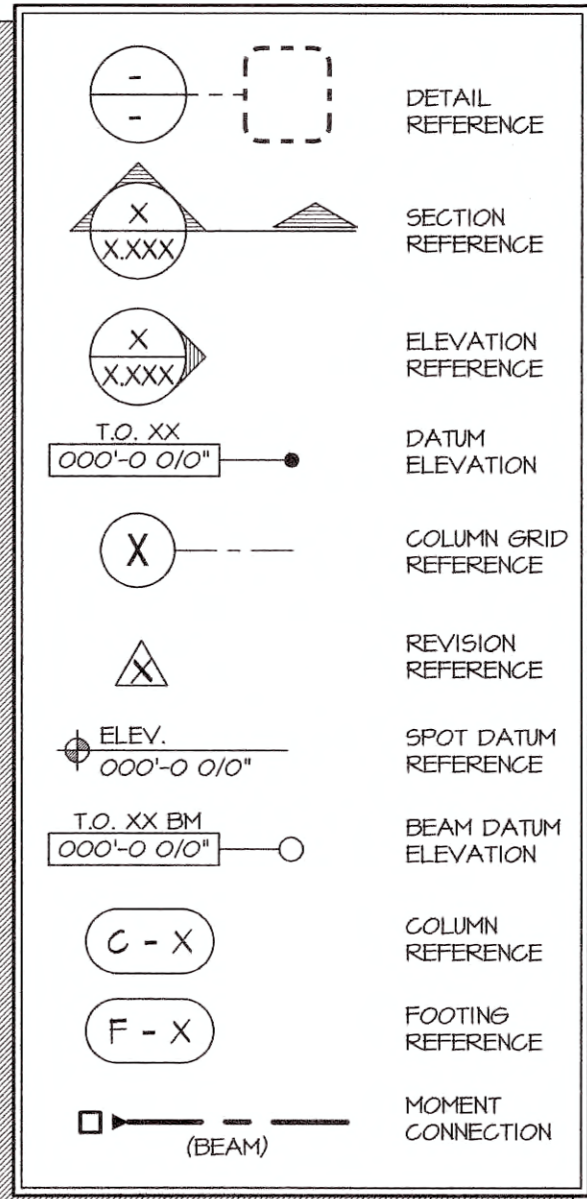
Table mapping material symbols to their respective materials: Concrete, Undisturbed Native Soil, Native Backfill Soil, Drained Granular Backfill, Wood Structural Member, Wood Blocking Member, Non-Structural Masonry Veneer.

FRAMING PLAN SYMBOLS

Table mapping framing plan symbols to their respective locations: Toilet Location Above, Area of Mechanical Unit Location, Area of Increased Live Load, Location of Shower Above, Point Load (Above) Location, Bearing Wall Location, Bearing Wall (Above) Location.

ABBREVIATIONS:

Table of abbreviations for various construction terms including Anchor Bolt, Adjacent, Additional, Above Finished Floor, Alternate, Aluminum, Approximate, Architect/Architectural, Bottom Chord, Building, Beam, Bearing, Bottom of, Cantilevered, Cast-in-place, Control Joint, Center Line, Ceiling, Concrete Masonry Unit, Column, Concrete, Connection, Continuous, Diameter, Demolition, Dimension, Down, Dead Load, Drawing, Dowel, EA, EAGH, ELEC, ELEV, ENG, EQ, EQUIP, EACH WAY, EXISTING, EXP, EXTERIOR, FOUNDATION, FLR, FLD, FIELD VERIFY, GA, GALV, GALVANIZED, GENERAL, CONTRACTOR, GRD, GEN, HORIZ, H.S.S., HOLLOW STRUCTURAL SECTION, HST, HEATING, VENTILATION, & AIR CONDITIONING, ID, INT, INTERIOR, JST, JOIST, K, KIPS, KSF, KIPS PER SQUARE INCH, L, lbs, LBS, LIVE LOAD, LLH, LONG-LEG HORIZONTAL, LLV, LONG-LEG VERTICAL, L.V.L., LAMINATED VENEER LUMBER, LWT, LIGHT WEIGHT, MAT, MATERIAL, MAX, MAXIMUM, MECH, MECHANICAL, MIN, MINIMUM, MISC, MISCELLANEOUS, M.O., MASONRY OPENING, N.A., NOT APPLICABLE, N.T.S., NOT TO SCALE, NMAT, NORMAL HEIGHT, O.C., ON CENTER, O.D., OUTSIDE DIAMETER, O.H., OVERHEAD, pcF, POUNDS PER CUBIC FOOT, pcf, POUNDS PER CUBIC INCH, pif, POUNDS PER LINEAL FOOT, psf, POUNDS PER SQUARE INCH, P.T., PRESSURE TREATED, R, RADIUS, REIN, REINFORCED/REINFORCEMENT, REQ'D, REQUIRED, REV, REVISION, R.T.U., ROOF TOP UNIT, SIM, SIMILAR, SPEC, SPECIFICATION, S.O.G., SLAB ON GRADE, SQ, SQUARE, S.S., STAINLESS STEEL, STD, STANDARD, STL, STEEL, T.C., TOP CHORD, TEMP, TEMPERATURE, T.O., TOP OF, TYP, TYPICAL, U.O.N., UNLESS OTHERWISE NOTED, W/O, WITHOUT, WD, WOOD, W.W.F., WELDED WIRE FABRIC, X, WITH, Y, FEET, Z, INCH



SCOPE OF DRAWING: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

SHEET INDEX table with columns for sheet number and description.

GAS STATION REMODEL - PRELIM

17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

STRUCTURAL SPECIFICATIONS & INDEX SHEET

S.001

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462



REVISIONS table with columns for revision number, description, and date.

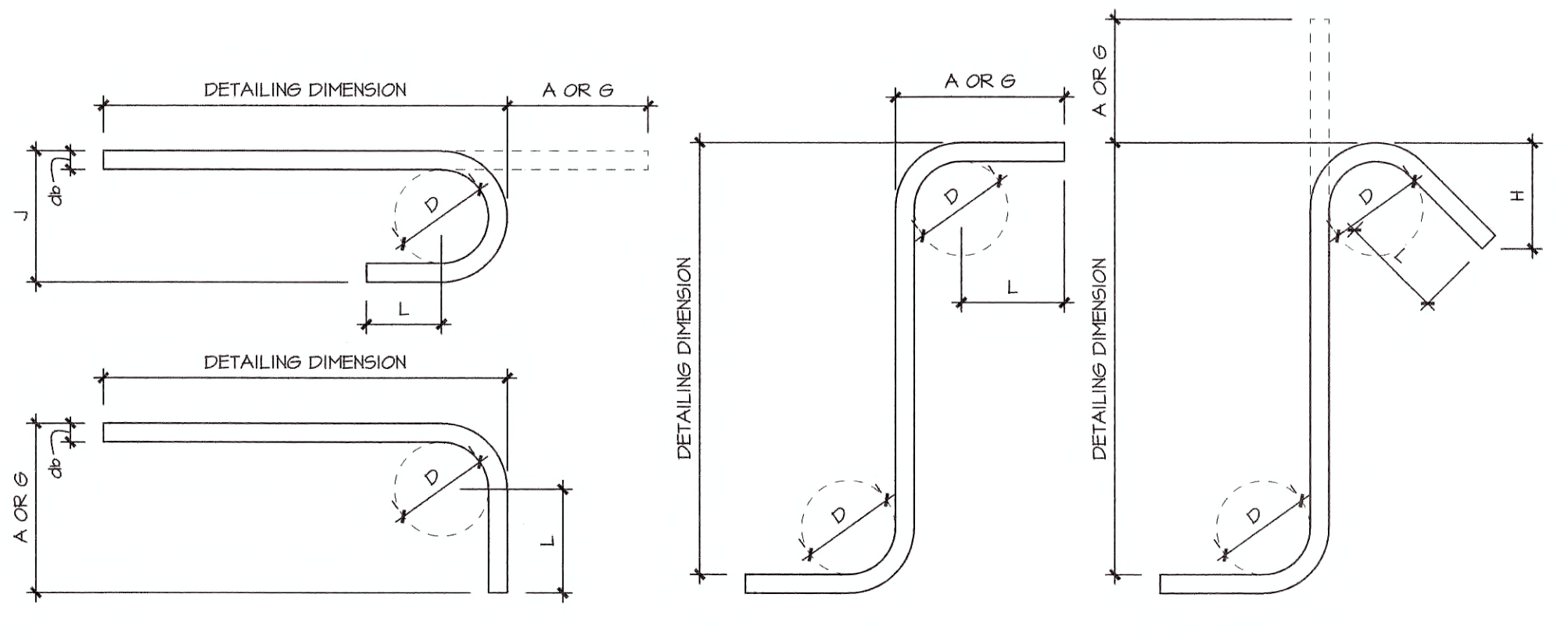
CAST-IN-PLACE REINFORCED CONCRETE.

- CONCRETE WORK SHALL CONFORM TO ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- CONTRACTOR SHALL SUBMIT A SET OF STEEL REBAR SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- MAXIMUM WATER/CEMENT RATIO FOR CONCRETE SHALL BE AS FOLLOWS:
 - 0.47 FOR SLABS ON GRADE
 - 0.54 FOR CONCRETE BELOW GRADE
 - 0.42 FOR EXPOSED CONCRETE
- CONCRETE EXPOSED TO EXTERIOR CONDITIONS SHALL BE AIR-ENTRAINED 4% - 6%.
- GROUT BELOW BASE PLATES AND BEARING PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT 3/4" THICK MINIMUM.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60). DEFORMED WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.
- PROVIDE (2)-#5 BARS AROUND ALL OPENINGS AND (2)-#5 BARS DIAGONALLY AT ALL OPENING CORNERS. EXTEND BARS 2'-6" PAST OPENING.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS, AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
- PROVIDE A 1" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE.
- DO NOT PLACE CONDUITS, PIPES, DUCTS, OR FIXTURES IN STRUCTURAL CONCRETE UNLESS NOTED OTHERWISE.
- SLEEVES, CONDUITS, OR PIPING PASSING THROUGH CONCRETE SLABS AND WALLS SHALL BE PLACED SO THAT THEY ARE NOT CLOSER THAN THREE DIAMETERS ON CENTER AND SO THAT THEY DO NOT DISPLACE REINFORCING.
- PROVIDE SAW CUT CONTROL JOINTS IN CONCRETE SLABS ON METAL DECK SPACED NO MORE THAN 20'-0" APART. PLACE CONTROL JOINTS ON COLUMN CENTER LINES IN EACH DIRECTION. REFER TO CONTROL JOINT LAYOUT SHOWN ON FOUNDATION PLAN FOR REFERENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BUMPS, FLOOR CURLING, ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.
- REFER TO REINFORCEMENT DEVELOPMENT AND LAP SPlice SCHEDULE FOR LAP SPLICES IN REINFORCING STEEL.
- ALL LAPS IN REINFORCING STEEL SHALL BE CLASS "B" LAP SPLICES UNLESS OTHERWISE NOTED.
- CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULT COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- MAXIMUM SLUMP FOR ALL CONCRETE SHALL NOT EXCEED 4".
- FOR SLABS ON GRADE, PROVIDE POLYPROPYLENE FIBER REINFORCED CONCRETE WITH A FIBER DOSED AT 0.1% BY VOLUME.
- CLASS C FLY ASH OR SLAG MAY BE SUBSTITUTED FOR CEMENT ON A POUND TO POUND BASIS UP TO 10% OF THE TOTAL CEMENTITIOUS CONTENT.
- ALL CONCRETE SLABS SHALL BE WET CURED PER ACI RECOMMENDATIONS FOR NO LESS THAN SEVEN DAYS.
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
- PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE (UNLESS OTHERWISE NOTED):

FOOTINGS - ALL SIDES	3"
SLABS NOT PERMANENTLY AGAINST EARTH - BOTTOM 4 SIDES	1"
SLABS PERMANENTLY AGAINST EARTH - BOTTOM 4 SIDES	3"
SLABS - TOP	3/4"
WALLS NOT PERMANENTLY AGAINST EARTH	1"
WALLS PERMANENTLY AGAINST EARTH	3"
BEAMS 4 GIRDDERS NOT PERMANENTLY AGAINST EARTH	1 1/2"
BEAMS 4 GIRDDERS NOT PERMANENTLY AGAINST EARTH	1 1/2"
PIERS 4 COLUMNS NOT PERMANENTLY AGAINST EARTH	2"
- CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. ANY CONCRETE SURFACE REPAIRS SHALL BE PERFORMED BY THE CONTRACTOR AS REQUIRED. REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS.

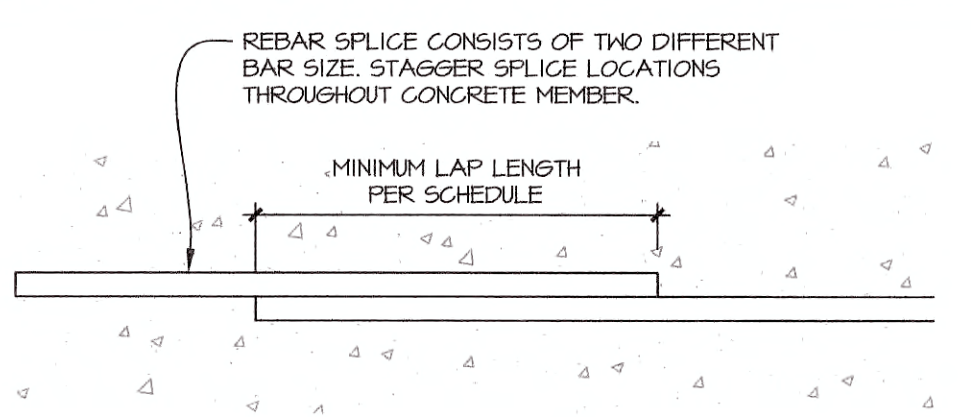
PRE-CAST CONCRETE.

- PRE-CAST DESIGN, DETAILING, MANUFACTURING AND ERECTION SHALL CONFORM TO PCI DESIGN HANDBOOK.
- PRE-CAST CONCRETE SUPPLIER SHALL DESIGN AND PROVIDE ALL LINTELS ACROSS OPENINGS IN NEW PRE-CAST CONCRETE WALL PANELS, THIS INCLUDES ANY HOT-ROLLED STEEL REQUIRED TO SUPPORT PRE-CAST CONCRETE MEMBERS.
- PRE-CAST CONCRETE WALL PANELS SHALL BE DESIGNED TO RESIST ALL LATERAL LOADS STATED ON THE CONSTRUCTION DOCUMENTS. THIS INCLUDES ALL CONNECTIONS BETWEEN PRE-CAST ELEMENTS, CONNECTIONS TO THE FOUNDATION, AND CONNECTIONS TO THE ROOF 4 FLOORS.
- MANUFACTURE SHALL DESIGN PRE-CAST CONCRETE TEES, PLANK, COLUMNS, AND WALL PANELS TO RESIST VERTICAL AND LATERAL LOADS SPECIFIED ON THE CONSTRUCTION DOCUMENTS. MANUFACTURE SHALL DESIGN ALL CONNECTIONS BETWEEN PRE-CAST ELEMENTS AND CONNECTIONS TO THE FOUNDATION TO RESIST ALL LOADS SPECIFIED.
- MANUFACTURE SHALL GROUT PRE-CAST PLANK SOLID AND ADD STEEL REINFORCEMENT TO PRE-CAST PLANK AS REQUIRED TO SUPPORT ALL LOADS STATED ON THESE CONSTRUCTION DOCUMENTS.
- PRE-CAST CONCRETE MEMBERS SHALL BE DESIGNED TO SUPPORT ALL VERTICAL LOADS SPECIFIED ON THESE CONTRACT DOCUMENTS. THIS INCLUDES ANY SUPERIMPOSED LOADS FROM PERMANENT EQUIPMENT (FOLDING PARTITIONS, MECHANICAL UNITS, SURGICAL LIGHTS, ETC.).
- DESIGN PRE-CAST CONCRETE PLANK TO SUPPORT ALL STAIR STRINGER REACTIONS. COORDINATE STEEL STAIR CONNECTIONS TO PRE-CAST CONCRETE PLANK WITH STEEL SUPPLIER ON THIS PROJECT.
- FINISH CONCRETE TOPPING ON TOP OF PRE-CAST CONCRETE PLANK TO A LEVEL SURFACE.
- PLACE CONCRETE TOPPING ON TOP OF PRE-CAST CONCRETE PLANK BEFORE CONSTRUCTION OF ANY PARTITION WALLS.



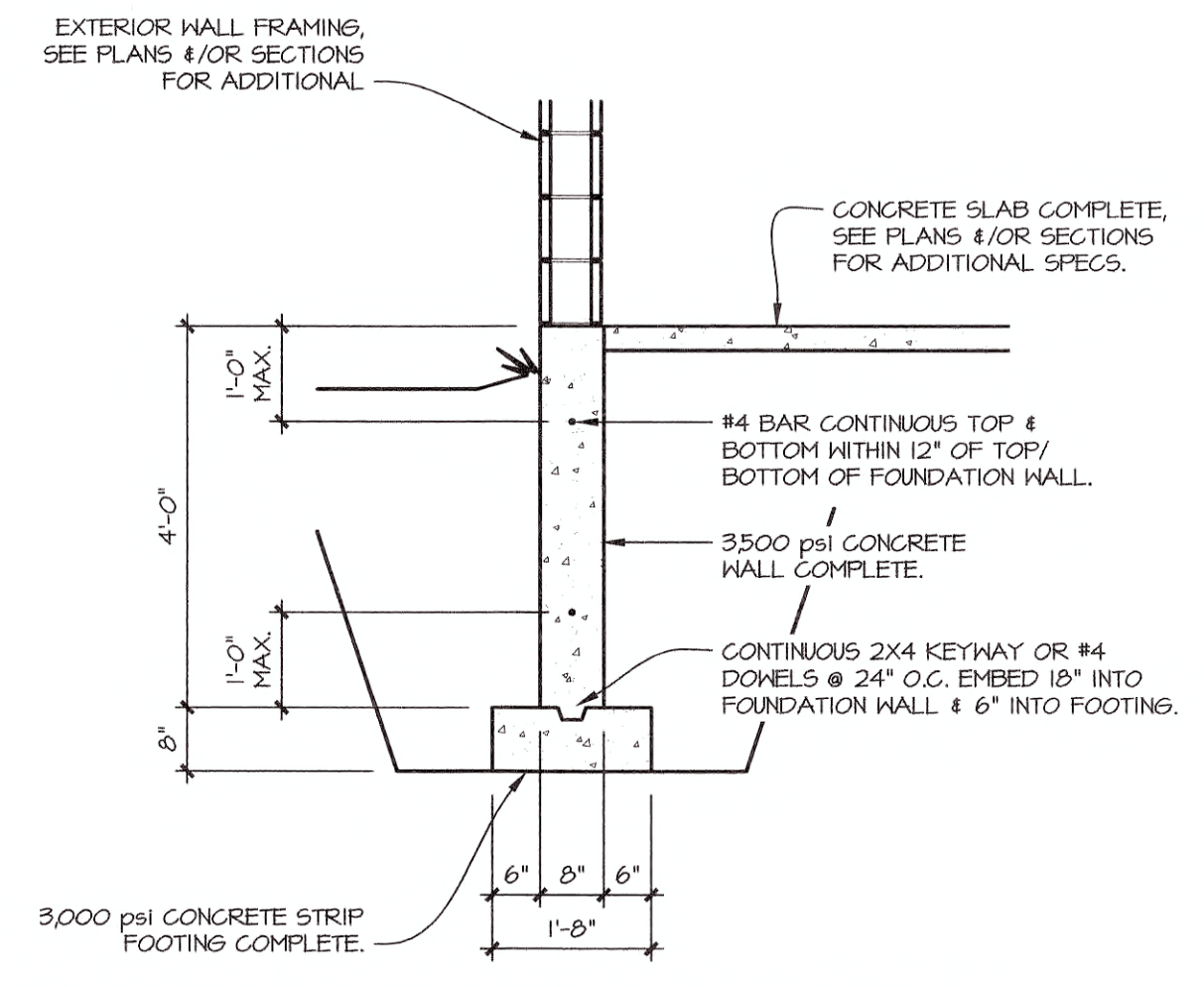
BAR SIZE	180° HOOK				90° HOOK		
	A OR G	J	D	L	A OR G	D	L
#3	5"	3"	2 1/4"	2 1/2"	6"	2 1/4"	4 1/2"
#4	6"	4"	3"	2 1/2"	8"	3"	6"
#5	7"	5"	3 3/4"	2 1/2"	10"	3 3/4"	7 1/2"
#6	8"	6"	4 1/2"	3"	12"	4 1/2"	9"
#7	10"	7"	5 1/4"	3 1/2"	14"	5 1/4"	10 1/2"
#8	11"	8"	6"	4"	16"	6"	12"

BAR SIZE	90° HOOK/TIE				135° HOOK/TIE		
	A OR G	D	L	H	A OR G	D	L
#3	4"	1 1/2"	2 1/4"	4 1/4"	1 1/2"	2 1/2"	3"
#4	4 1/2"	2"	3"	4 1/2"	2"	3"	3"
#5	6"	2 1/2"	3 3/4"	5 1/2"	2 1/2"	3 3/4"	3 3/4"
#6	12"	4 1/2"	4"	7 3/4"	4 1/2"	4 1/2"	4 1/2"
#7	14"	5 1/4"	10 1/2"	9"	5 1/4"	5 1/4"	5 1/4"
#8	16"	6"	12"	10 1/4"	6"	6"	6"

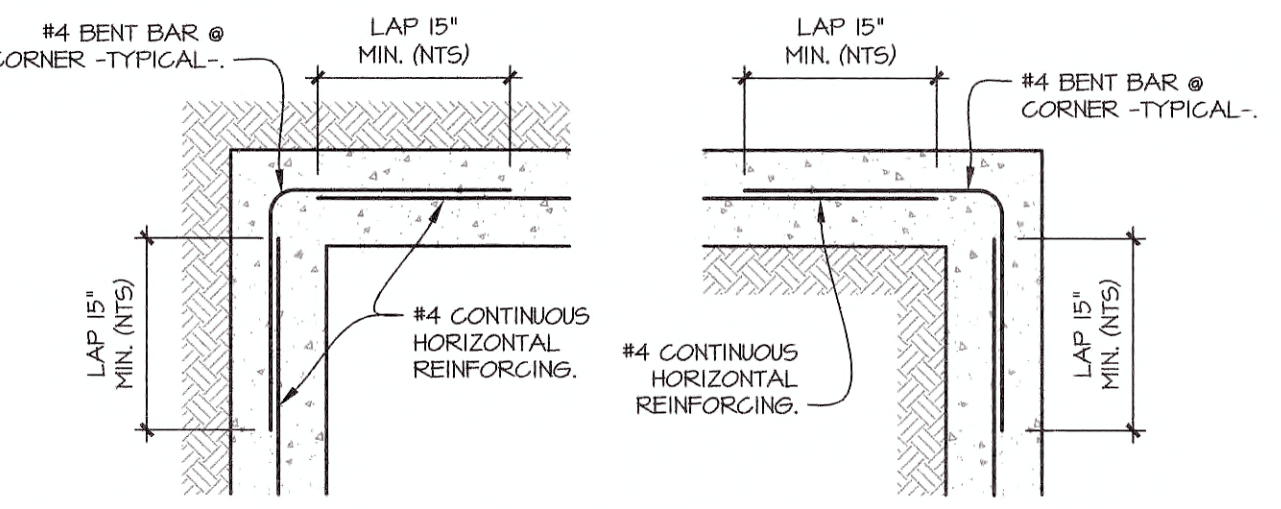


BAR SIZE	REBAR (TENSION) LAP LENGTHS SCHEDULE (UNLESS OTHERWISE NOTED)			
	MINIMUM CLASS "B" LAP LENGTH FOR 3,000 PSI CONCRETE.	MINIMUM CLASS "B" LAP LENGTH FOR 4,000 PSI CONCRETE.	MINIMUM CLASS "B" LAP LENGTH FOR 5,000 PSI CONCRETE.	MINIMUM CLASS "B" LAP LENGTH FOR 6,000 PSI CONCRETE.
#3	22 INCHES	18 INCHES	17 INCHES	15 INCHES
#4	24 INCHES	25 INCHES	22 INCHES	20 INCHES
#5	36 INCHES	31 INCHES	28 INCHES	25 INCHES
#6	43 INCHES	37 INCHES	33 INCHES	30 INCHES
#7	63 INCHES	54 INCHES	44 INCHES	44 INCHES
#8	71 INCHES	62 INCHES	55 INCHES	51 INCHES

NOTE: THIS SCHEDULE IS APPLICABLE FOR NORMAL WEIGHT CONCRETE, NON-ZINC OR NON-EPOXY COATED, 4 NON-BUNDLED GRADE 60 REBAR.



1 FROST FOUNDATION WALL SECTION
5.002 1/2" = 1'-0"

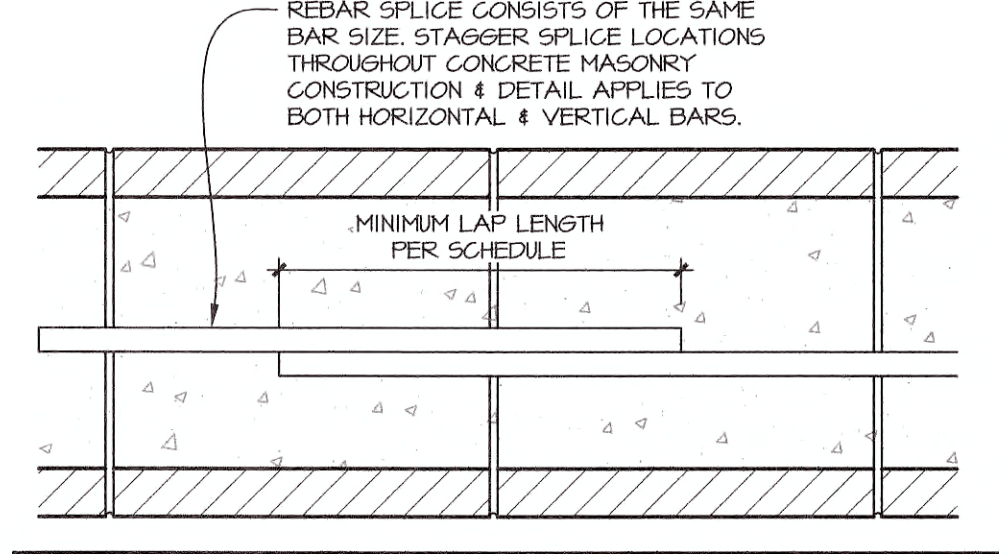


2 HORIZONTAL REINFORCING @ CORNERS
5.002 1/2" = 1'-0"

MASONRY.

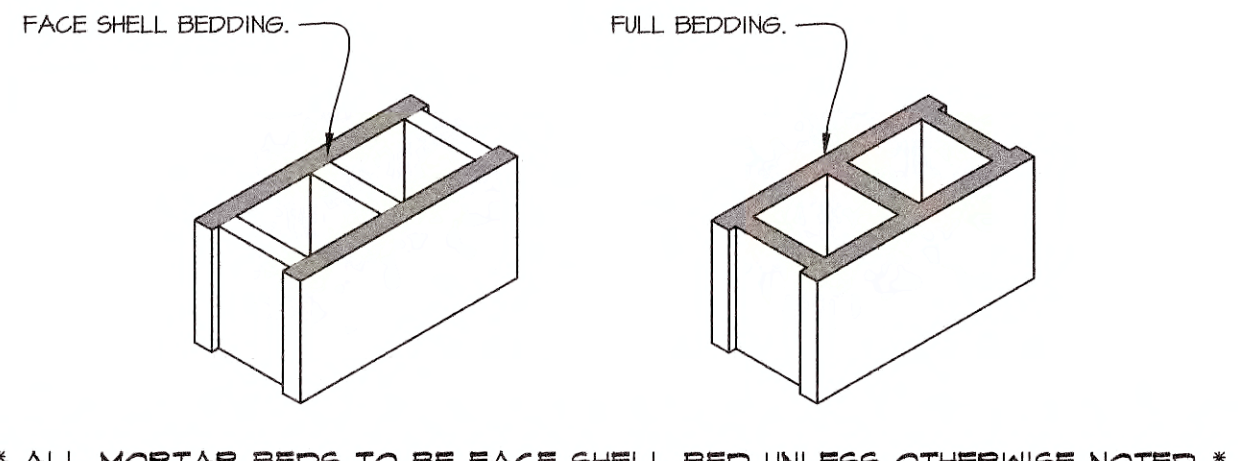
- MASONRY CONSTRUCTION SHALL CONFORM TO THE TMS 402-13/ ACI 503-13/ ACSE 5-13 4 TMS 602-13/ ACI 530.1-13/ ASCE 6-13 "THE MASONRY STANDARDS JOINT COMMITTEE - BUILDING CODE REQUIREMENTS 4 SPECIFICATIONS FOR MASONRY STRUCTURES".
- PROVIDE VERTICAL WALL CONTROL JOINTS IN MASONRY WALLS AS FOLLOWS:
 - 25'-0" MAXIMUM FROM CORNER OF WALLS
 - 50'-0" O.C. MAXIMUM
 - AT CHANGES IN WALL HEIGHT AND THICKNESS
 - AT WALLS ABUTTING COLUMNS
- REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF ALL VERTICAL CONTROL JOINTS IN INTERIOR 4 EXTERIOR WALLS.
- ALL MASONRY (BOND BEAMS, PILASTERS, LINTELS) SHALL BE GROUTED SOLID WITH CONCRETE HAVING F_c=2,000 PSI UNLESS NOTED OTHERWISE. COARSE AGGREGATE SHALL BE PEA GRAVEL.
- LAP VERTICAL WALL REINFORCEMENT A MINIMUM OF 36" UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL GROUT MASONRY SOLID AT ALL ANCHOR BOLT LOCATIONS.
- ALL MASONRY WALLS SHALL BE CONSTRUCTED IN A RUNNING BOND PATTERN UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DOCUMENTS.
- ALLOWABLE SITE TOLERANCES:

DIMENSION OF ELEMENTS:	
- IN CROSS SECTION OR ELEVATION	1/4" TO 1/2"
- MORTAR JOINT THICKNESS BETWEEN COURSES	#1/8
- GROUT SPACE OR CAVITY WIDTH (EXCEPT FOR WALLS PASSING FRAINED CONSTRUCTION)	1/4" TO 3/8"
ELEMENTS:	
- VARIATION FROM LEVEL IN BED JOINTS	1/4" IN 10 FT. 1/2" MAX. OVERALL
- VARIATION FROM LEVEL OF TOP SURFACE OF WALLS	1/4" IN 10 FT. 1/2" MAX. OVERALL
- VARIATION FROM PLUMB	1/4" IN 10 FT. 15/8" IN 20 FT. 1/2" MAX. OVERALL
- TRUE TO A LINE	1/4" IN 10 FT. 15/8" IN 20 FT. 1/2" MAX. OVERALL
- ALIGNMENT OF COLUMNS 4 WALLS (TOP vs BOTTOM)	1/2" FOR LOAD BEARING 15/4" FOR NON-LOAD BEARING
LOCATION OF ELEMENTS:	
- INDICATED IN PLAN	1/2" IN 20 FT.
- INDICATED IN ELEVATION	1/4" IN STORY HEIGHT

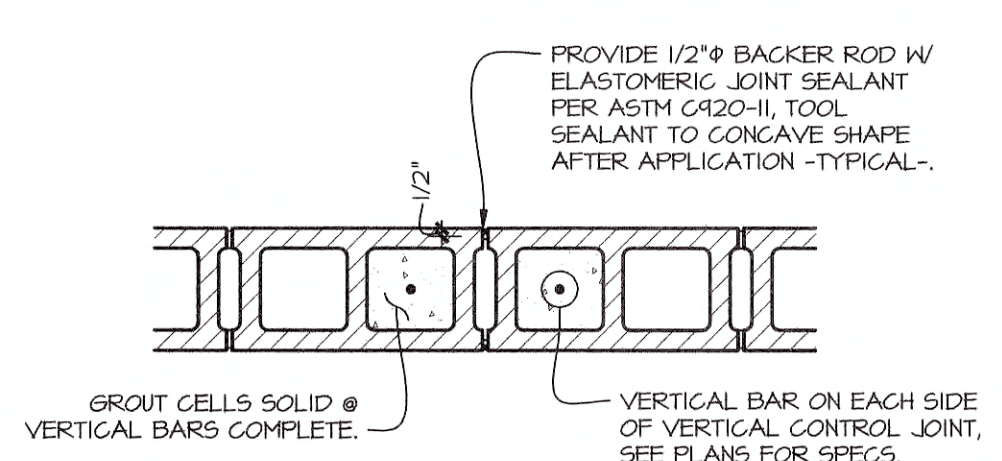


BAR SIZE	CMU LAP SPLICE REQUIREMENTS	
	MAXIMUM TRANSVERSE DISTANCE BETWEEN LAPPED BARS.	MINIMUM LAP SPLICE LENGTH.
#3	17 INCHES	14 INCHES
#4	22 INCHES	19 INCHES
#5	28 INCHES	24 INCHES
#6	33 INCHES	29 INCHES
#7	48 INCHES	42 INCHES
#8	55 INCHES	48 INCHES

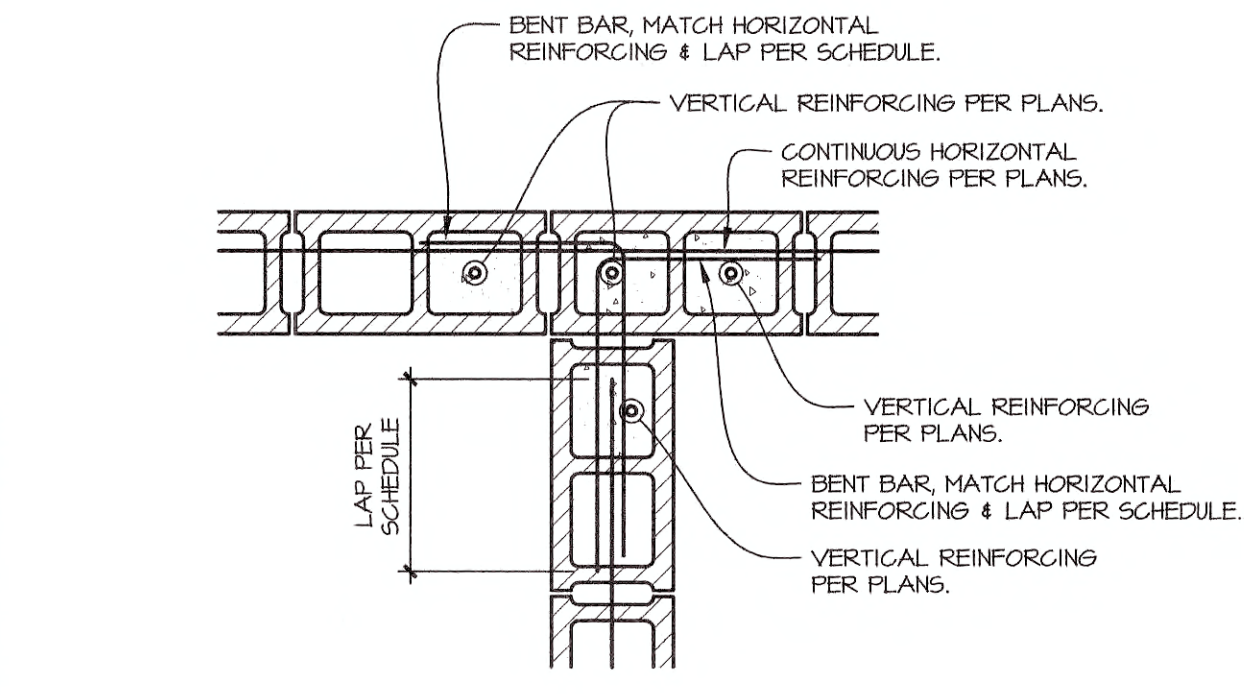
NOTE: THIS SCHEDULE IS APPLICABLE FOR NON-EPOXY COATED GRADE 60 REBAR.



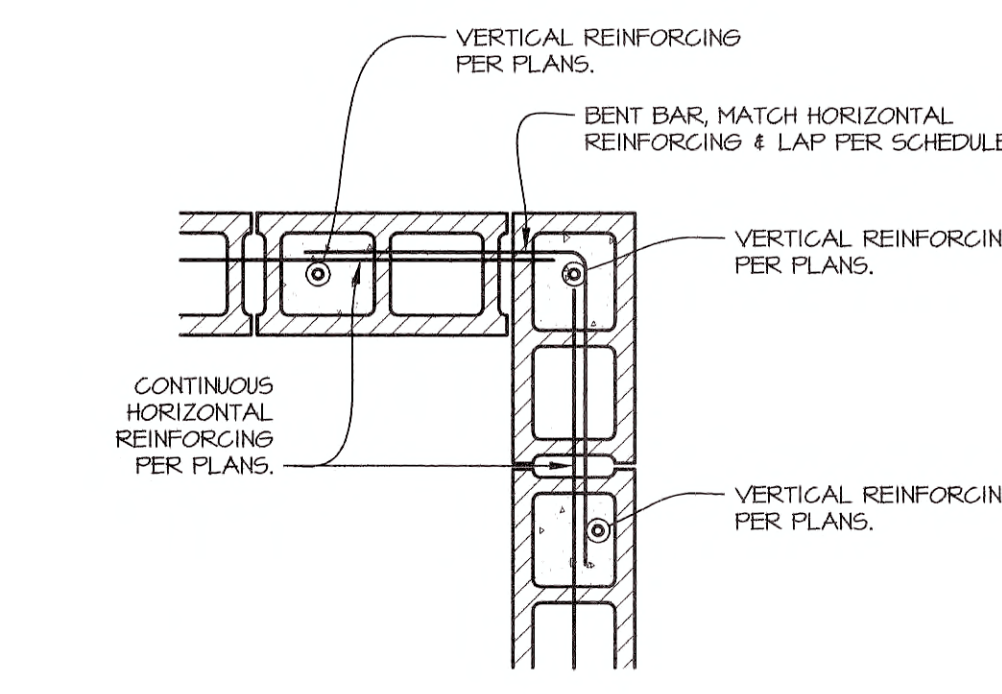
3 CMU MORTAR BED DETAIL
5.002 1" = 1'-0"



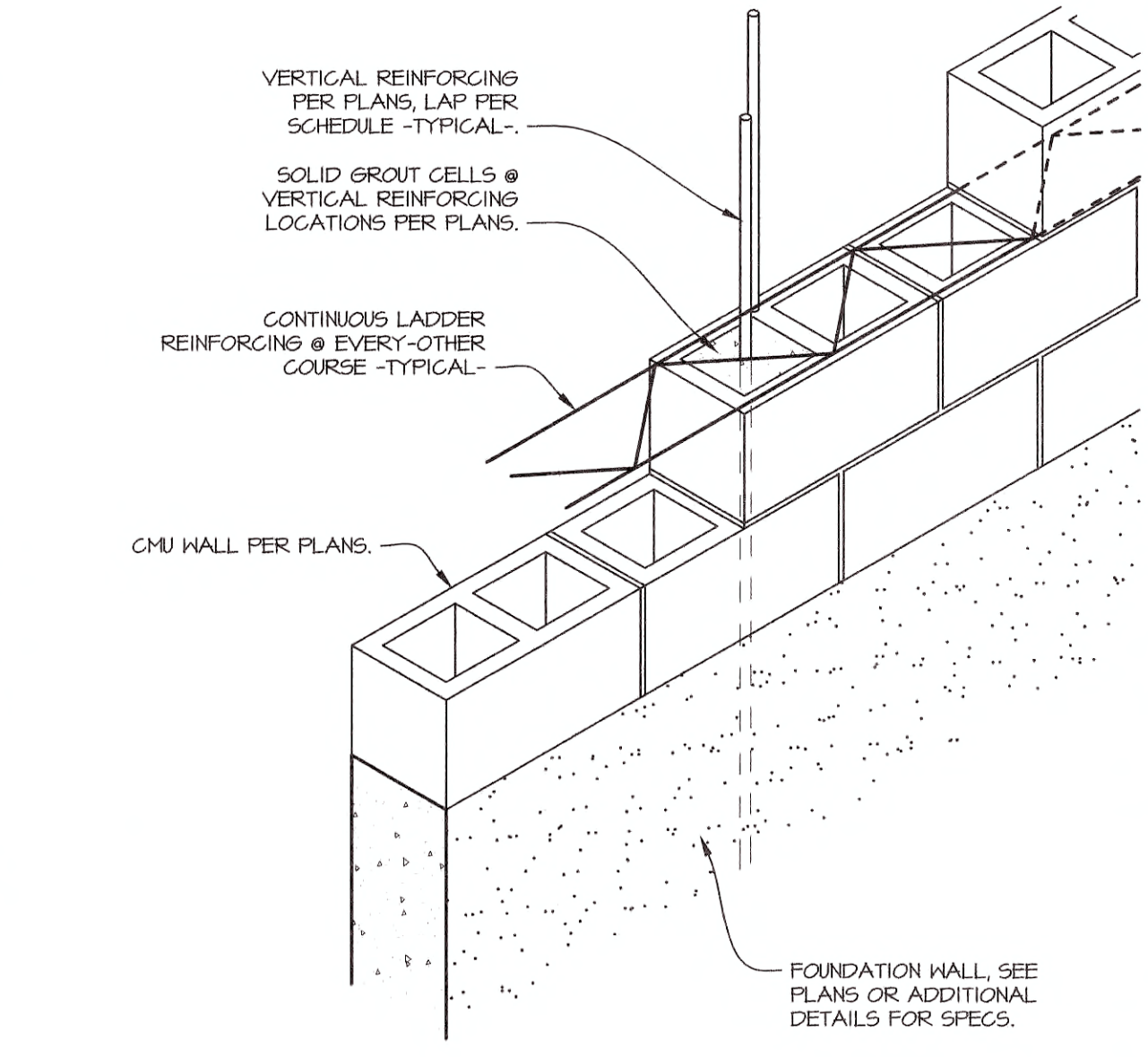
4 VERTICAL CONTROL JOINT
5.002 1" = 1'-0"



5 HORIZONTAL REINFORCING @ INTERSECTION
5.002 1" = 1'-0"



6 HORIZONTAL REINFORCING @ CORNER
5.002 1" = 1'-0"



7 WALL ISOMETRIC VIEW
5.002 1" = 1'-0"

GAS STATION REMODEL - PRELIM

17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

S.002

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462



REVISIONS:

STRUCTURAL STEEL:

- DESIGN, DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC 360-10 "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS".
- SEISMIC DESIGN, DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC 341-10 "SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS".
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS HOLDING CURRENT AWS CERTIFICATES IN THE TYPES OF WELDING SPECIFIED ON THESE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE STRUCTURAL DESIGNER OF RECORD.
- CONTRACTOR SHALL DESIGN AND PROVIDE ANY TEMPORARY BRACINGS OR GUY'S REQUIRED TO ERECT STEEL MEMBERS. TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURE IS IN PLACE AND SECURE.
- PROVIDE 3/16" CAP PLATE AT THE ENDS OF ALL EXPOSED TUBE AND PIPE MEMBERS.
- STAIRS, HANDRAILS, AND GUARDRAILS SHALL BE DESIGNED BY THE STEEL SUPPLIER OR ARCHITECT OR RECORD, VERIFY ROLES AND RESPONSIBILITY.
- ALL STEEL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER (WITHIN MILL TOLERANCE).
- THE STEEL SUPPLIER SHALL COORDINATE HIS WORK WITH THE STEEL JOIST SUPPLIER ON THE PROJECT (IF APPLICABLE, SEE CONSTRUCTION DOCUMENTS).
- CAPACITY OF BOLTED OR WELDED CONNECTIONS SHALL BE EQUAL TO OR EXCEED 120% OF BEAM REACTION PRODUCED BY MAXIMUM ALLOWABLE UNIFORM LOAD ON THE GIVEN MEMBER SPAN.
- UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS, ALL BEAM CONNECTIONS SHALL BE DOUBLE ANGLE CONNECTIONS WITH A325 BOLTS. AT BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS, PROVIDE AS MANY BOLTS AS POSSIBLE IN BEAM FLANGE. DOUBLE ANGLE WELDED CONNECTIONS MAY BE USED TO DEVELOP THE SAME CAPACITY AS A BOLTED CONNECTION.
- ALTERNATE CONNECTIONS FROM WHAT IS SPECIFIED ON THE CONSTRUCTION DOCUMENTS WILL NOT BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL DESIGNER OF RECORD.
- USE STANDARD AISC DOUBLE ANGLE CONNECTIONS WHERE POSSIBLE. ALL STANDARD DOUBLE ANGLE CONNECTIONS SHALL BE IN ACCORDANCE WITH ASD CURRENT EDITION AND SHALL BE TYPE 2 FRAMING CONNECTIONS UNLESS NOTED OTHERWISE.
- WHERE WOOD MEMBERS FRAME INTO STEEL MEMBERS, PROVIDE A SADDLE CONNECTION. SEE CONSTRUCTION DOCUMENTS AND/ OR VERIFY CONNECTION WITH STRUCTURAL DESIGNER OF RECORD.
- PROVIDE STIFFENER PLATES ON BOTH SIDES OF BEAM WEBS AT ALL CONCENTRATED LOADS ABOVE AND BELOW A BEAM. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.

WOOD FRAMING:

- DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO AWC NDS-2015 "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION V. 2012 SUPPLEMENT".
- DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO AWC SDPM-2015 "SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC".
- PLYWOOD/ O.S.B. SHEATHING SHALL CONFORM TO THE CURRENT EDITION OF "U.S. PRODUCT STANDARD PS-1" FOR SOFTWOOD PLYWOOD/ O.S.B. AND BEAR THE APA GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.
- PLYWOOD/ O.S.B. SHEATHING SHALL BE ATTACHED TO WOOD FRAMING WITH "STRENGTH AXIS PARALLEL TO FLOOR. STAGGER ALL JOINTS.
- PLYWOOD/ O.S.B. SHEATHING SHALL BE FASTENED TO SUPPORTS W/ 8d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
- ANY PLYWOOD/ O.S.B. SHEATHING THAT IS EXPOSED TO MOISTURE SHALL BE PRESSURE TREATED.
- PLYWOOD/ O.S.B. PANEL EDGES SHALL BEAR ON THE FRAMING SUPPORT MEMBERS AND BUTT ALONG THEIR CENTER LINES. NAILS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM THE PANEL EDGE.
- WOOD SILL PLATES AND OTHER WOOD MEMBERS DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- MAXIMUM MOISTURE CONTENT IN ANY WOOD MEMBER SHALL NOT EXCEED 19%.
- 2x WOOD JOISTS SHALL HAVE 1x3 SFF NO.2 CROSS BRIDGING AT 8'-0" O.C. MAXIMUM.
- DO NOT EMBED NON-PRESSURE TREATED WOOD MEMBERS IN CONCRETE.
- ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM. USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHERS BETWEEN NUT AND WOOD. VERIFY GALVANIC REACTION CONDITIONS AND REQUIREMENTS.
- ALL FASTENERS ATTACHING PRESSURE TREATED WOOD MEMBERS TO CONCRETE OR MASONRY SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- MAKE NO SUBSTITUTIONS OF ANY ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SPECIFIED ON ANY FRAMING PLANS WITH OUT THE DIRECT WRITTEN PERMISSION OF THE STRUCTURAL DESIGNER OF RECORD.

METAL PLATE CONNECTED WOOD TRUSS NOTES/CRITERIA:

- WOOD TRUSSES SHALL BE DESIGNED AND CONFORM TO TPI 1-2014 "NATIONAL DESIGN STANDARD FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION".
- ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
TOP CHORD LIVE LOAD 30 PSF
TOP CHORD DEAD LOAD 10 PSF
BOTTOM CHORD LIVE LOAD N/A (VERIFY NON-STORAGE LOAD)
BOTTOM CHORD DEAD LOAD 10 PSF
- FLOOR TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
TOP CHORD LIVE LOAD 40 PSF
TOP CHORD DEAD LOAD 15 PSF
BOTTOM CHORD LIVE LOAD N/A
BOTTOM CHORD DEAD LOAD 10 PSF
- IN ADDITION TO THE LOADS STATED ABOVE THE TRUSSES SHALL BE DESIGNED FOR ANY SNOW DRIFTING, MECHANICAL, AND/OR ANY SPECIAL LOAD CONDITIONS AS SHOWN ON STRUCTURAL OR ARCHITECTURAL PLANS.
- ROOF TRUSSES SHALL BE DESIGNED FOR A MAXIMUM LIVE LOAD DEFLECTION OF L/240.
- FLOOR TRUSSES SHALL BE DESIGNED FOR A MAXIMUM LIVE LOAD DEFLECTION OF L/480.
- FABRICATION, HANDLING, STORAGE, AND ERECTION SHALL BE IN ACCORDANCE WITH "TRUSS PLATE INSTITUTION" RECOMMENDED PRACTICES AND SHALL BE DONE IN A WORKMAN LIKE MANNER SO AS TO NOT DAMAGE THE TRUSSES. TRUSSES SHALL NOT BE CUT, ADDED ONTO OR ALTERED IN ANY WAY WITH OUT THE WRITTEN CONSENT OF THE TRUSS DESIGNER, STRUCTURAL DESIGNER, OR ARCHITECT OF RECORD.
- WOOD TRUSS DESIGNER/SUPPLIER SHALL SUBMIT FORMAL STAMPED CALCULATIONS BY A REGISTERED ENGINEER FOR REVIEW BEFORE FABRICATION.
- SUBMIT A SET OF TRUSS SHOP DRAWINGS TO THE ARCHITECT & STRUCTURAL DESIGNER OF RECORD FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- SHOP DRAWING SUBMISSIONS SHALL INCLUDE THE FOLLOWING INFORMATION:
- THE NAME, ADDRESS, PHONE NUMBER, AND FAX NUMBER OF THE SUPPLIER.
- SLOPE OR DEPTH, SPAN AND SPACING
- LOCATION OF ALL JOINTS
- ALL DESIGN LOADS
- ADJUSTMENTS TO LUMBER AND METAL CONNECTOR PLATE VALUES FOR CONDITIONS OF USE
- EACH REACTION FORCE AND DIRECTION
- METAL CONNECTOR PLATE TYPE, SIZE, GAUGE, AND THE DIMENSIONAL LOCATION OF EACH CONNECTOR PLATE
- LUMBER SIZE, SPECIES, AND GRADE FOR EACH TRUSS MEMBER
- CONNECTION REQUIREMENTS FOR TRUSS TO TRUSS GIRDERS, TRUSS FLY TO FLY, AND FIELD SPLICES
- CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DEFLECTION FOR LIVE AND TOTAL LOAD
- SPECIFY ALL TRUSS TO TRUSS CONNECTIONS AND HANGERS.
- SPECIFY AND SHOW ALL PERMANENT TRUSS BRACING REQUIRED BY DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR ALL ERECTION PROCEDURES AND TEMPORARY TRUSS BRACING REQUIREMENTS DURING ERECTION IN ACCORDANCE WITH TPI's COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-91 BOOKLET) AND THE CURRENT EDITION OF ANSI/TPI-1.
- TRUSSES EXPOSED TO MOISTURE SHALL BE CONSTRUCTED OF PRESSURE TREATED WOOD AND GALVANIZED METAL PLATES.
- FLOOR TRUSS SPACING SHOWN ON FRAMING PLANS ARE MAXIMUM SPACINGS. TRUSS DESIGNER SHALL REDUCE SPACING AS REQUIRED TO SUPPORT ALL LOADS SPECIFIED ON THESE PLANS AND BY CODE.
- DESIGN ROOF TRUSSES TO RESIST ALL WIND LOADS INCLUDING UPLIFT LOADS (SEE WIND LOADING DIAGRAMS FOR INFORMATION).
- ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED, DETAILED, AND SUPPLIED BY THE TRUSS SUPPLIER/ DESIGNER.
- TRUSS FABRICATOR SHALL FIELD VERIFY ALL SPAN DIMENSIONS BEFORE FABRICATING.

RECOMMENDED SIZES FOR WASHERS & ANCHOR ROD HOLES IN BASE PLATES (AISC TABLE 14-2)

ANCHOR ROD DIAMETER (IN.)	HOLE DIAMETER (IN.)	WASHER SIZE (IN.)	MIN. WASHER THICKNESS (IN.)
3/4	1 5/16	2	1/4
7/8	1 9/16	2 1/2	5/16
1	1 7/8	3	3/8
1 1/4	2 1/8	3 1/2	1/2

NOTES:
1) HOLE SIZES PROVIDED ARE BASED ON ANCHOR ROD SIZES AND CORRELATE WITH ACI 117.
2) CIRCULAR OR SQUARE WASHERS MEETING THE WASHER SIZE ARE ACCEPTABLE.
3) ASTM F844 WASHERS ARE PERMITTED INSTEAD OF PLATE WASHERS WHEN HOLE CLEARANCES ARE LIMITED TO 5/16" FOR ROD DIAMETERS UP TO 1 1/2" FOR ROD DIAMETERS OVER 1" UP TO 2", & 1" FOR ROD DIAMETERS OVER 2".

BOLT HOLE SPECS. FOR STEEL TO STEEL CONNECTIONS.

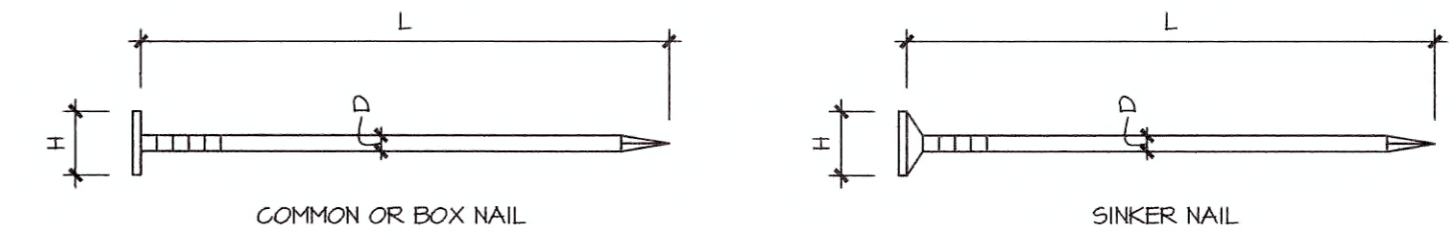
BOLT DIAMETER (IN.)	STD. HOLE SIZE (IN. #)	SHORT-SLOT (WIDTH x LENGTH)	LONG-SLOT (WIDTH x LENGTH)	MINIMUM EDGE DISTANCE (IN.)
1/2	9/16	9/16 X 11/16	9/16 X 1 1/4	3/4
5/8	11/16	11/16 X 7/8	11/16 X 1 9/16	7/8
3/4	13/16	13/16 X 1	13/16 X 1 7/8	1
7/8	15/16	15/16 X 1 1/8	15/16 X 2 3/16	1 1/8
1	1 1/16	1 1/16 X 1 5/16	1 1/16 X 2 1/2	1 1/4

NOTES:
- ALL HOLES ARE TO BE DRILLED, PUNCHED OR THERMALLY CUT.
- THE MINIMUM DISTANCE BETWEEN STANDARD OR SLOTTED HOLE CENTERS ARE TO BE 3D (3 TIMES THE BOLT DIAMETER).
- THE MAXIMUM DISTANCE FROM CENTER OF STANDARD OR SLOTTED HOLE TO EDGE OF CONNECTIONS IS TO BE LESS THAN EITHER 12t (12 TIMES PART THICKNESS) OR 6 INCHES.

PLYWOOD OR OSB SHEATHING "APA" SPAN RATING

SPAN RATING	SHEATHING										
	3/8"	7/16"	15/32"	1/2"	14/32"	5/8"	23/32"	3/4"	7/8"	1"	1 1/8"
24/0	●										
24/16		●									
32/16			●	●							
40/20					●	●					
48/24							●	●			
FRAMING SPACING	SINGLE FLOOR GRADE										
	3/8"	7/16"	15/32"	1/2"	14/32"	5/8"	23/32"	3/4"	7/8"	1"	1 1/8"
16" O.C.					●						
19.2" O.C.						●					
24" O.C.							●				
32" O.C.								●			
48" O.C.									●		

ROOF SHEATHING NOTE:
- PROVIDE 7/16" ROOF SHEATHING W/ SPAN RATINGS OF 24/16 OR BETTER & ATTACH TO RAFTERS W/ 8d NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN THE FIELD.

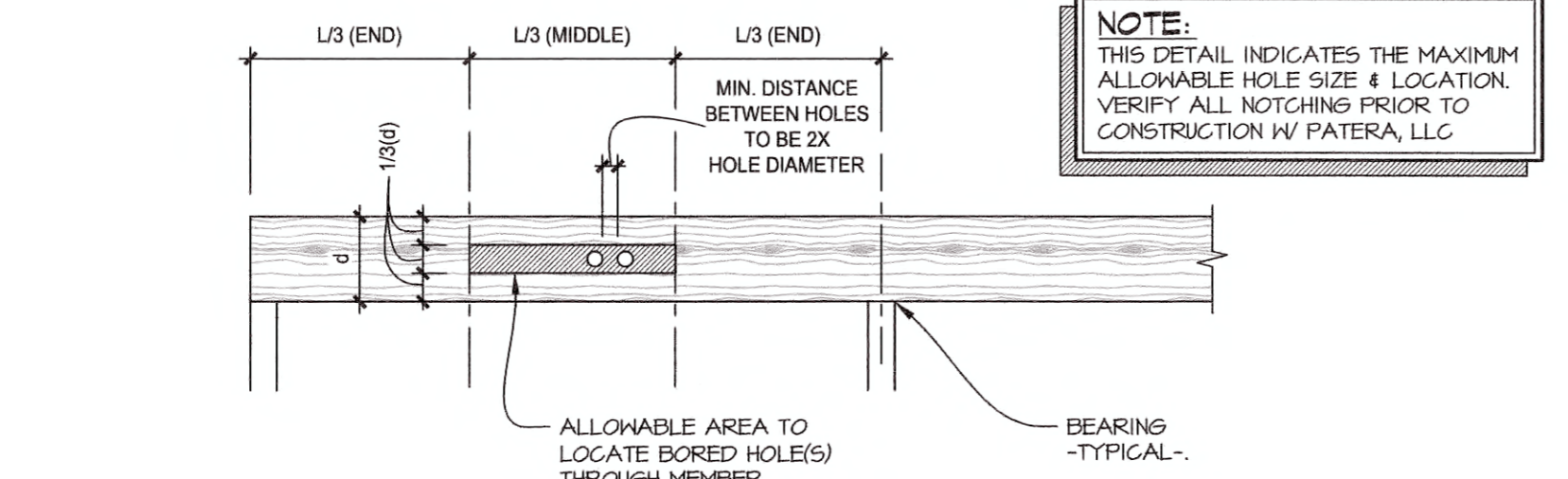


L = LENGTH
D = DIAMETER
H = HEAD DIAMETER

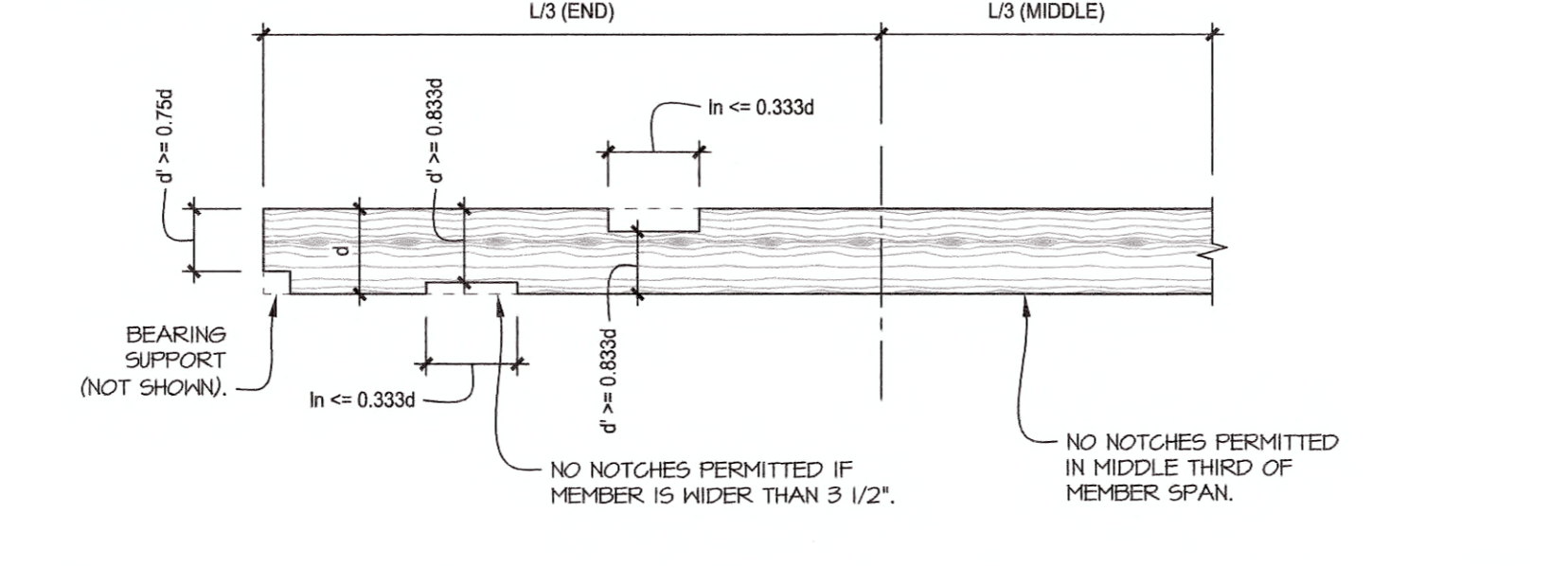
NAIL PENNYWEIGHT

TYPE		NAIL PENNYWEIGHT										
		6D	7D	8D	10D	12D	16D	20D	30D	40D	50D	60D
COMMON	L	2"	2 1/4"	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"
	D	0.118"	0.118"	0.131"	0.148"	0.148"	0.162"	0.192"	0.207"	0.225"	0.244"	0.263"
	H	0.266"	0.266"	0.281"	0.312"	0.312"	0.344"	0.406"	0.438"	0.469"	0.500"	0.531"
BOX	L	2"	2 1/4"	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"
	D	0.094"	0.094"	0.131"	0.128"	0.128"	0.135"	0.148"	0.148"	0.162"	0.162"	0.244"
	H	0.266"	0.266"	0.247"	0.312"	0.312"	0.344"	0.375"	0.375"	0.406"	0.406"	0.531"
SINKER	L	1 7/8"	2 1/8"	2 3/8"	2 7/8"	3 1/8"	3 1/4"	3 3/4"	4 1/4"	4 3/4"	5 3/4"	6"
	D	0.092"	0.094"	0.113"	0.120"	0.135"	0.148"	0.171"	0.192"	0.207"	0.244"	0.263"
	H	0.234"	0.250"	0.266"	0.281"	0.312"	0.344"	0.375"	0.406"	0.438"	0.500"	0.531"

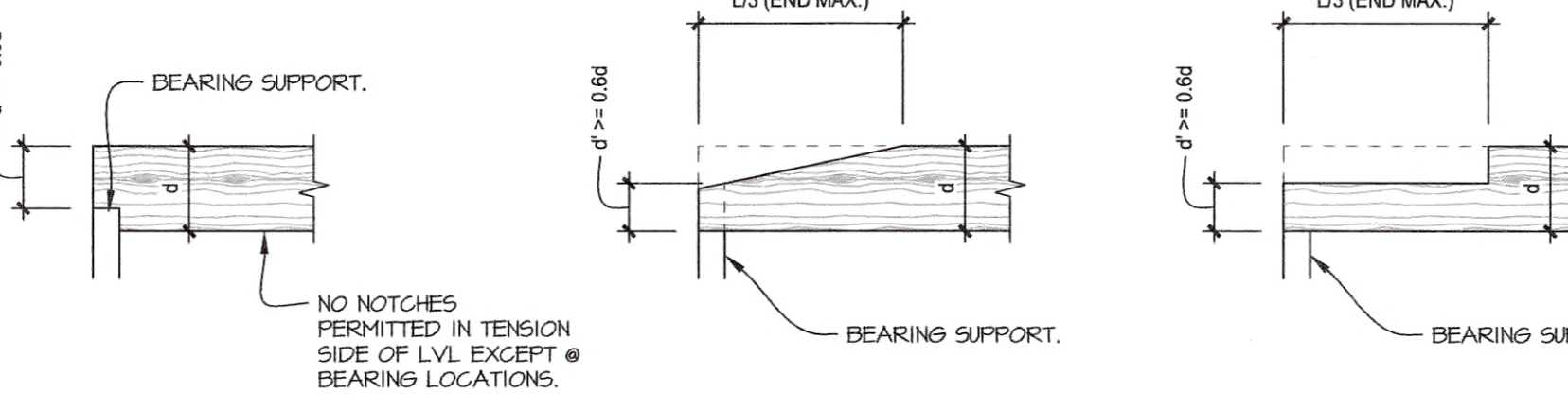
NOTES:
- TOLERANCES SPECIFIED IN ASTM F 1667. TYPICAL SHAPE OF COMMON, BOX, & SINKER NAILS SHOWN. SEE ASTM F 1667 FOR OTHER NAIL TYPES.



1 5.003 1/2" = 1'-0"
GENERIC ALLOWABLE HOLE LOCATION IN WOOD MEMBER

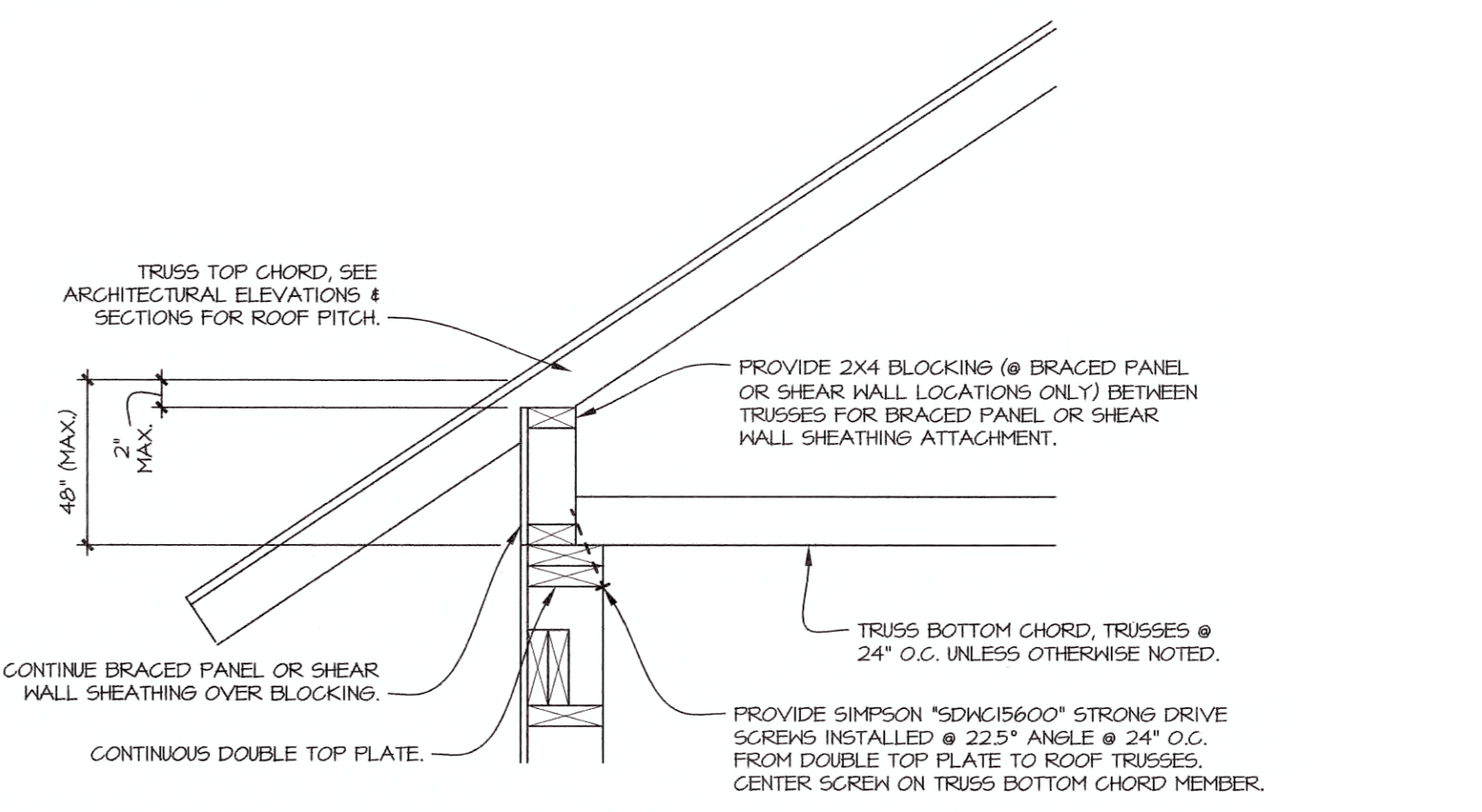


2 5.003 1/2" = 1'-0"
GENERIC NOTCHING DETAIL FOR SOLID SAWM MEMBERS



3 5.003 1/2" = 1'-0"
GENERIC NOTCHING DETAILS FOR LVL MEMBERS

4 5.003 1" = 1'-0"
TYPICAL NAIL DIMENSIONS



5 5.003 1" = 1'-0"
ROOF TRUSS CONNECTION TO TOP PLATE

GAS STATION REMODEL - PRELIM

17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

STEEL & WOOD SPECIFICATIONS & DETAILS

S.003

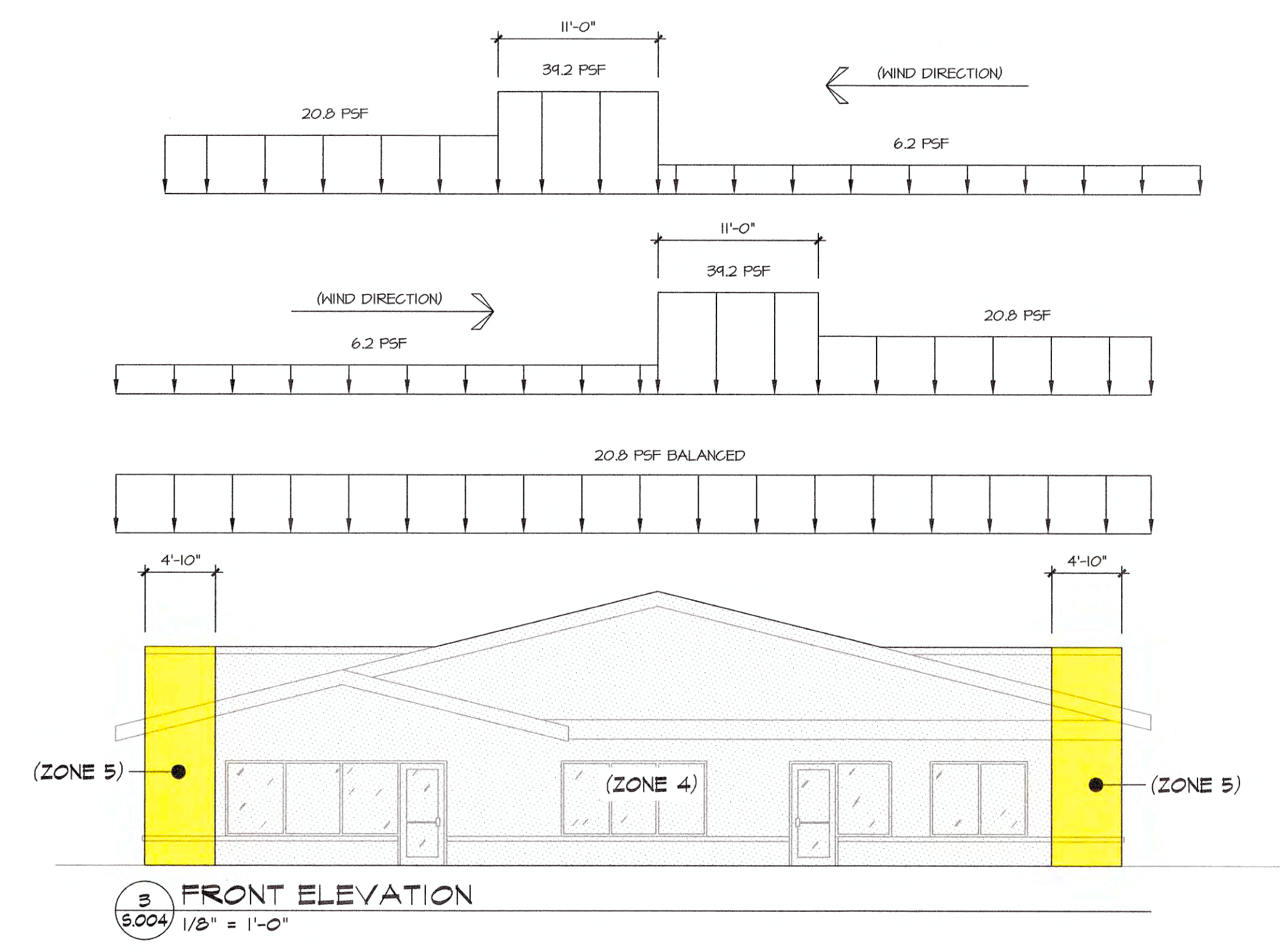
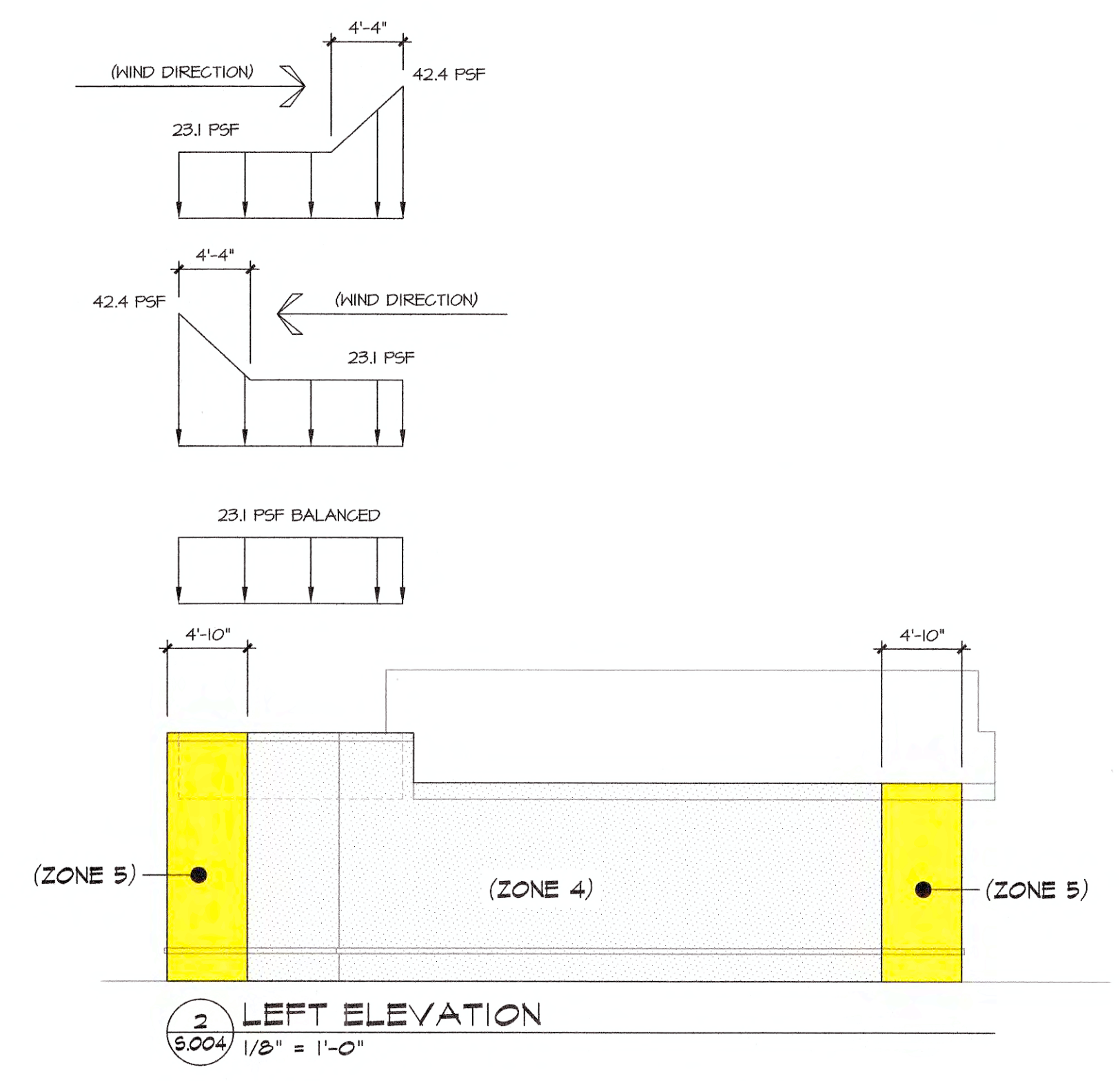
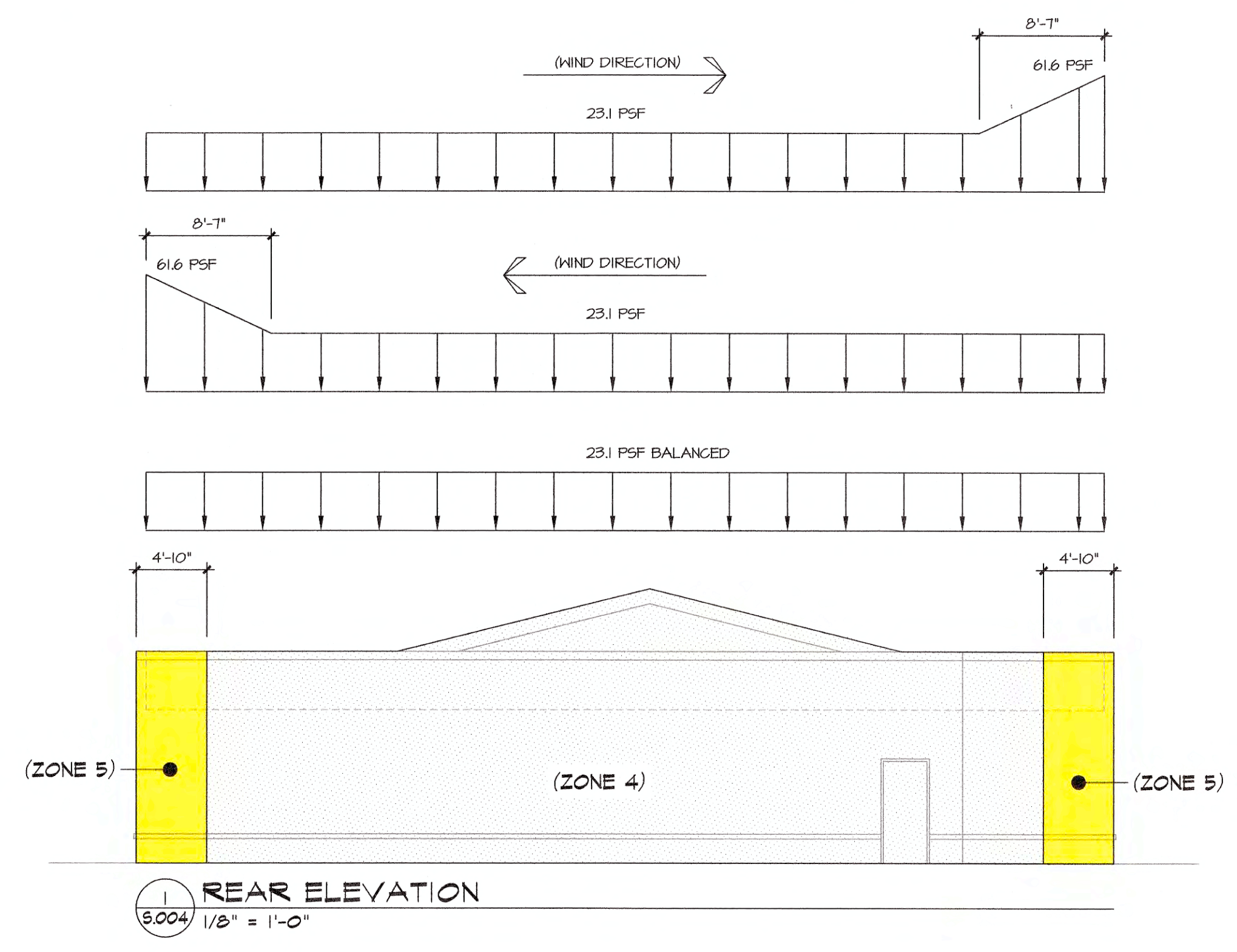
DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462

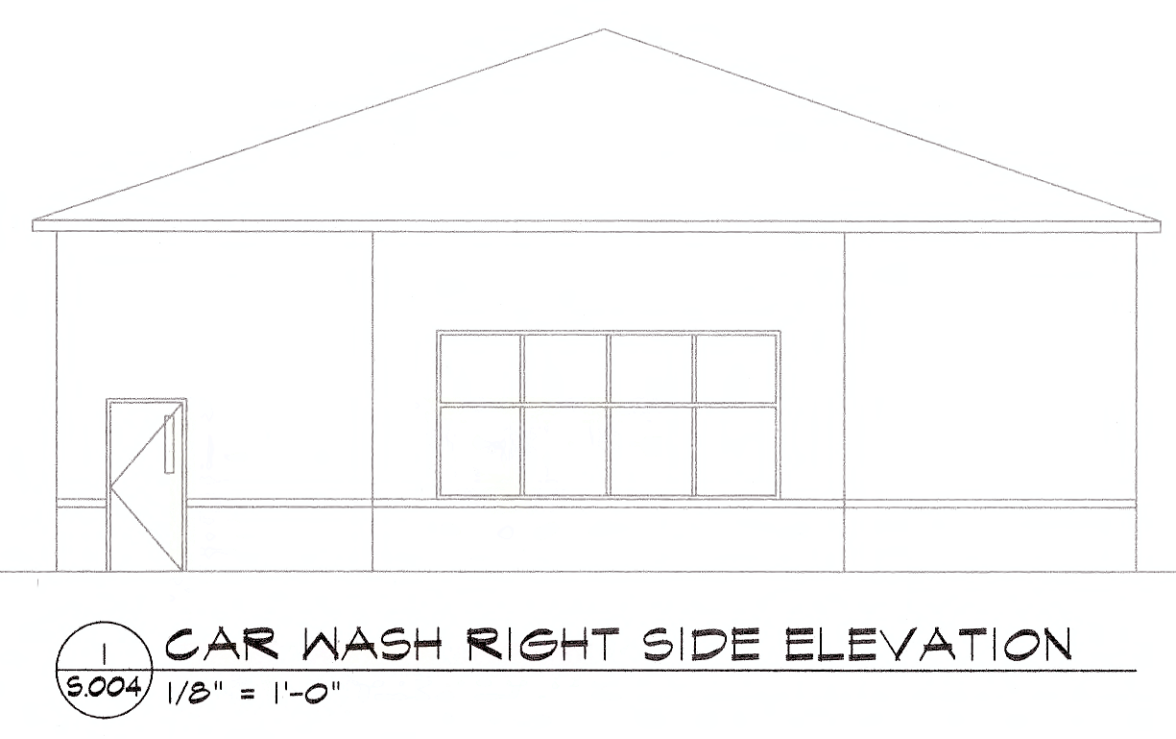
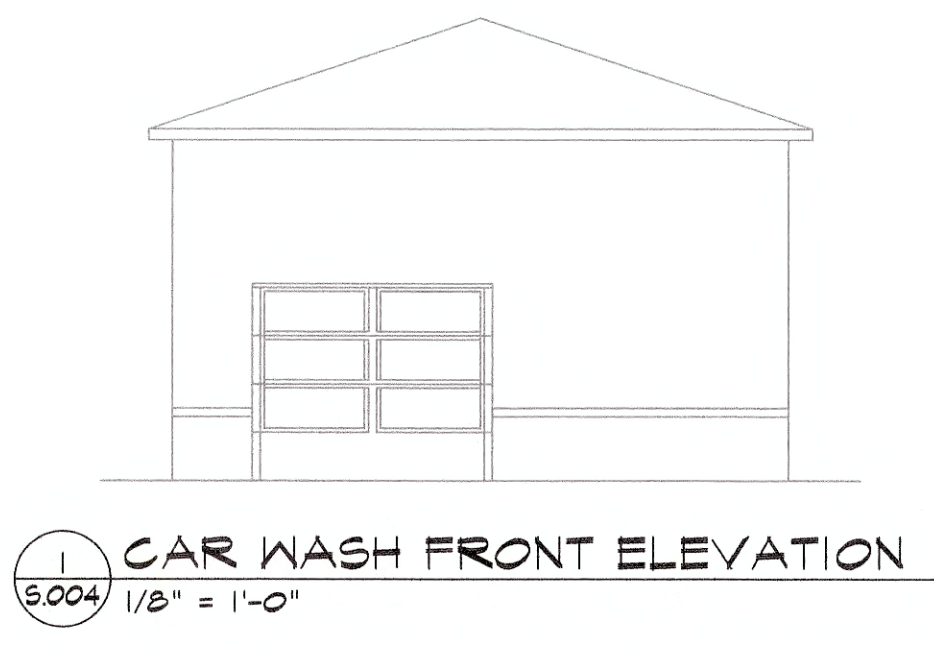
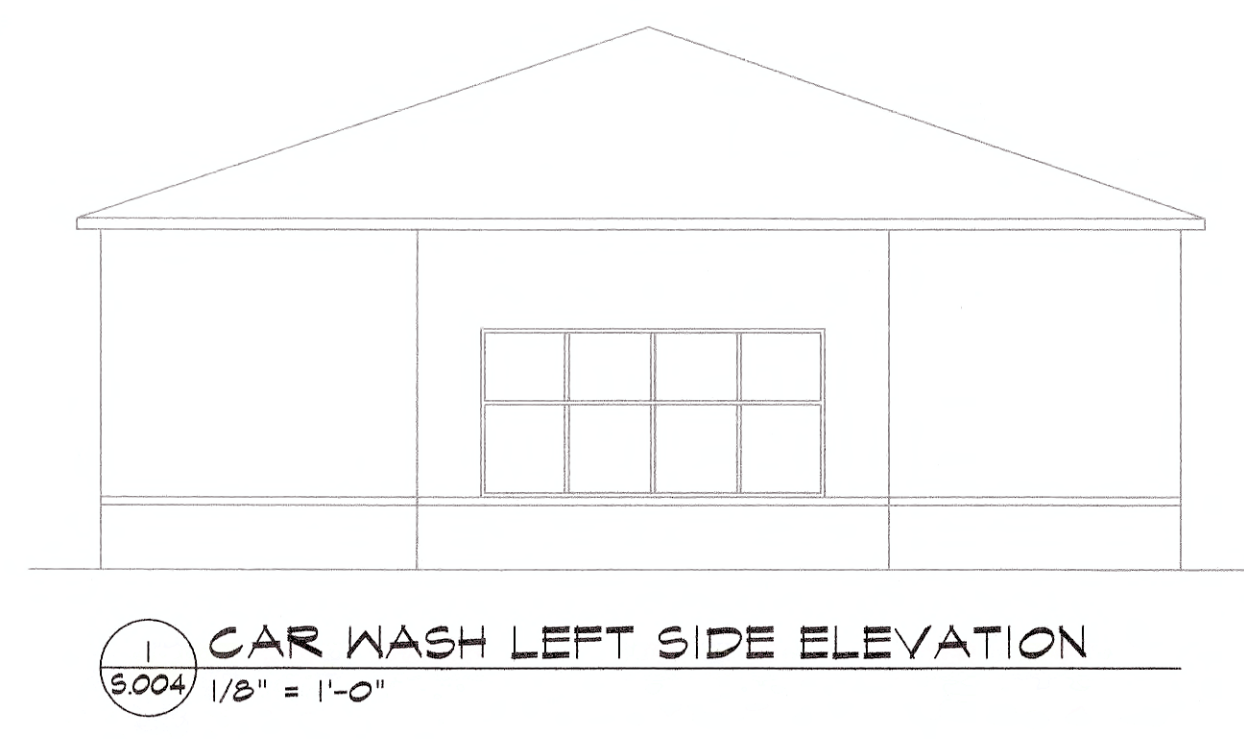
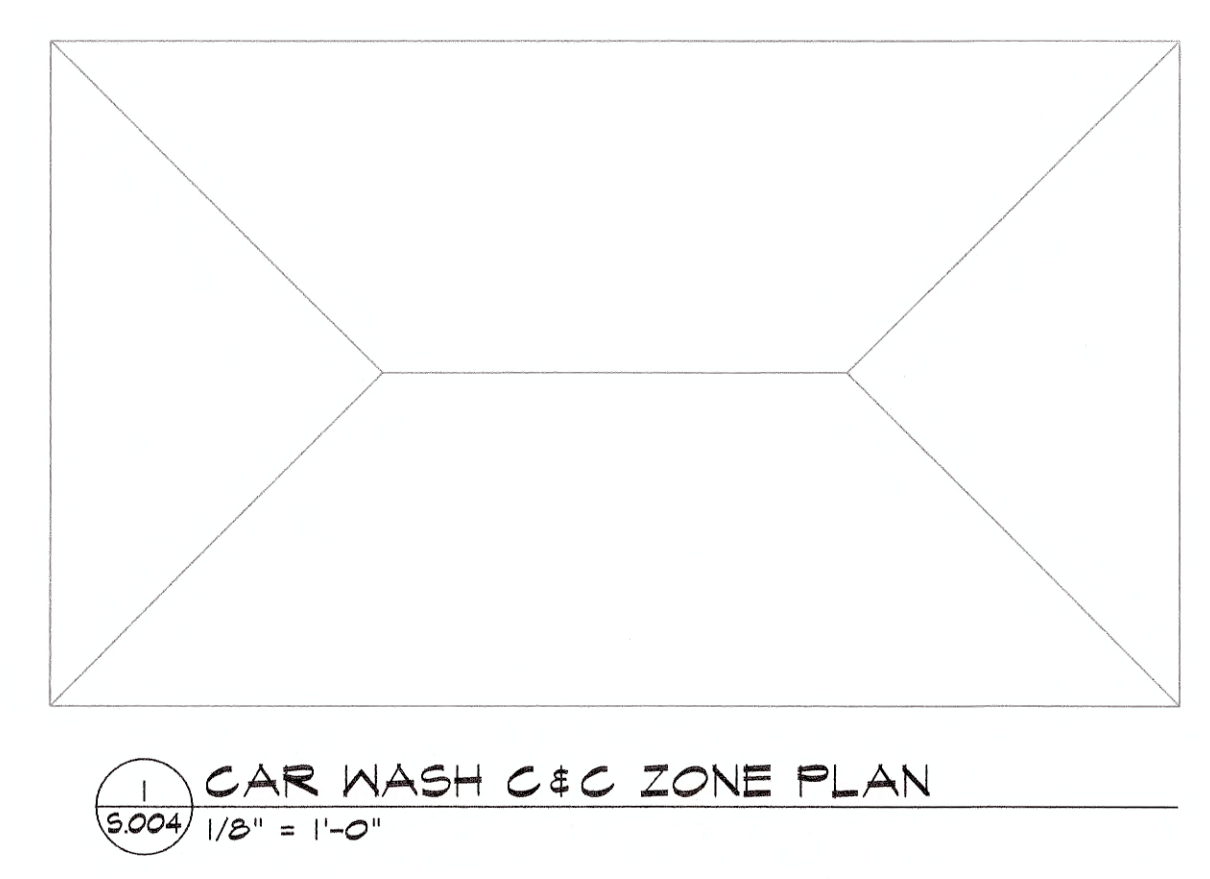
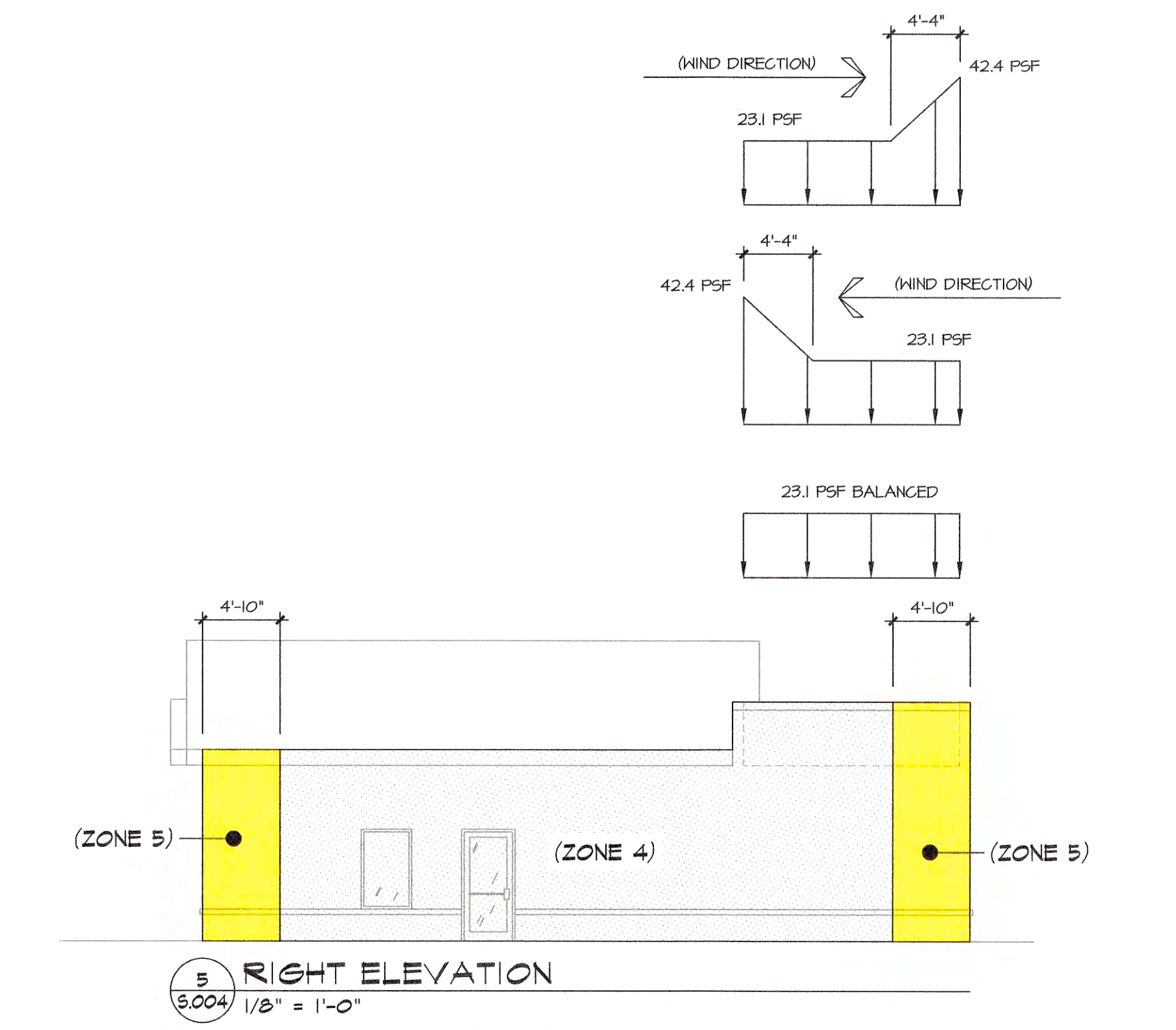
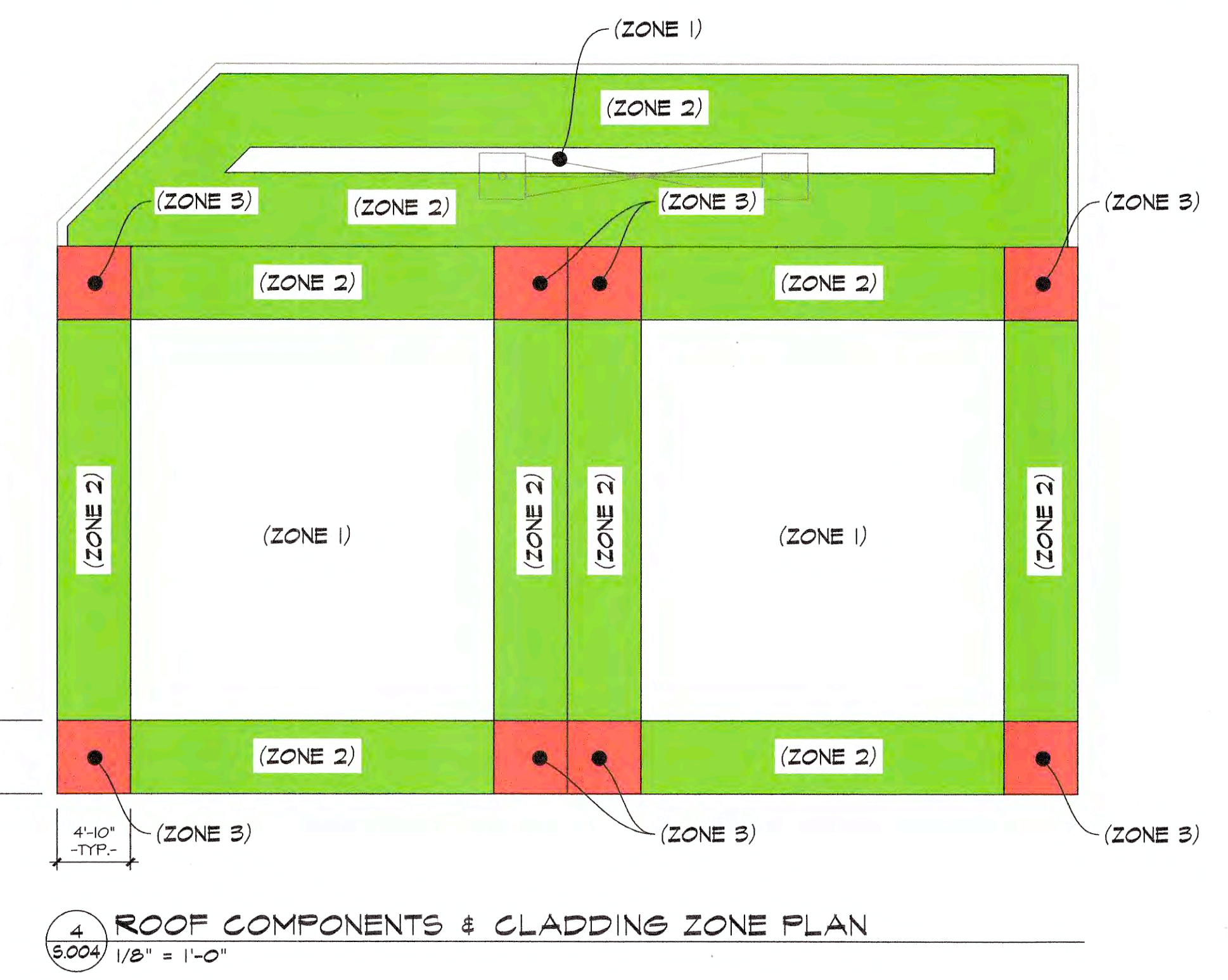


REVISIONS:

REVISIONS:



COMPONENTS & CLADDING PRESSURES			
COMPONENT	ZONE	POS. PRESS. (PSF)	NEG. PRESS. (PSF)
40 sq. ft.	1	16.0	-21.8
25 sq. ft.	1	16.0	-21.0
50 sq. ft.	1	16.0	-20.3
100 sq. ft.	1	16.0	-19.7
40 sq. ft.	2	16.0	-31.4
25 sq. ft.	2	16.0	-33.9
50 sq. ft.	2	16.0	-30.8
100 sq. ft.	2	16.0	-27.8
40 sq. ft.	3	16.0	-56.0
25 sq. ft.	3	16.0	-51.2
50 sq. ft.	3	16.0	-47.6
100 sq. ft.	3	16.0	-43.9
40 sq. ft.	4	23.8	-25.8
50 sq. ft.	4	21.3	-23.3
200 sq. ft.	4	19.1	-21.2
3500 sq. ft.	4	17.7	-19.7
40 sq. ft.	5	23.8	-31.8
50 sq. ft.	5	21.3	-26.9
200 sq. ft.	5	19.1	-22.6
3500 sq. ft.	5	17.7	-19.7

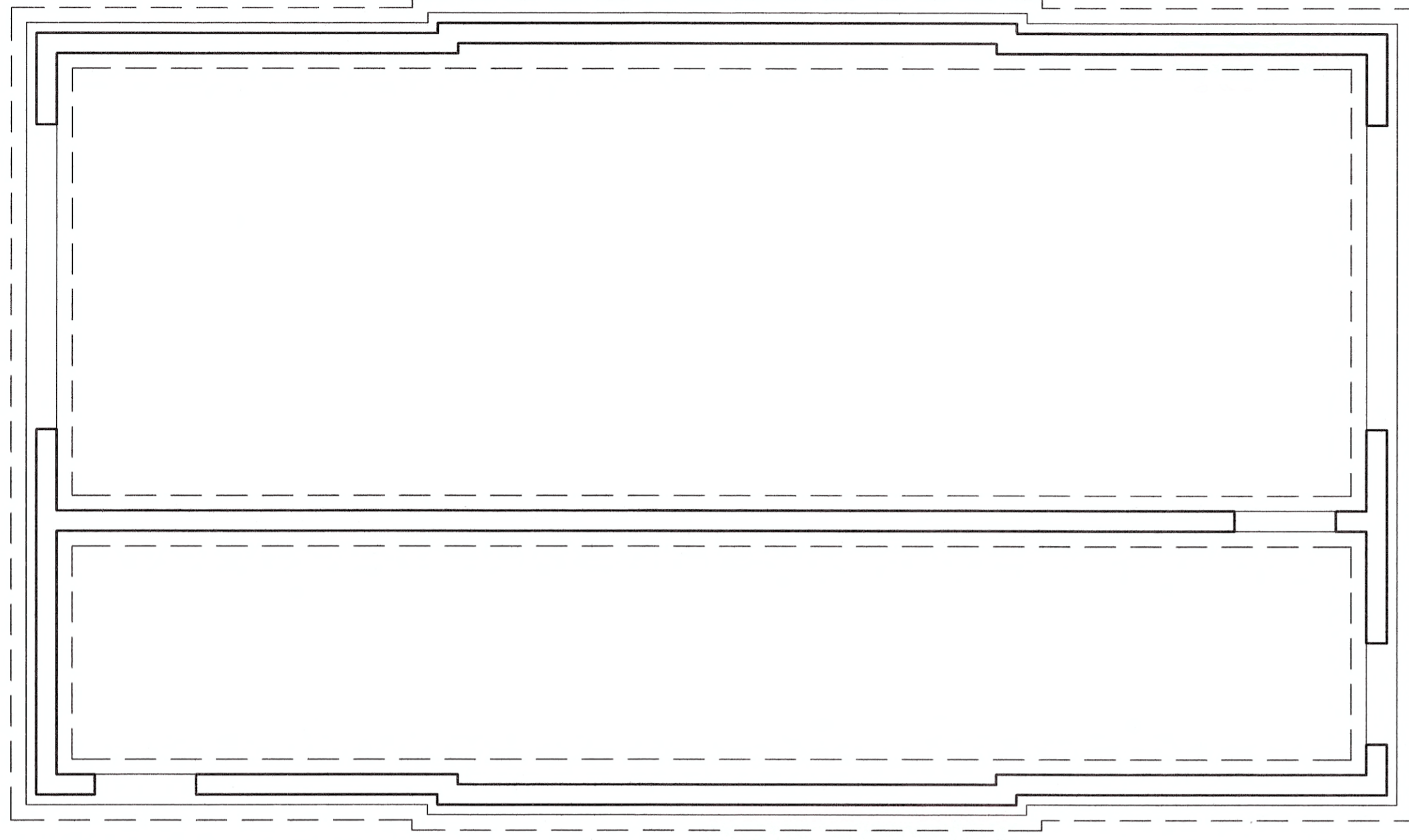


GAS STATION REMODEL - PRELIM

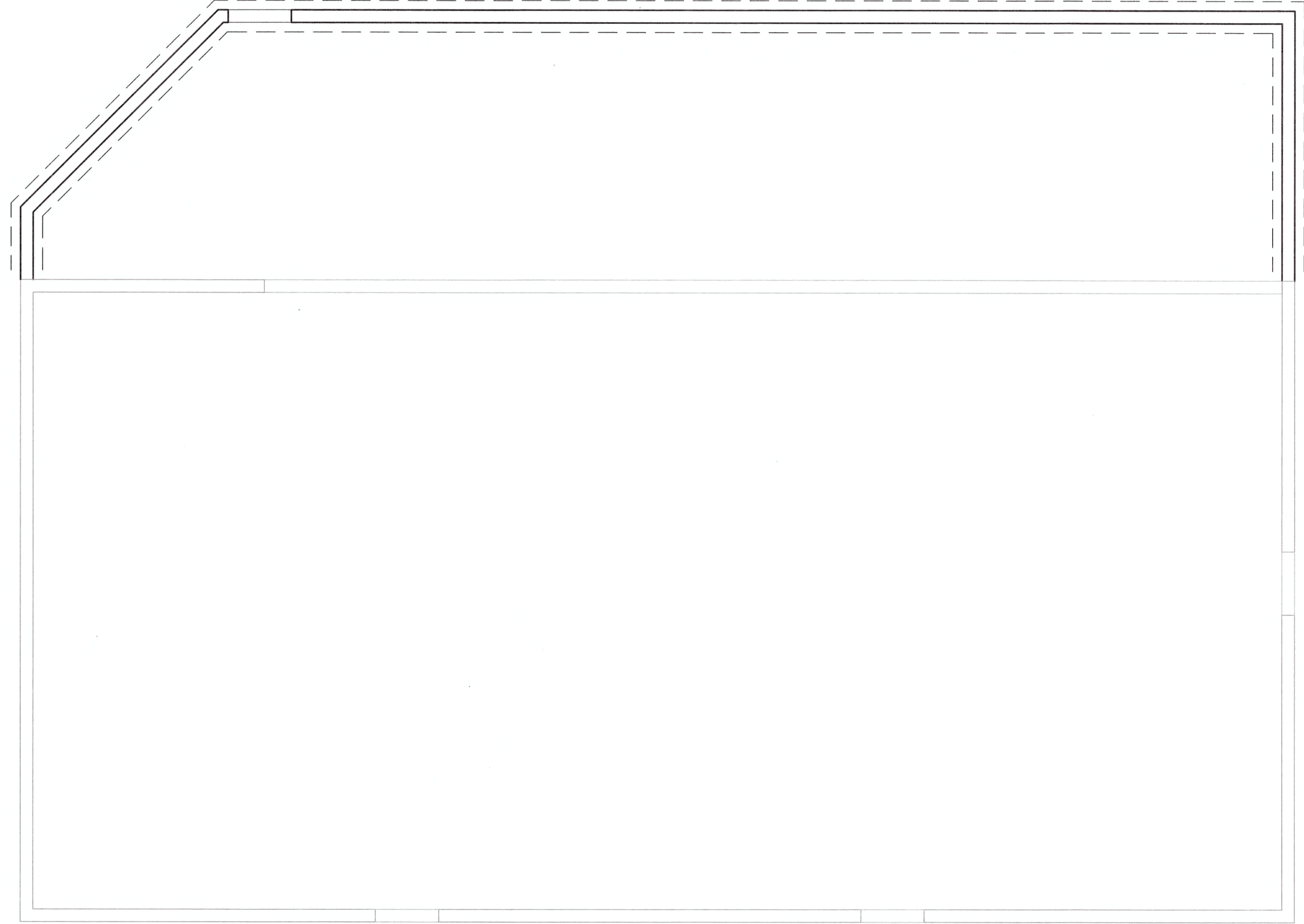
17200 W CLEVELAND AVE
NEW BERLIN, WI 53151
SHEET TITLE:
BUILDING LOADS

S.004

DATE: DECEMBER 6TH, 2023
PROJECT NUMBER: 23-462



X
5.XXX CAR WASH FOUNDATION PLAN
1/4" = 1'-0"



X
5.XXX MAIN BUILDING FOUNDATION PLAN
1/4" = 1'-0"

REVISIONS:

GAS STATION REMODEL - PRELIM

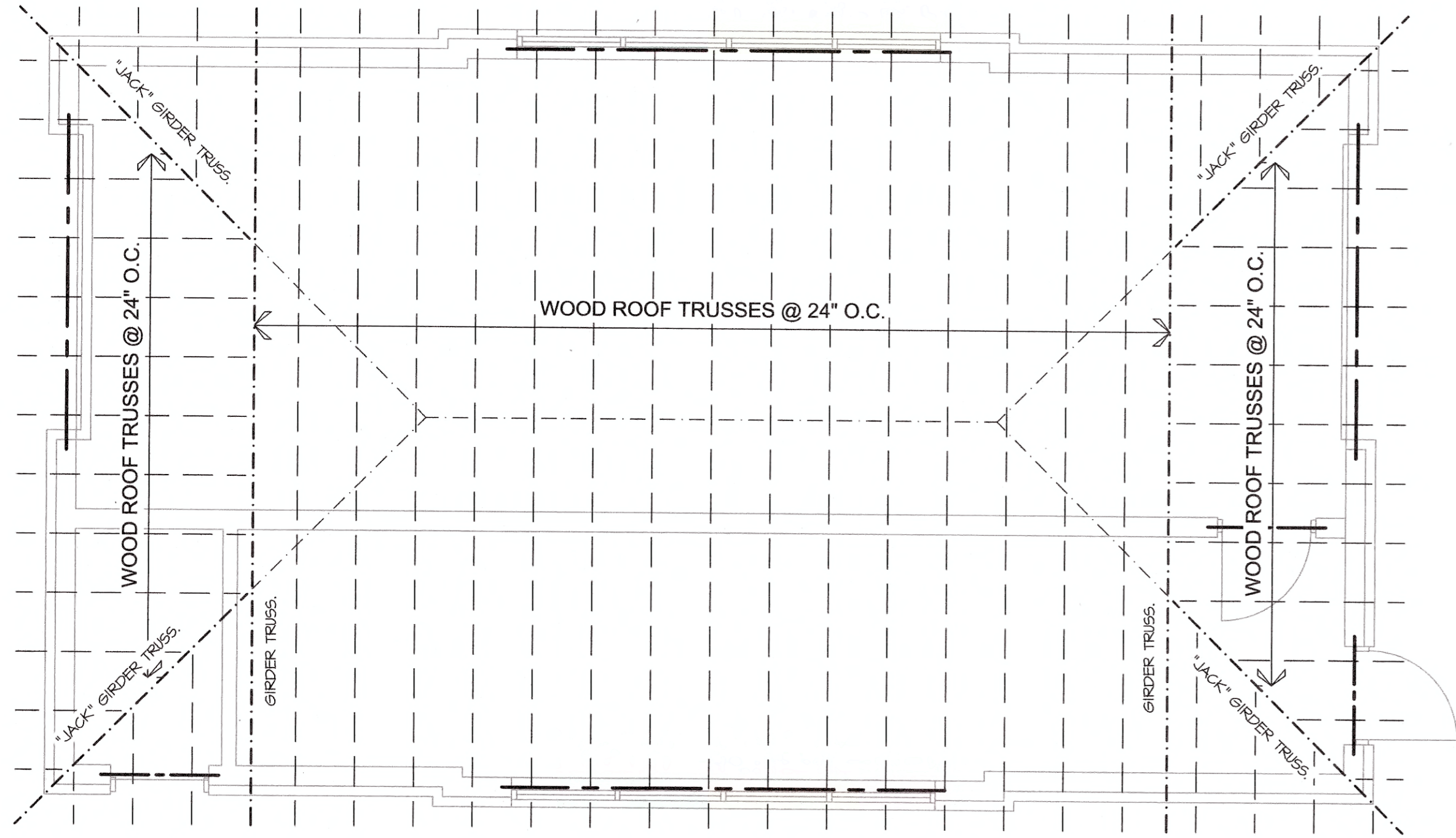
17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

SHEET TITLE:
FOUNDATION PLANS

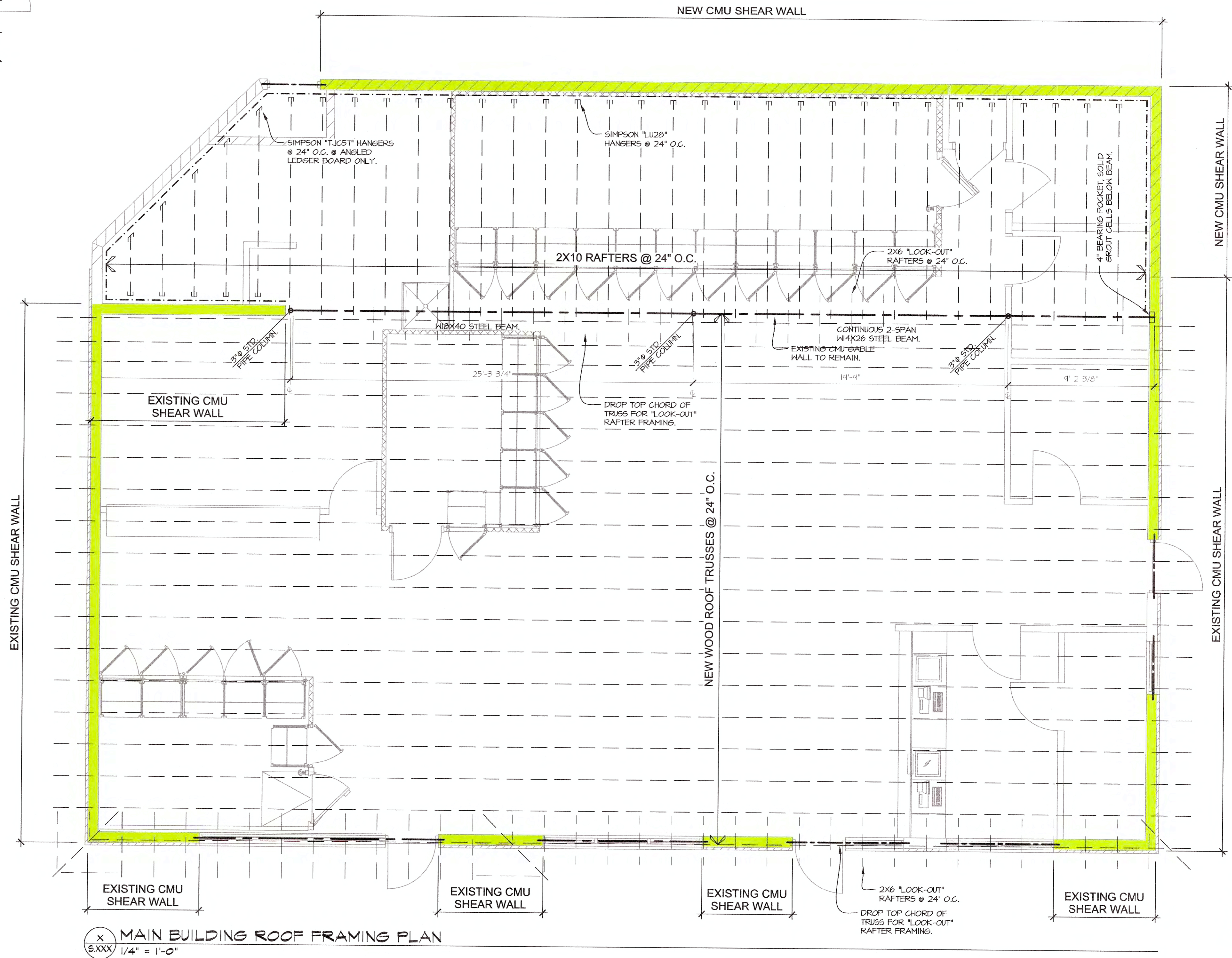
S.100

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462



5.XXX CAR WASH ROOF FRAMING PLAN
1/4" = 1'-0"



5.XXX MAIN BUILDING ROOF FRAMING PLAN
1/4" = 1'-0"

REVISIONS:

NO.	DESCRIPTION

GAS STATION REMODEL - PRELIM

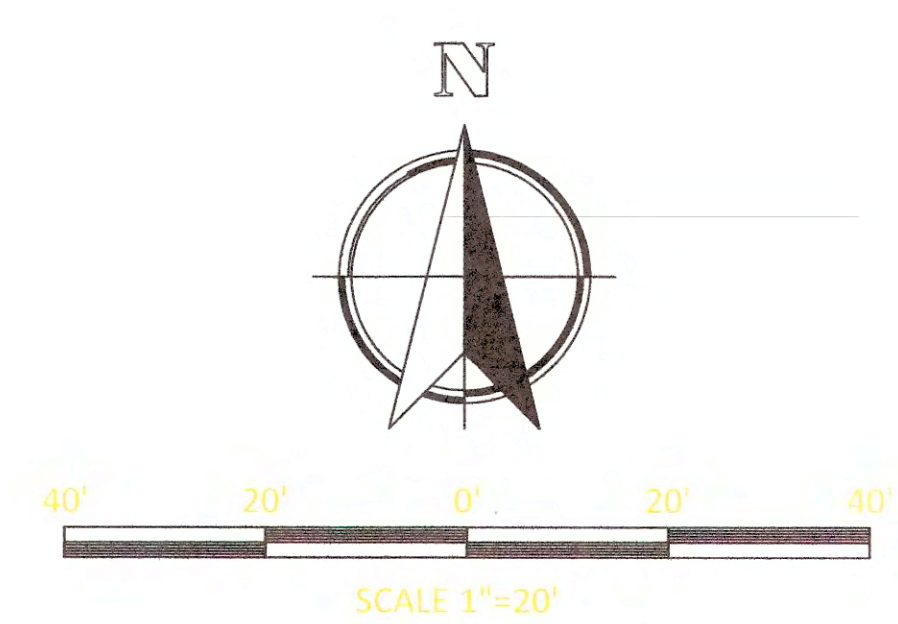
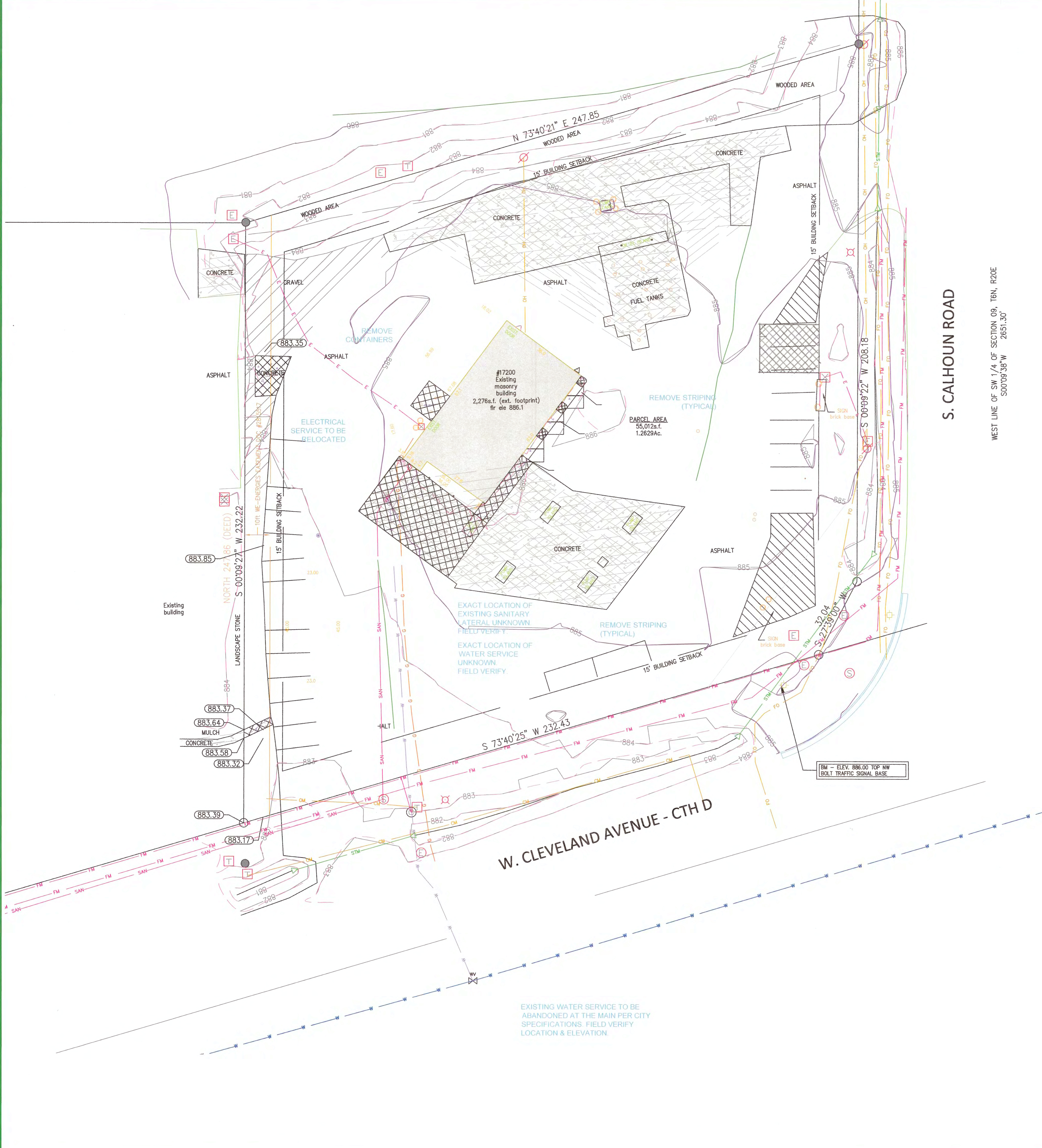
17200 W CLEVELAND AVE
NEW BERLIN, WI 53151

SHEET TITLE:
ROOF FRAMING PLANS

S.200

DATE: DECEMBER 6TH, 2023

PROJECT NUMBER: 23-462



DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND/OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

SITE DEMOLITION LEGEND

- ***** SAW CUT PAVEMENT (FULL DEPTH)
- [Cross-hatched box] REMOVE CONCRETE PAVEMENT & BASE
- [Diagonal lines box] REMOVE GRAVEL
- [Solid dark box] REMOVE ASPHALT PAVEMENT & BASE

LEGEND

- [Red line with 'G'] GAS MAIN
- [Blue line with 'C'] COMMUNICATION LINE
- [Green line with 'S'] STORM SEWER
- [Black line with 'E'] ELECTRIC LINE
- [Blue line with 'O'] OVERHEAD WIRES
- [Yellow triangle] AIR PUMP
- [Red circle with 'E'] ELECTRIC MANHOLE
- [Red square with 'E'] ELECTRIC PEDESTAL
- [Red square with 'M'] ELECTRIC METER
- [Red square with 'T'] TELEPHONE PEDESTAL
- [Red circle with 'V'] GAS VALVE
- [Red circle with 'M'] GAS METER
- [Yellow circle] BOLLARD
- [Yellow square] SIGN
- [Yellow square with 'T'] TRAFFIC SIGNAL
- [Red square with 'P'] POWER POLE
- [Red square with 'L'] LIGHT POLE
- [Red square with 'H'] HYDRANT
- [Red circle with 'S'] SANITARY MANHOLE
- [Red circle with 'C'] SANITARY CLEANOUT OR SEPTIC VENT
- [Red circle with 'W'] WATER SERVICE CURB STOP
- [Red circle with 'D'] DECIDUOUS TREE
- [Red circle with 'S'] SHRUB
- [Red circle with 'M'] MISCELLANEOUS MANHOLE

S. CALHOUN ROAD

W. CLEVELAND AVENUE - CTH D

WEST LINE OF SW 1/4 OF SECTION 09, T6N, R20E
S00°09'38"W 2651.30'

EXISTING WATER SERVICE TO BE ABANDONED AT THE MAIN PER CITY SPECIFICATIONS. FIELD VERIFY LOCATION & ELEVATION.

WALIA WELCOME MART
SITE DEMOLITION PLAN

FOR
WELCOME EAST SIDE, LLC
CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

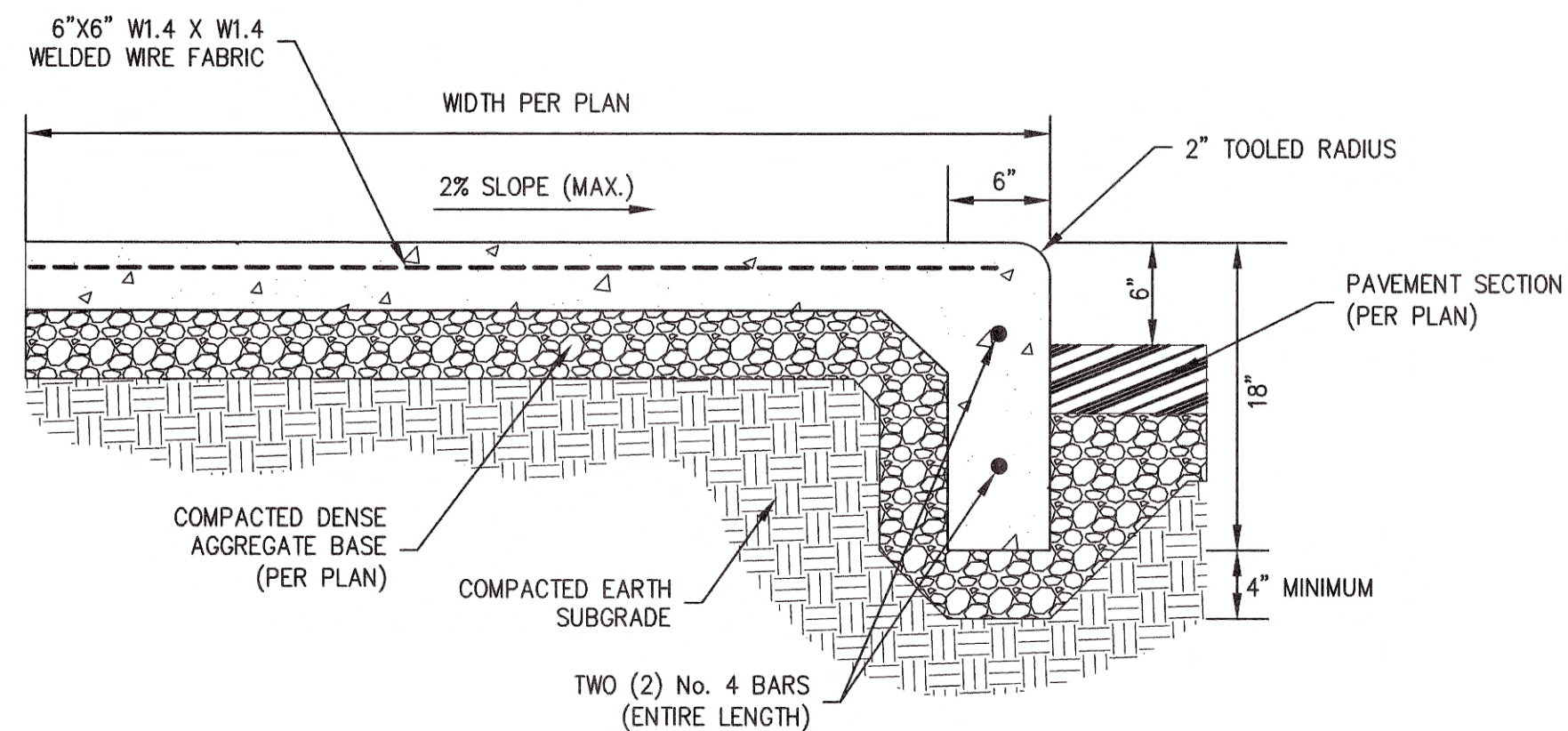
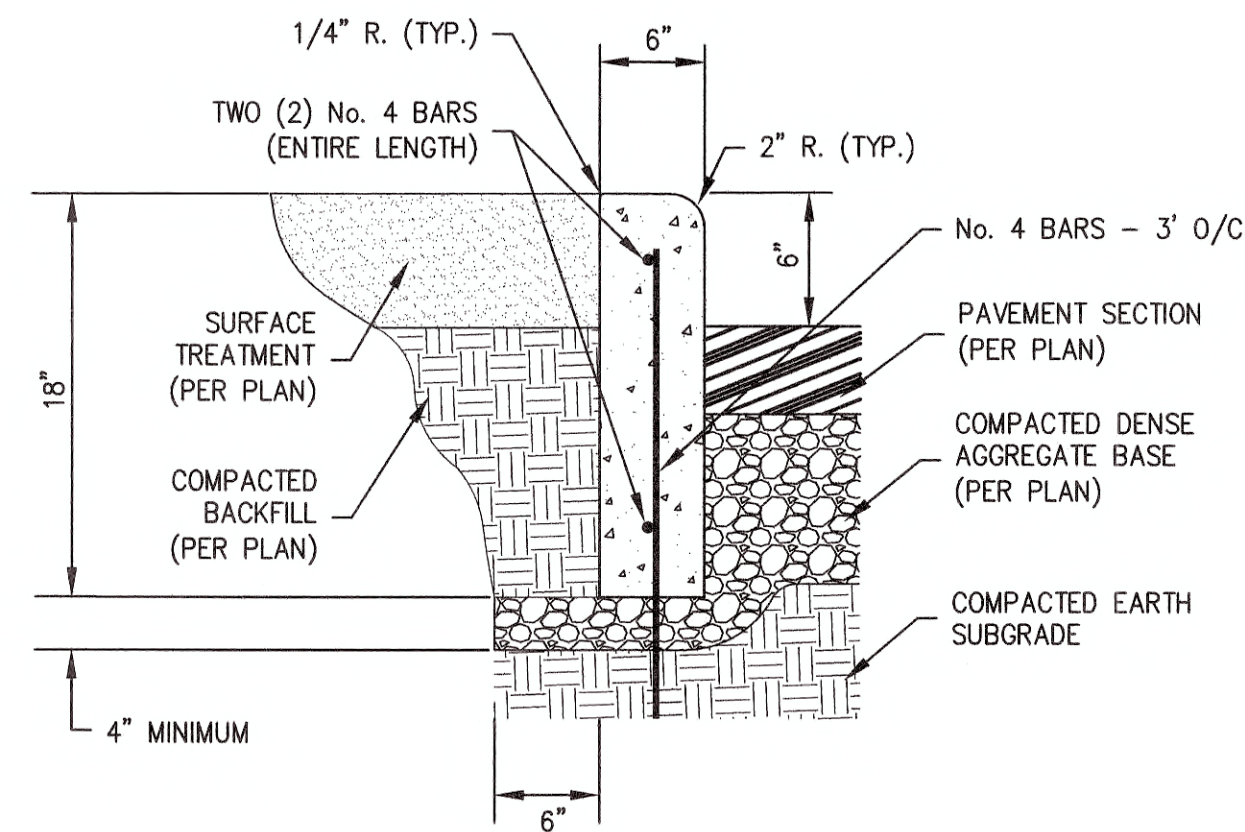
PROJ. MGR: MDE
DRAFTED: JGO
DATE: 4-25-2024
CHECKED: MDE
DATE: 5-31-2024
10-16-25

2024.0056.01

SHEET
C-4

INSTALLATION NOTES FOR CURB AND GUTTER DETAILS

- CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE EXTENDING A MINIMUM OF 12 INCHES BEHIND THE BACK OF CURB.
- CURB PAN SHALL BE A MINIMUM OF SIX INCHES (6") THICK, EXPECT AT DRIVEWAY LOCATIONS WHERE IT SHALL BE A MINIMUM OF EIGHT INCHES (8") THICK.
- INSTALL TWO (2) NO. 4, 18-INCH LONG EPOXY COATED TIE BARS ANCHORED WITH AN EPOXY, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO TO EXISTING OR PREVIOUSLY INSTALLED CURB AND GUTTER.
- WHEN PLACED ADJACENT TO NEW CONCRETE, INSTALL NO. 4 18-INCH LONG EPOXY COATED TIE BARS, 36" ON CENTER PLACED A MINIMUM OF THREE AND ONE HALF INCHES (3 1/2") BELOW THE TOP OF THE CURB PAN.
- LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET TO A MINIMUM DEPTH OF TWO INCHES (2").
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT POINTS OF CURVATURE, ANGLE POINTS, THREE FEET (3') FROM EACH SIDE OF EVERY INLET AND EVERY 300 FEET ALONG TANGENT SECTIONS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL MEET WISDOT SPECIFICATIONS HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER WITH A 3/4" THICKNESS.
- APPLY CONCRETE CURING COMPOUND PER WISDOT SPECIFICATIONS.



1 CONCRETE CURB AND GUTTER DETAIL NOTES

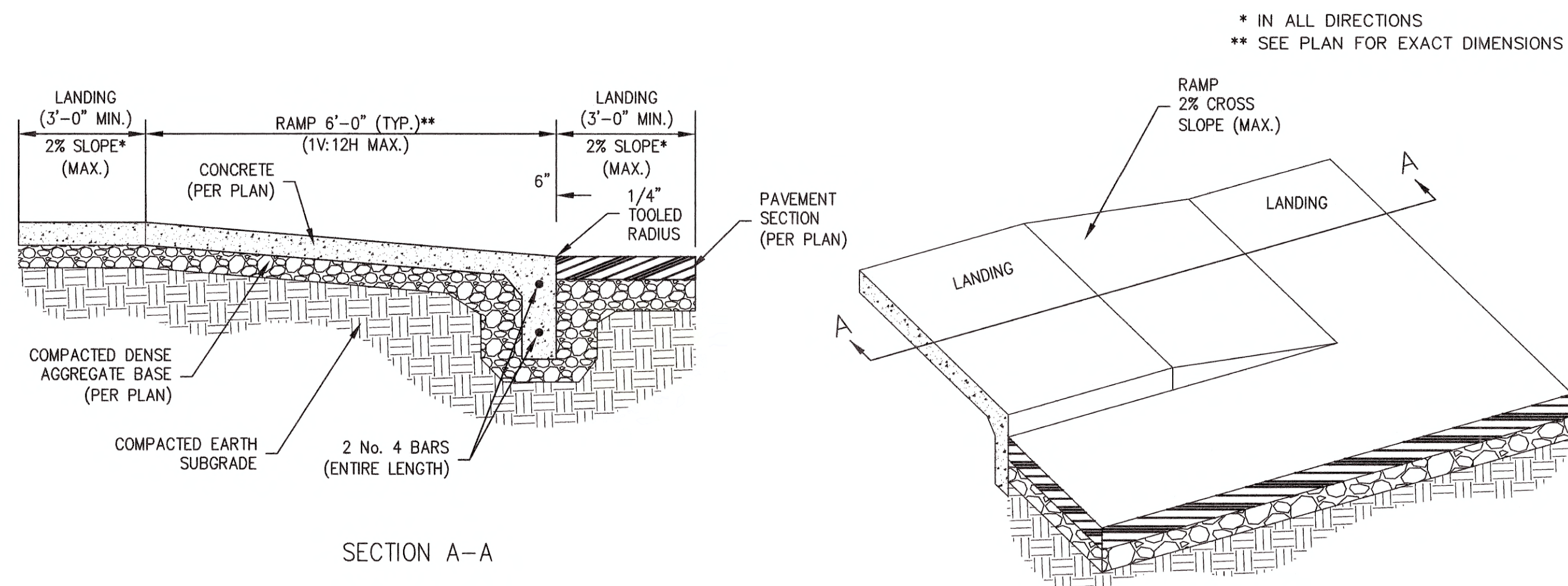
N.T.S.

2 6" CONCRETE BARRIER CURB DETAIL

N.T.S.

3 INTEGRAL CONCRETE SIDEWALK / BARRIER CURB DETAIL

N.T.S.

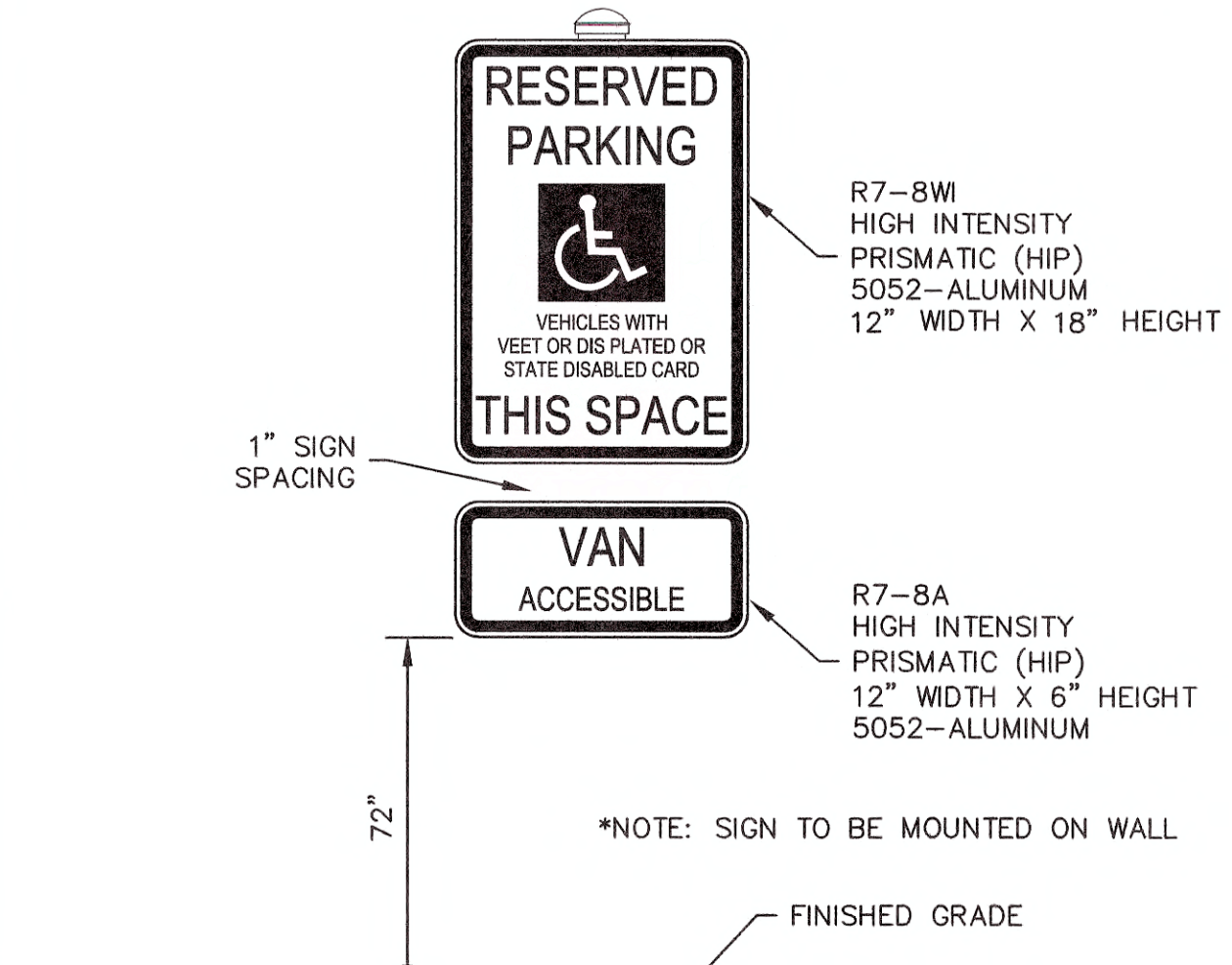


4 INTEGRAL SIDEWALK (72" TAPER) ACCESSIBLE RAMP DETAIL

N.T.S.

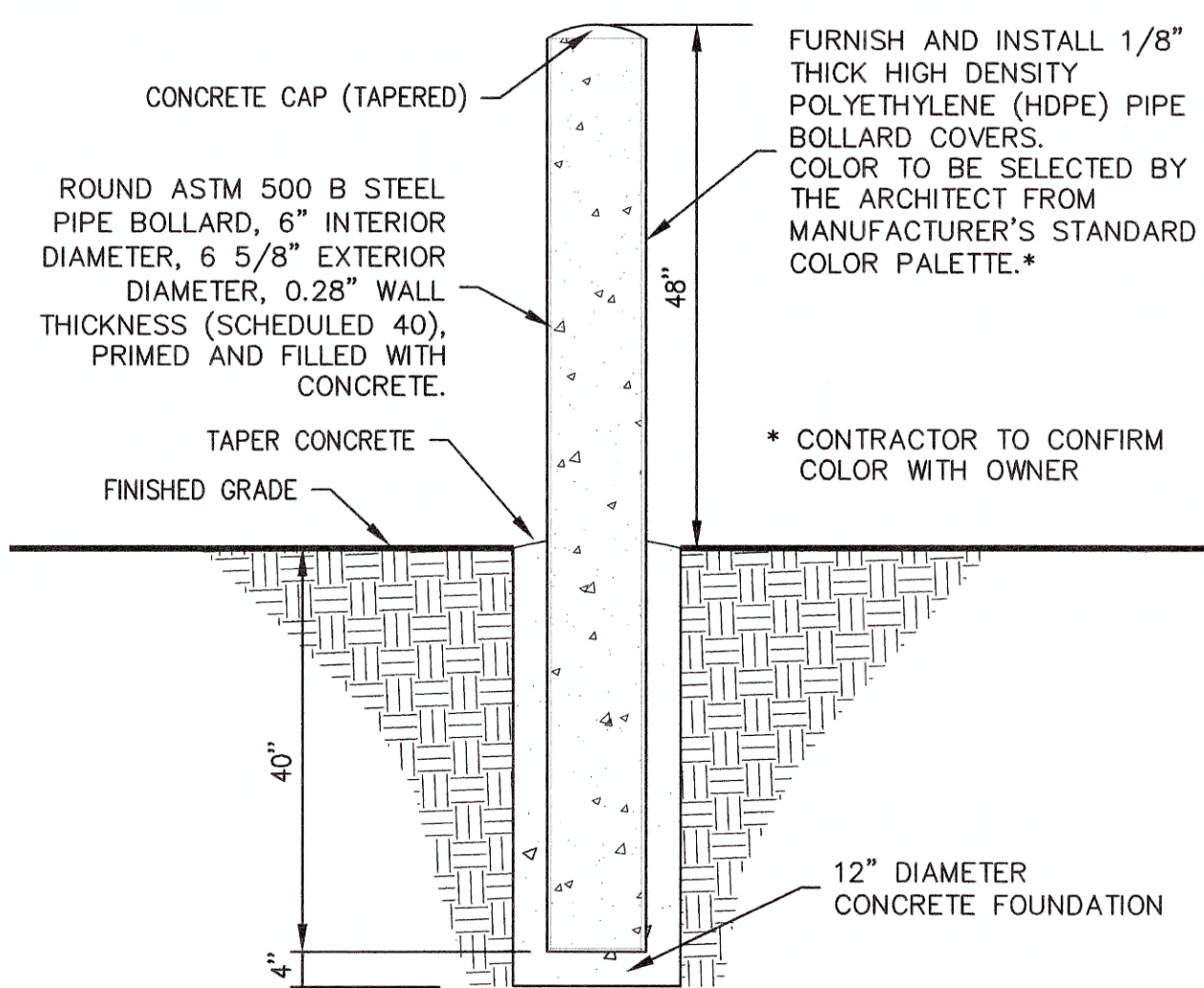
5 PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY DETAIL

N.T.S.



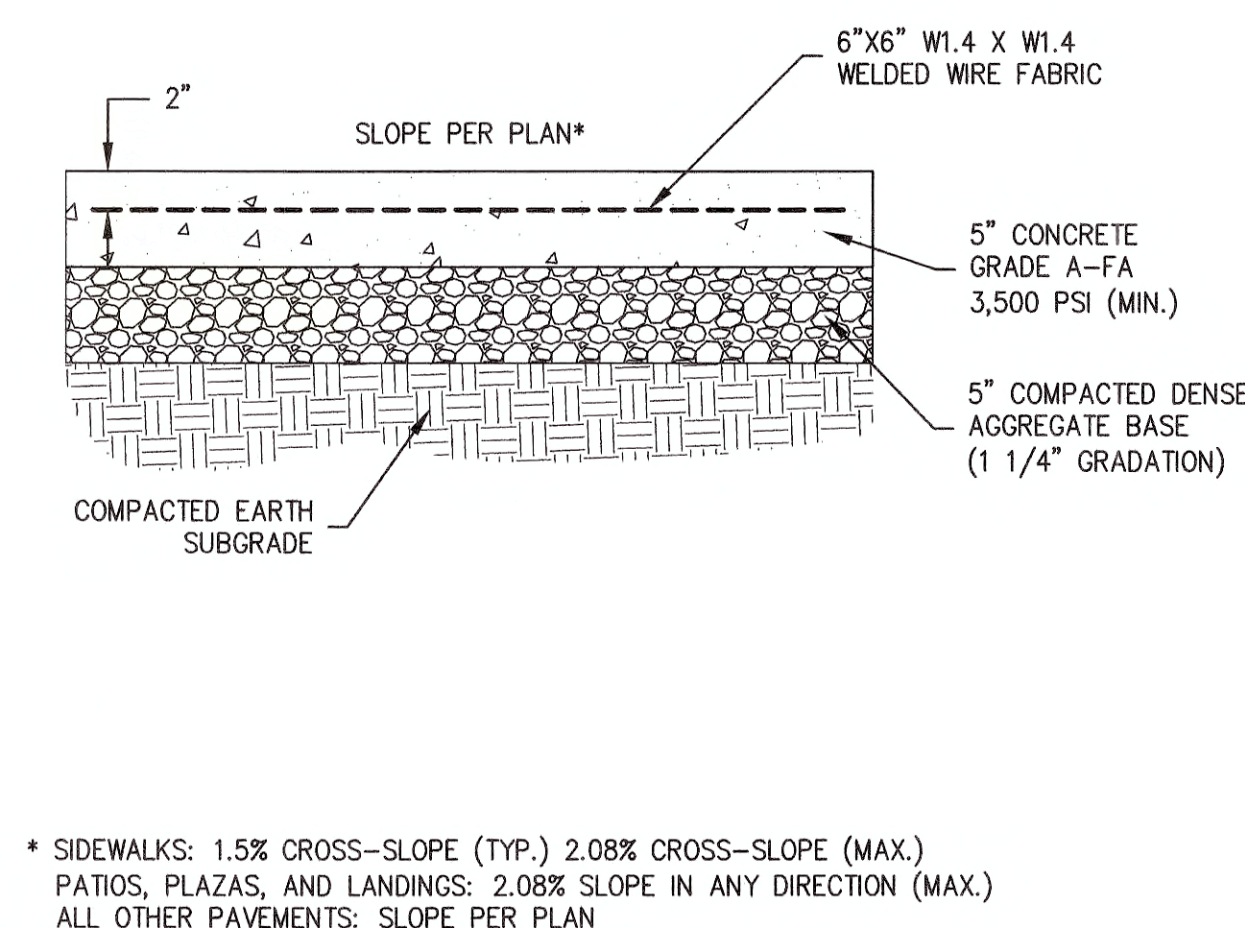
6 ADA "RESERVED PARKING VAN ACCESSIBLE" SIGN DETAIL

N.T.S.



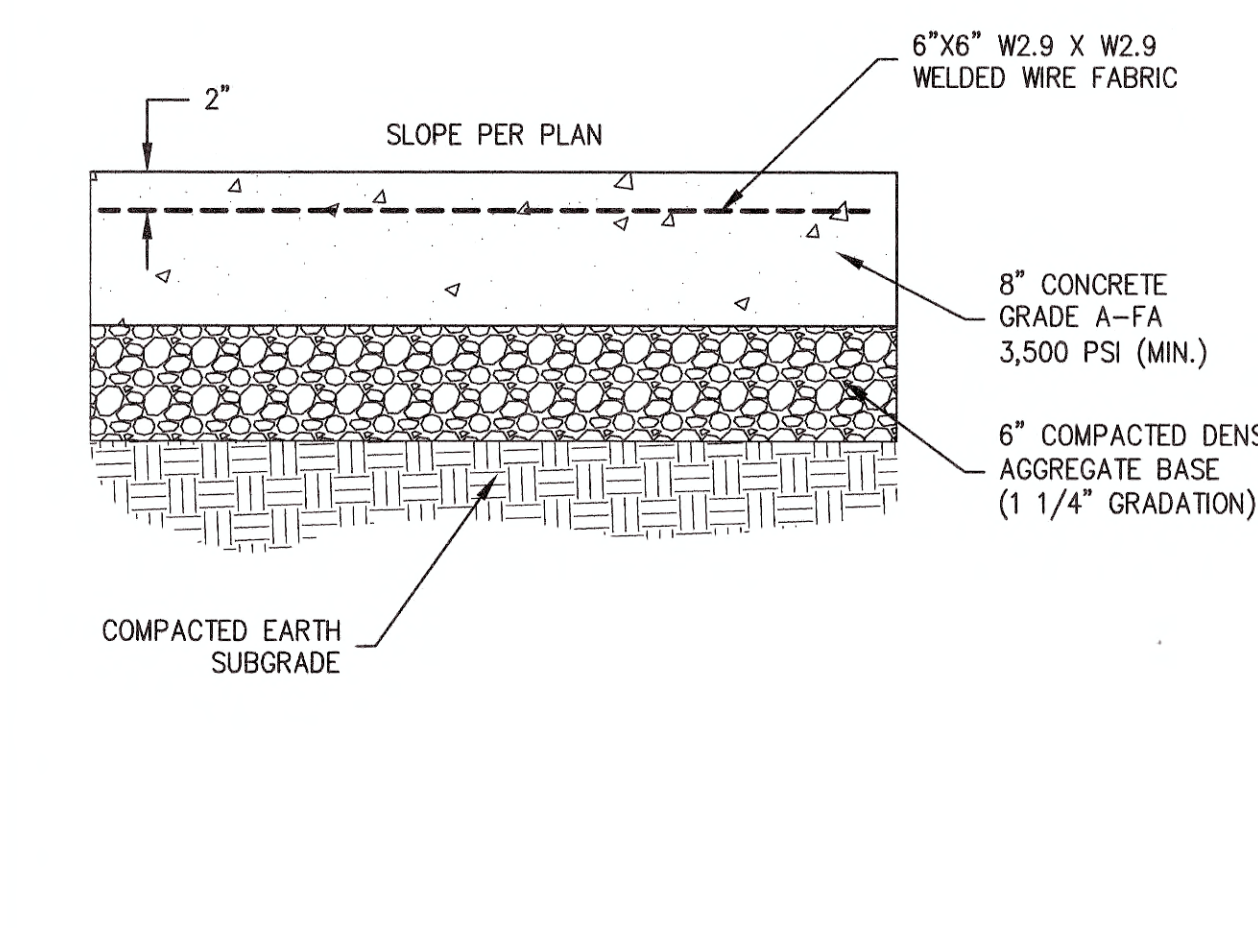
7 6" STEEL PIPE BOLLARD DETAIL

N.T.S.



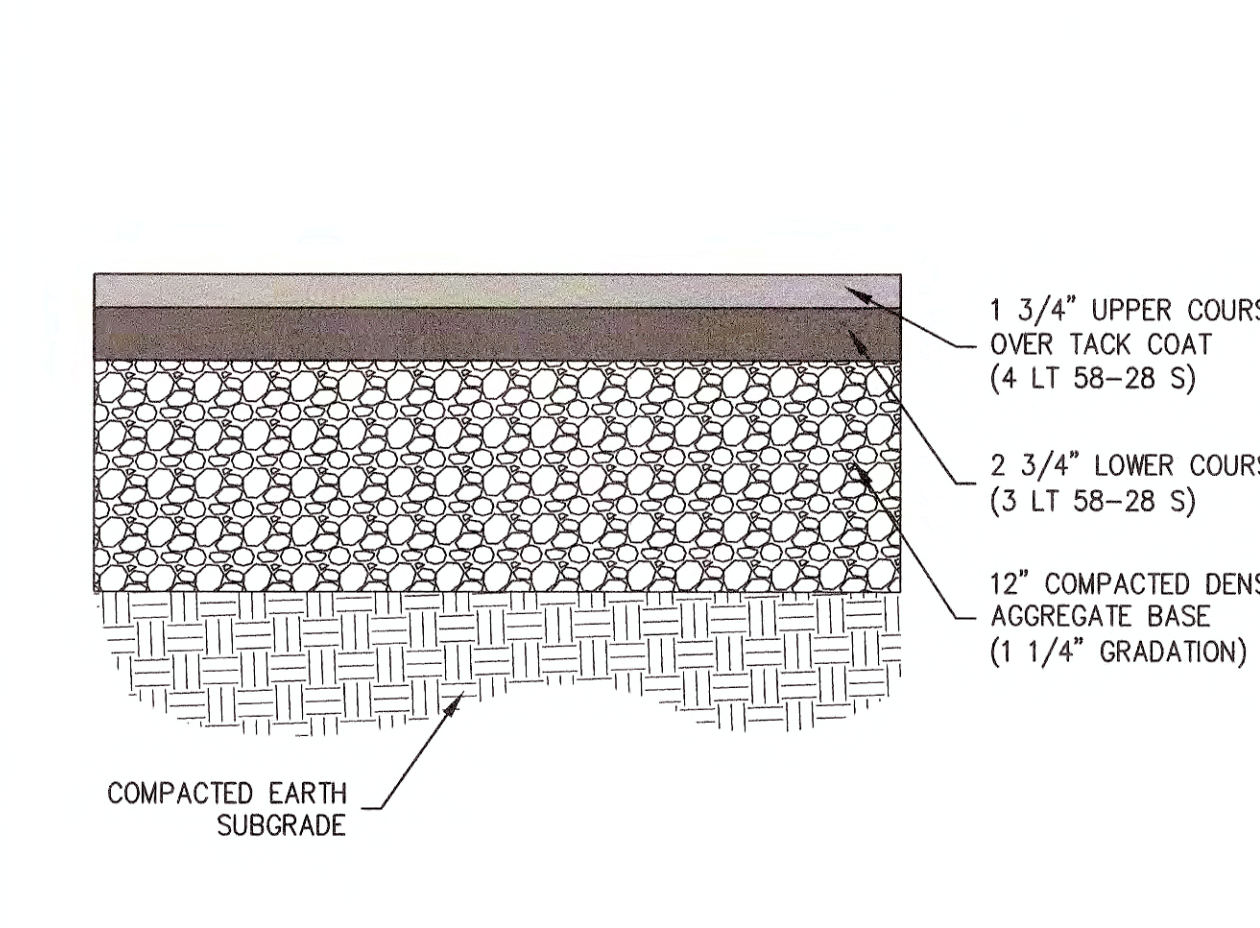
8 LIGHT-DUTY CONCRETE PAVEMENT (5") (TYPICAL SECTION)

N.T.S.



9 HEAVY-DUTY CONCRETE PAVEMENT (8") (TYPICAL SECTION)

N.T.S.



10 MEDIUM-DUTY ASPHALT PAVEMENT (4 1/2") (TYPICAL SECTION)

N.T.S.

NO.	REVISION	BY	DATE

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SHEET
C-7

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE EROSION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF NEW BERLIN.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF NEW BERLIN ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE CITY OF NEW BERLIN EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 380.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED.

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY CITY OF NEW BERLIN OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

EXCESS SOILS ARE TO BE HAULED OFF SITE OR ENCLOSED WITH AN APPROVED SEDIMENT CONTROL DEVICE WITHIN 24 HOURS.

ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGE OFF-SITE. PUMPING OPERATIONS SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1091. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR BY OTHER WDNR APPROVED METHODS. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF NEW BERLIN.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

SITE GRADING & SUB-GRADE PREPARATION

EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED PAVEMENT SECTIONS SHALL BE STRIPPED (REGARDLESS OF DEPTH) AND HAULED OFF SITE.

EXCAVATE, GRADE, AND SHAPE SUBGRADES TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS AND CONSTRUCTION DETAILS FOR PAVEMENT THICKNESS AND MATERIALS.

FILL MATERIAL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION.

UPON COMPLETION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES TO RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS REPRESENTATIVES TO ENSURE THEY ARE PRESENT.

RESTORATION NOTE

TURF AREAS SHALL BE RESTORED WITH 4" SALVAGED TOPSOIL AND RESTORED PER THE LANDSCAPE PLAN.

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS". DENSE AGGREGATE BASE COURSE SHALL EXTEND A MINIMUM OF TWELVE-INCHES (12") BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR CURBS, SIDEWALKS, AND APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURBS AND SHALL MATCH THE WIDTH FOR CONCRETE SIDEWALKS.

ALL SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT AT THE NEAREST JOINT.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

PAVEMENT MARKING NOTES

CONTRACTOR SHALL VERIFY PAVEMENT MARKING COLOR WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE CONTRACTOR GRADE ACRYLIC PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE FOR INSPECTING PAVEMENT SURFACE FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK.

DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE AREAS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.

PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM OVERSPRAY PAINT.

APPLY MARKING PAINT AS A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES (OR TO MANUFACTURERS SPECIFICATIONS).

BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.

ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6.

UTILITY NOTES

ALL APPLICATIONS AND CONNECTION FEES FOR SANITARY SEWER AND WATER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE EXISTING SYSTEMS.

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, AND PHONE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

ALL SANITARY SEWER AND WATER MAIN LATERALS WITHIN A 1:1 SLOPE OF ANY PAVED SURFACE SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

PROVIDE FIVE FEET (5') OF COVER OVER ALL SANITARY SEWERS AND SIX AND ONE HALF FEET (6-1/2') OF COVER OVER ALL WATER MAINS. MINIMUM HORIZONTAL SEPARATION OF UTILITY MAINS IS EIGHT FEET (8'). PROVIDE VERTICAL SEPARATION OF UTILITIES PER CODE.

SEWER & WATERMAIN SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY PUBLIC WORKS DEPARTMENT BEFORE COMMENCING CONSTRUCTION ON ANY SANITARY SEWER OR WATER MAIN IMPROVEMENTS.

THE CONTRACTOR SHALL CONTACT THE OWNER 24 HOURS PRIOR TO PROPOSED WATER MAIN SHUTDOWNS OR ANY WORK THAT MAY INTERFERE WITH EXISTING WATER SERVICE. ALL EXISTING VALVES, HYDRANTS, AND OTHER WATER INFRASTRUCTURE SHALL BE OPERATED BY THE CITY PUBLIC WORKS DEPARTMENT ONLY.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE SANITARY SEWERS AND LATERALS PER SPS 382.30(11)(h). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "SEWER" ON THE COVER.

SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE 6" PVC CLASS SDR-35, CONFORMING TO THE REQUIREMENTS OF ASTM D3034 AND F-789/P546 WITH RUBBER GASKETS. LATERAL CLEAN-OUT RISERS SHALL BE 4" DIAMETER WITH 6" DIAMETER FROST SLEEVE CONSTRUCTED OF THE SAME MATERIAL.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS PER SPS 382.40(8)(k). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "WATER" OR "FDC" ON THE COVER. THE TRACER WIRE SHALL BE CONNECTED TO THE TRACER WIRE ON THE WATER MAIN.

WATER MAIN AND LATERAL PIPE MATERIAL SHALL BE SIX INCH (6") PVC PIPE CLASS 150, DR 18 (AS SHOWN) MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, IN ACCORDANCE WITH THE "CITY SPECIFICATIONS".

RESILIENT WEDGE SEATED GATE VALVES CONFORMING TO AWWA C-515 SHALL BE USED FOR FOUR-INCH (4") TO EIGHT-INCH (8") APPLICATIONS. GATE VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500, CLOW F-6100, MUELLER A-2362, AND MANUFACTURED IN THE USA WITH A MINIMUM PRESSURE RATING OF 200 PSI. ALL VALVES SHALL BE MADE WITH STAINLESS STEEL BONNET NUTS AND BOLTS AND SHALL CLOSE CLOCKWISE WITH NON-RISING STEMS (GATE VALVE ONLY) AND A TWO-INCH (2") SQUARE TAPERED OPERATING NUT.

VALVE BOXES SHALL BE TWO (2) PIECE CAST IRON VALVE BOXES CONSISTING OF A BOTTOM (5-1/4" SHAFT DIAMETER) SECTION AND SCREW TYPE TOP SECTION WITH COVER MARKED "WATER". VALVE BOX SECTIONS MUST BE INSTALLED WITH THE BELL SECTION ABOVE THE SPIGOT SO THAT SOIL CANNOT DROP INTO THE THREADS.

MATERIAL FOR SANITARY SEWERS AND WATER MAINS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES (SPS).



Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS

1458 Horizon Blvd. Suite 200, Racine, WI 53406
Tele: (262)634-5588 Website: www.nmbssc.net

WALIA WELCOME MART
PROJECT SPECIFICATIONS

FOR
WELCOME EAST SIDE, LLC
CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

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ISSUE FOR APPROVAL: 5-31-2024

THOMAS NORDLOCH ASSOCIATES
 Landscape Architecture
 Project Management
 4111 Taft Rd, Kenosha WI 53142

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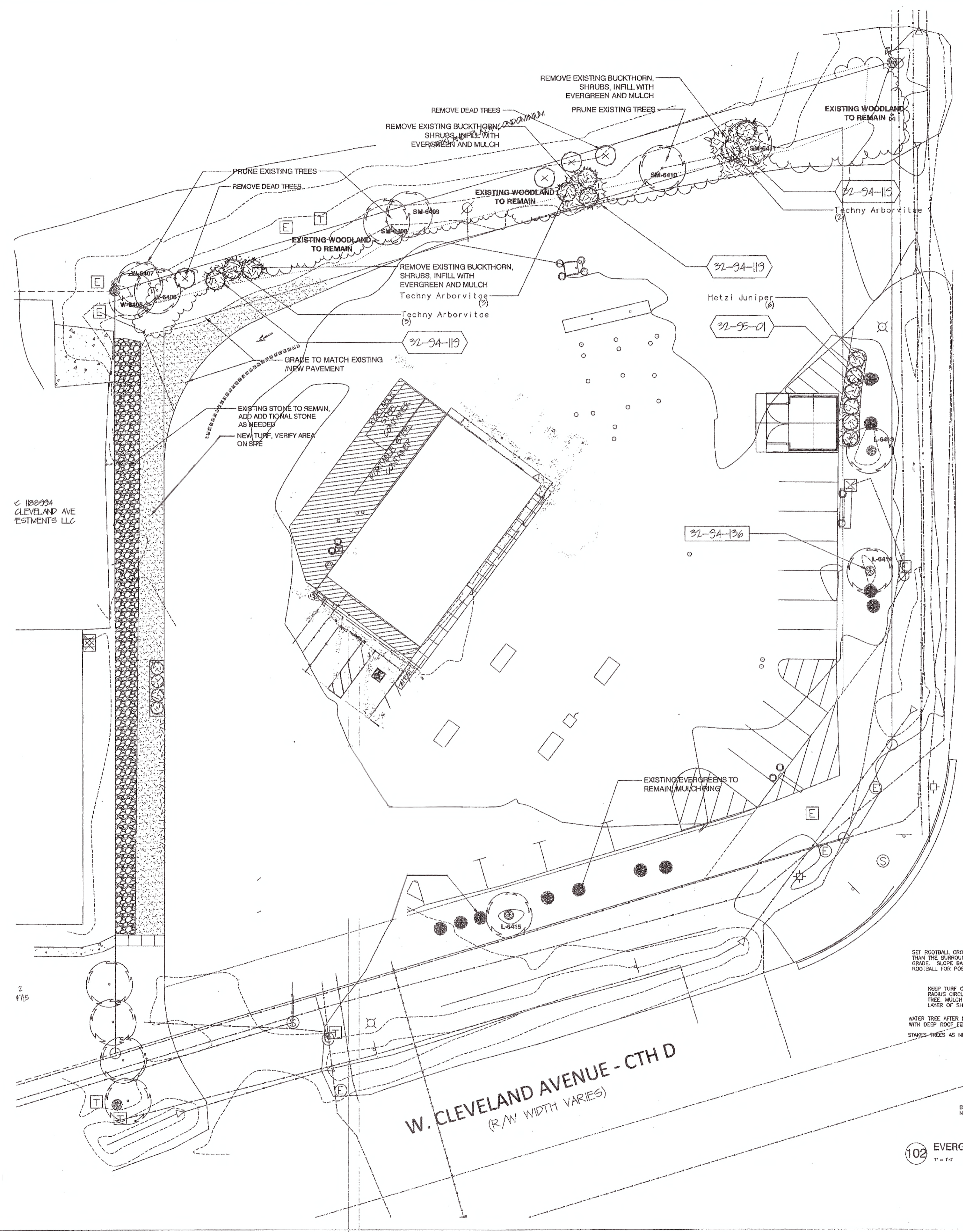
No.	Date	Revision/Issue
1		
2		
3		
4		

REMODELING OF EXISTING BUILDING FOR
 WELCOME EAST SIDE LLC
 17200 CLEVELAND AVENUE
 NEW BERLIN WI.

Thomas H. Nordloch
 Landscape Architect
 Reg. # 097-000629

Project: **20240208**
 Date: **4-25-24**
 Scale: **7-16-25**

A10



REFERENCE NOTES SCHEDULE

SYMBOL	Planting DESCRIPTION	QTY
32-93-10	REINFORC PREMIUM 60 TURF-SEED AND ON SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. LONG TERM AND GREEN NETTED BLANKET AND BENT OVER STAPLES WILL NOT BE ACCEPTED.	1,762 sf
32-93-25	BLUEGRASS SOD, MINERAL BASED ONLY. PEAT SOD IS NOT PERMITTED.	102 sf
SYMBOL	Planting Accessories DESCRIPTION	QTY
32-94-119	SHREDDED BARK MULCH, 3-4" DEPTH	1,084 sf
32-94-136	3" DIAMETER MULCH TREE RING	16
32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL.	77 lf

PLANT SCHEDULE

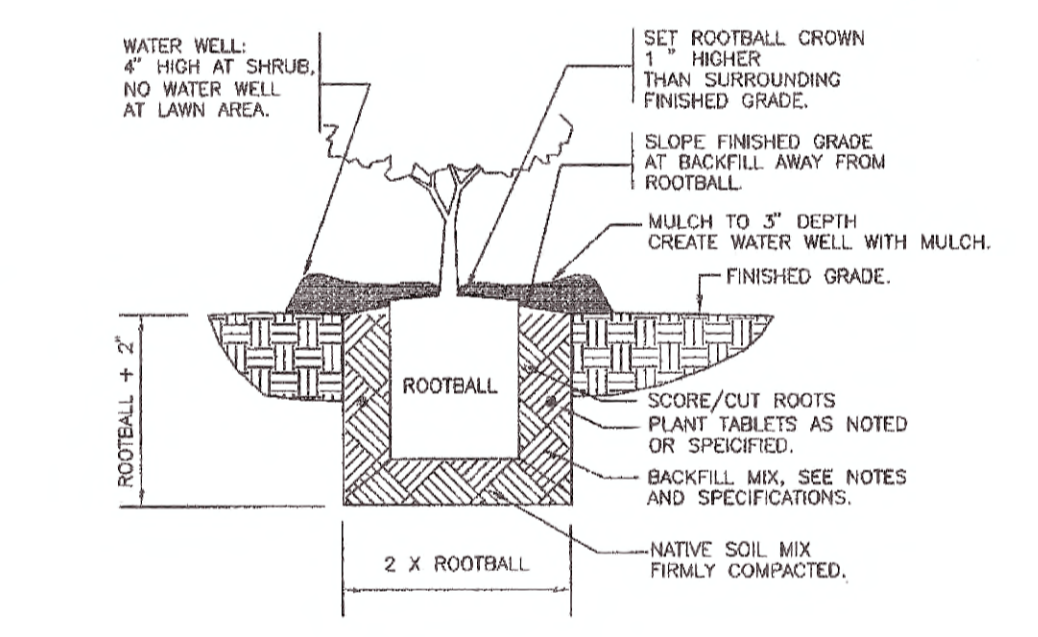
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
EVERGREEN TREES					
○	Juniperus chinensis 'Hetzi'	Hetzi Juniper	5'		6
○	Thuja occidentalis 'Techny'	Techny Arborvitae	5'	D&D	8
SUBTOTAL: 14					
SHRUBS					
⊕	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal		6
⊕	Spiraea x bumalda 'Neon Flash'	Neon Flash Spirea	3 gal		7
SUBTOTAL: 13					
GRASSES					
✻	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal		12
SUBTOTAL: 12					
ANNUALS/PERENNIALS					
✻	Rudbeckia fulgida 'Indian Summer'	'Indian Summer' Coneflower	1 gal		12
SUBTOTAL: 12					

NOTE: LANDSCAPE CONTRACTOR MUST REVIEW SITE TO DETERMINE TURF STABILIZATION AREAS, DEAD TREES, TREE PRUNING AND GRAVEL AREAS.

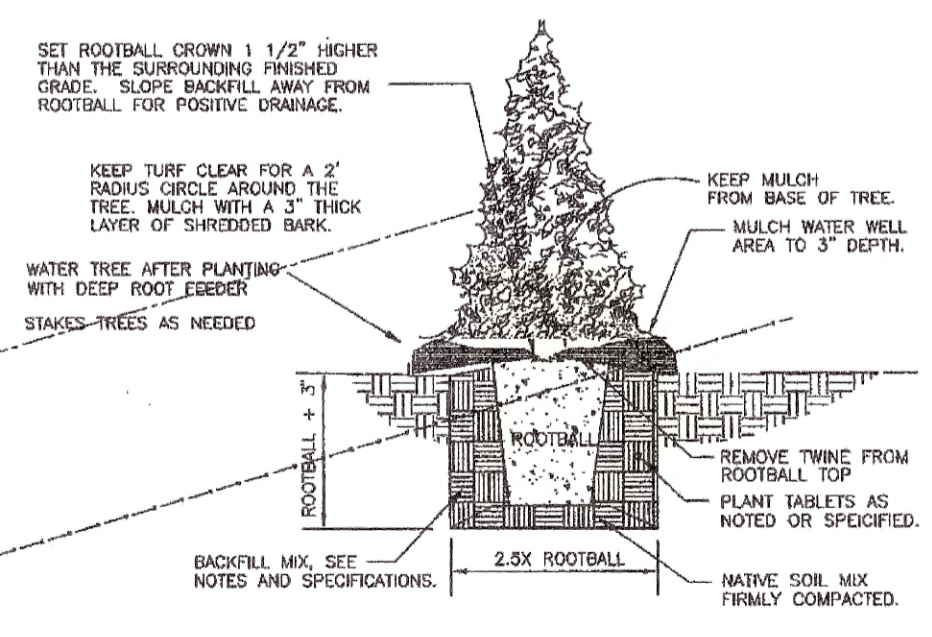
S. CALHOUN ROAD
 (R/W WIDTH VARIES)

TYPICAL EXISTING TREES AND TAGS

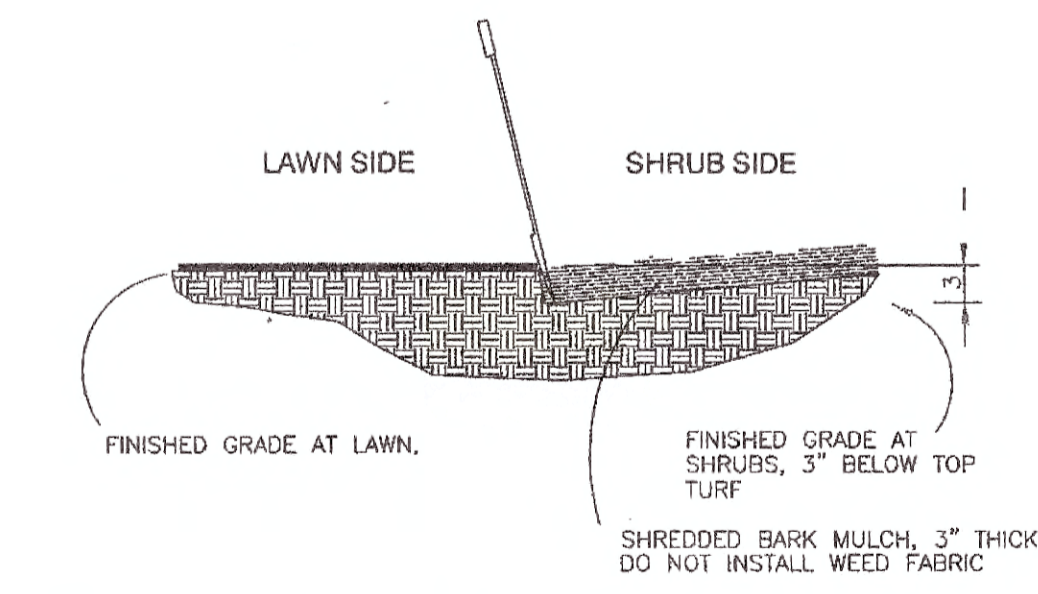
- SM-Silver Maple 6410
- L-Honeylocust 6413
- W-Willow 6407
- E-Elm 6406



103 SHRUB PLANTING
 1" = 1'-0"



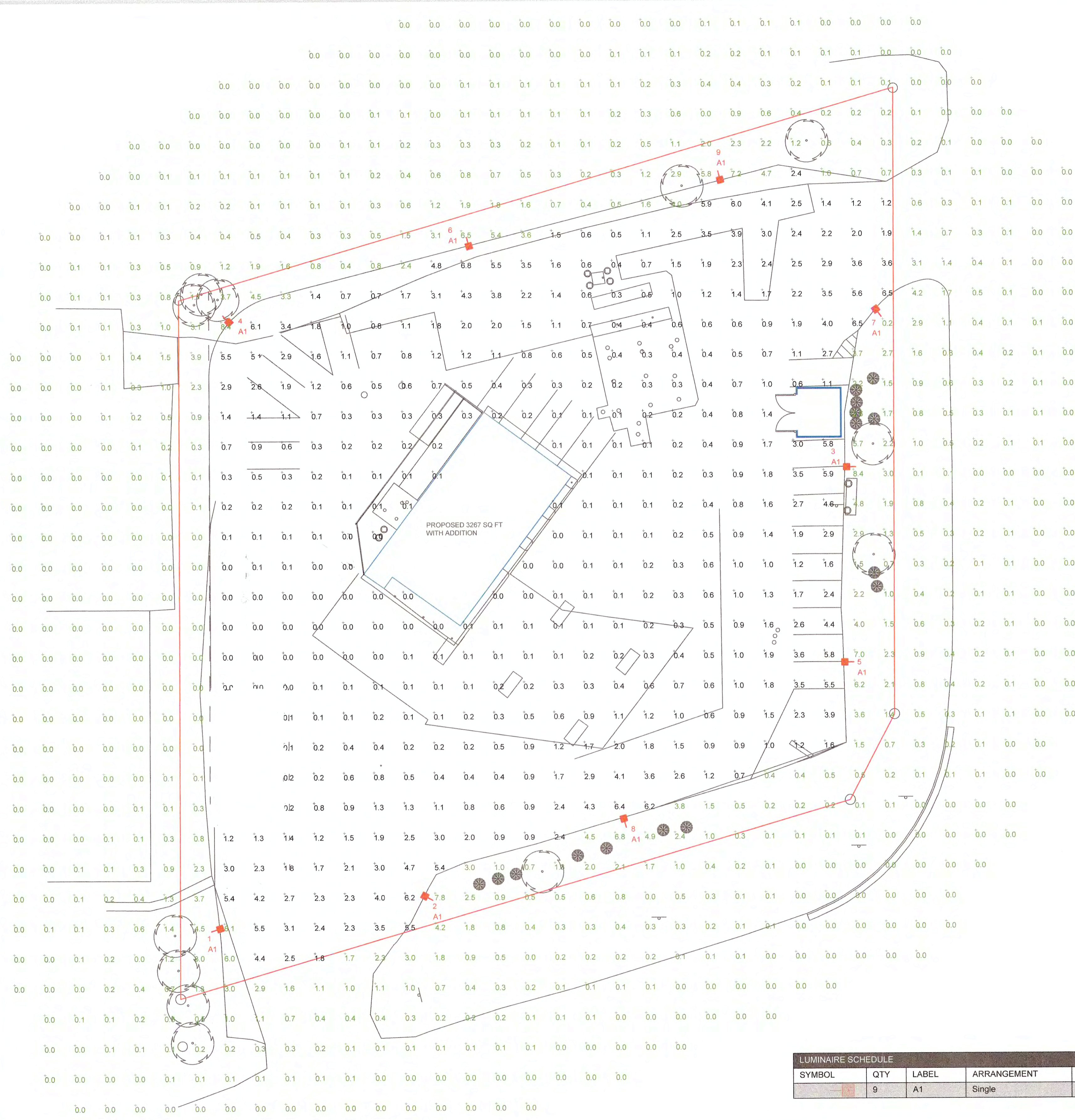
102 EVERGREEN PLANTING DETAIL
 1" = 1'-0"



201 SHOVEL CUT BED EDGE
 3" = 1'-0"



LANDSCAPE PLAN



PROPOSED 3267 SQ FT WITH ADDITION

NOTE:
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

ANY EXISTING LIGHTING FROM CANOPY NOT INCLUDED IN PHOTOMETRIC CALCULATION

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING AND DOES NOT RECOMMEND THESE LEVELS FOR SECURITY AND SAFETY REASONS

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A1	17
2	A1	17
3	A1	17
4	A1	17
5	A1	17
6	A1	17
7	A1	17
8	A1	17
9	A1	17

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	1.29	6.8	0.0	N.A.	N.A.
UNDEFINED	0.54	8.4	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
[Symbol]	9	A1	Single	10450	1.020	B2-U0-G2	68	612	Cree Lighting	OSQ-ML-C-DA + OSQM-C-11L-57K7-4M-UL-NM-XX

DISCLAIMER

ANY SITE PLAN(S), FLOOR PLAN(S), RENDERING(S), LIGHTING LAYOUT(S) AND PHOTOMETRIC PLAN(S) INCLUDING BUT NOT LIMITED TO ANY PROJECT(S) CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LASERS, SCANNERS, AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE RECREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR INTEGRITY OF EXISTING BUILDING(S), SURROUNDING AREA FOR PRODUCT(S) SUCH AS EXISTING POLES, BASE(S), ARCHITECTURAL AND SIGNAGE STRUCTURE(S), LANDSCAPING PLAN(S), LIGHTING PLAN(S), FIXTURE SELECTION(S) AND PLACEMENT, MATERIAL(S), COLOR ACCURACY, TEXTURE(S), AND ANYTHING ATTRIBUTED TO PHOTO REALISM THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PUBLISHED WORK. THE CUSTOMER, ITS RELATIVE AFFILIATES, AS WELL AS ANY OTHER PERSON(S) IN VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES, AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THIS DOCUMENT(S) OR PROJECT(S). SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWING(S), OR PROJECT(S) IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY LOCATIONS OF EMERGENCY LIGHTING SHOWN WERE PROVIDED BY OTHERS. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INSUFFICIENT LIGHTING DURING AN EMERGENCY EVENT. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAYME J. LEONARD IS STRICTLY PROHIBITED.

RED LEONARD ASSOCIATES
1340 Kemper Meadow Dr, Forest Park, OH 45240
513-574-9500 | redleonard.com

SCALE: 1" = 20'
LAYOUT BY: JAN
DWG SIZE: D
DATE: 05/09/23
10-16-25

PROJECT NAME:
**WALIA
NEW BERLIN, WI**
DRAWING NUMBER:
RL-8771-S1

A12

Plan Commission MEETING MINUTES



November 3, 2025 - 6:00 PM
Council Chambers
3805 S. Casper Drive

MINUTES

1. PUBLIC HEARING(S)

- A. (7) NJ CU-2501911 Michelle Stafford with Stafford Chiropractic - 16646 W. National Avenue (Tax Key #: 1238.999.005) - Stafford Chiropractic to re-occupy a portion of the existing space in the building. (Public Hearing 6:00 PM)

Nikki Jones introduced the Public Hearing item to the Plan Commission.

Mayor Ament asked if there were any questions for clarification.
There were none.

Mayor Ament asked if there was anyone wishing to speak in favor of the public hearing.
Cindy Miller, 3201 S. 146th Street, spoke in favor

Mayor Ament asked if there was anyone wishing to speak in opposition to the public hearing.
There were none.

Mayor Ament asked if there were questions and/or comments from Plan Commissioners.
There were none.

2. PRIVILEGE OF THE FLOOR

Each speaker is limited to 3 minutes. The session will conclude at 6:30 PM.

Paul Butler, from Bauer Sign & Lighting, 2500 N. 170th St., on behalf of Hoover Elementary, gave information pertaining to an item on the Plan Commission agenda.

3. CALL TO ORDER, PLEDGE OF ALLEGIANCE

Mayor Ament called the Plan Commission to order at 06:13 PM and led the Pledge of Allegiance.

4. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Deputy City Clerk Megan Godshall took the roll call as follows:

Present: Commissioner Schulpus, Commissioner Felda, Commissioner Rafel, Mayor Ament, Commissioner Gardner

Excused: Commissioner Theodore Anderson, Alderperson Joseph Stribl

Staff Present: DCD Director Greg Kessler, DCD Deputy Director Nikki Jones, City Attorney Mark Blum, Deputy City Clerk Megan Godshall

The Deputy City Clerk confirmed that a quorum was present and that the meeting was properly posted in compliance with open meetings law.

5. APPROVAL OF MINUTES

A. 10/6/2025 Meeting Minutes

MOTION: Motion to approve

VOTE: Motion by: Commissioner Rafel
Second by: Commissioner Gardner
Motion Passed 5-0

6. PLAN COMMISSION SECRETARY'S REPORT

No report

7. CONTINUED BUSINESS

None

8. NEW BUSINESS

- A.** (3) NJ RZ-2501502 Theodore Balistreri with PLM - 21040 W. Lincoln Avenue (Tax Key #: 1176.993) - Rezone from B-2 & C-2 to M-1 & C-2. (Public Hearing 10/6/2025)

MOTION: Motion to approve

VOTE: Motion by: Commissioner Felda
Second by: Commissioner Rafel
Motion Passed 5-0

- B.** (7) NJ CU-2501911 Michelle Stafford with Stafford Chiropractic - 16646 W. National Avenue (Tax Key #: 1238.999.005) - Stafford Chiropractic to re-occupy a portion of the existing space in the building. (Public Hearing 6:00 PM)

MOTION: Motion to approve

VOTE: Motion by: Commissioner Schulpius
Second by: Commissioner Rafel
Motion Passed 5-0

- C.** (6) NJ SG-2501927 Nick Beyersdorff with Bauer Sign & Lighting - 14000 W Euclid Avenue (Tax Key #: 1201.998.001) - Hoover Elementary School - Sign Waiver Request.

MOTION: Motion to deny waiver #1 based on the information in the staff report

VOTE: Motion by: Mayor Ament
Second by: Commissioner Rafel
Motion Passed 5-0

MOTION: Motion to deny waiver #2 based on the information in the staff report

VOTE: Motion by: Mayor Ament
Second by: Commissioner Schulpius
Motion Passed 5-0

9. PENDING

None

10. COMMUNICATIONS

A. 2026 Plan Commission Meeting Dates

11. ADJOURN

MOTION: Motion to adjourn at 6:24 PM

VOTE: Motion by: Commissioner Schulpus
Second by: Commissioner Rafel
Motion Passed 5-0

**Respectfully Submitted,
Megan Godshall, Deputy City Clerk**

STAFF REPORT EXECUTIVE SUMMARY

APPLICANT/PROJECT: Patrick Vanderburgh with Milwaukee Rescue Mission – New Journey / CSM

LOCATION: 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002)

REQUEST: 1-Lot Certified Survey Map

REVIEW SCHEDULE:

CSM Received:	10/24/2025
Completeness Determination:	10/24/2025
90-day time limit expires:	1/22/2025
Final Common Council Action (expected):	1/13/2026

D.R.C. RECOMMENDATION: Recommend to Common Council approval of the 1-Lot Certified Survey Map located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002), subject to the application, plans on file and the following conditions:

1. Applicant shall correct all drafting errors and requested changes identified by Staff on the final CSM prior to the City signing.
2. The existing 33 ft wide public access easement. should read, to be, vacated.
3. Applicant shall address any comments from Waukesha County.
4. A final copy of the CSM shall be submitted and reviewed prior to City signing. All owners and surveyor must sign prior to City signing the CSM. Surveyor Stamp is required.
5. The CSM shall be recorded with Waukesha County Register of Deeds prior to the issuance of any new zoning or building permits.
6. Applicant and/or new property owners shall apply for and obtain appropriate building, plumbing and electrical permits prior to any construction on any parcel.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of December 8, 2025

Patrick Vanderburgh with Milwaukee Rescue Mission – New Journey
1-Lot Certified Survey Map
5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002)

DATE STAFF REPORT PREPARED: October 31, 2025

APPLICANT / OWNER(S): Patrick Vanderburgh with Milwaukee Rescue Mission New Journey / Moorland Hospitality Group, LLC

REQUEST / DESCRIPTION OF PROJECT: Approval of the 1-Lot Certified Survey Map located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002).

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 10/24/25

DATE OF COMPLETENESS DETERMINATION: 10/24/25

PRE-APPLICATION CONFERENCE HELD: Yes
Date(s) of Meeting(s): 5/20/25, 7/9/25 & 10/16/25

CONCEPTUAL PLAN: Yes, CSM is attached.

SIZE OF DEVELOPMENT / PARCEL(S): 5.67 acres (once CSM is approved).

CURRENT ZONING: M-1 (Light Manufacturing District)

CURRENT LAND USE: Vacant former Single-family residential / home was taken down 10/25/24.

PROPOSED ZONING: N/A

PROPOSED LAND USE: Construction of a 57,010 sq. ft. rehabilitative development. (See File #: UA-2502143).

PROPOSED LOT SIZES: Lot 1: 5.6858 Acres

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: N/A
South: Zoning: M-1

East: Zoning: M-1
West: Zoning: N/A

Land Use: Interstate 43
Land Use: Light Manufacturing (Nassco Inc. & Pieper Automation, Apria Healthcare LLC & Renewable Energy & Drives - US)
Land Use: Light Manufacturing (Roadrunner Express Car Wash)
Land Use: Interstate 43

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 18: Neighborhood H: Westridge & Moorland Road

Planning Context / Vision / Development Policies:

Neighborhood H:

- *Westridge/Towne Corporate Business Park should be expanded as a major economic center for the City. The Business Park should continue to set an example of high standards in architecture, site planning, and sustainable practices. Primary uses should promote light manufacturing and office complexes. Hotels, clinics, entertainment (i.e. restaurants, shopping center, and cinemas), and retail should serve as supporting uses.*
- *The vision for the South Moorland Road Corridor includes the following elements that have been incorporated into the development of the plan:*
 - ✓ *A business community that focuses on sustainable site and building design.*
 - ✓ *Emphasis on preservation of significant environmental features such as: wetlands, woodlands, tree rows, floodplain and environmental corridors.*
 - ✓ *Focus on green infrastructure and creative storm water management elements.*
 - ✓ *A system of meaningful pedestrian connections to create a walkable and connected community.*
 - ✓ *Focus on sound planning and architecture practices.*
 - ✓ *Layout that includes a mix of retail, commercial, office and light manufacturing within the Business Park/Industrial area.*
 - ✓ *Allow for flexible site design for both residential and nonresidential development by creating Zoning Code standards that promote creativity and sustainability.*
 - ✓ *Require significant buffers between contrasting uses and main thoroughfares.*

Development Policies:

- *Emphasize mixed use developments with light industrial and office as the dominant land uses. Supporting hospitality related uses (i.e., hotels and table service restaurants) should complement the primary uses.*
- *Use low-intensity office or neighborhood-oriented retail as a buffer between the industrial areas and the residential areas to the north and west.*
- *Require traffic impact studies to be submitted for new construction as indicated in the City Zoning Code requirements. The City should ensure that impact studies include consideration of the surrounding area at full build-out.*
- *Require coordinated, pre-planned concepts/development proposals to ensure a cohesive and coordinated development pattern. Developments must take into consideration how adjacent parcels would be developed.*
- *Development proposals shall include appropriate utility easements and/or roadway reservations or dedications to ensure public infrastructure (utility or roadway) extensions/connections and a coordinated development pattern are achieved.*
- *Any future development requiring coordinated access and/or utility extensions in this area may require the applicant to submit a surety instrument to the City to cover future public improvements and cost contributions.*

Land Use

- *Future Land Use Map: Business Park Industrial*

ZONING CODE (Chapter 275): Yes, this request is consistent with Section 275-35B(4) of the Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): Yes

REZONING REQUIRED: No

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: No

Site Plan Required: Yes, a Certified Survey Map was submitted.

Architectural Review Required: No

PROPOSED ARCHITECTURE: N/A

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Yes, the majority of the site is considered environmental corridor. However, much of the site has already been clear cut / disturbed many years ago.

Wetland On Property: Yes, applicant completed a wetland delineation on May 23, 2025 by Wetland & Waterway Consulting, LLC. The report indicates the complex flagged during the current delineation remains the same as that flagged during the 2019 delineation. Wetlands were registered on the City's Zoning Map. (See File #: WD-1903347).

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: Site slopes to the southeast.

BIKE & PEDESTRIAN FACILITIES PLAN: None identified.

PARK & OPEN SPACE PLAN: None identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Yes, applicant will provide an erosion control plan.

Woodland, Tree, and Vegetation Protection: The applicant has submitted a Tree Inventory along with a landscape plan and tree-planting schedule.

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: Applicant completed a wetland delineation on May 23, 2025 by Wetland & Waterway Consulting, LLC. The report indicates the complex flagged during the current delineation remains the same as that flagged during the 2019 delineation. Wetlands were registered on the City's Zoning Map. (See File #: WD-1903347).

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development. A stormwater management plans as been included.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Basin Capacity Available: Yes

Adequate Linkage: Yes

Onsite System Required: No

WATER USAGE CALC.: Will be furthered reviewed at the time of building permit.

TRAFFIC IMPACT: Applicant submitted a TIA prepared by TADI on September 17, 2025. This is on file with DCD.

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

3/2/2020 Plan Commission approved a 2-Lot CSM and a Hampton Inn Hotel.
3/10/2020 Common Council approved a 2-Lot CSM.
3/1/2021 The Plan Commission approved a 12-month extension.
2/7/2022 The Plan Commission approved a limited extension through May 31, 2022.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. The applicant has simultaneously applied for a Use Approval to construct a 57,010 sq. ft. rehabilitative development. (See File #: UA-2502143).
2. Applicant completed a wetland delineation on May 23, 2025 by Wetland & Waterway Consulting, LLC. The report indicates the complex flagged during the current delineation remains the same as that flagged during the 2019 delineation. Wetlands were registered on the City's Zoning Map. (See File #: WD-1903347).

STAFF RECOMMENDATION:

Recommend to Common Council approval of the 1-Lot Certified Survey Map located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002), subject to the application, plans on file and the following conditions: **See Executive Summary.**

ATTACHMENTS:

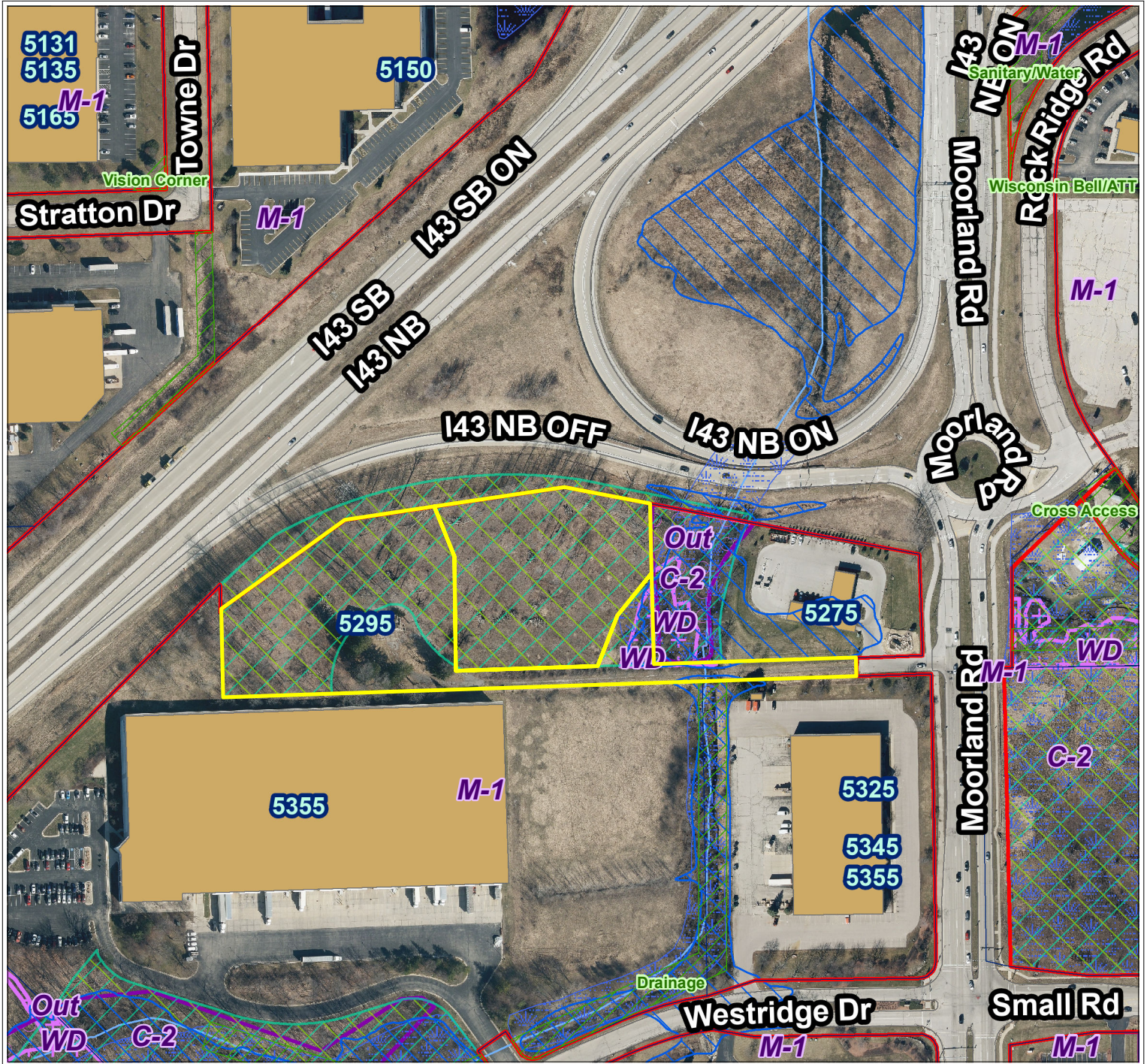
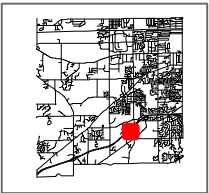
Location Map
CSM



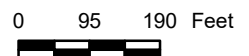
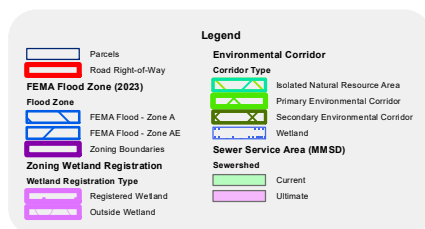
LD-2502142 & UA-2502143
 Milwaukee Rescue Mission-
 New Journey

5295 S. Moorland Road

(Tax Key #'s: 1260.998.001 & 1260.998.002)



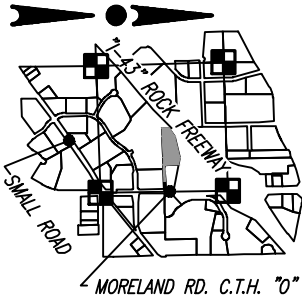
City of New Berlin
 Department of Community Development
 3805 S Casper Dr.
 New Berlin WI 53151
 (262) 797-2445
 www.newberlin.org



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CERTIFIED SURVEY MAP NO.

BEING A CONSOLIDATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 12253. BEING A THAT PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, IN TOWN 6 NORTH, RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN.



LOCALITY MAP:
 S.E. 1/4, SEC. 27,
 T. 6 N., R. 20 E.
 SCALE: 1"=2000'

OWNER:
 MILWAUKEE RESCUE MISSION
 1820 W. WELLS STREET
 MILWAUKEE, WI 53233

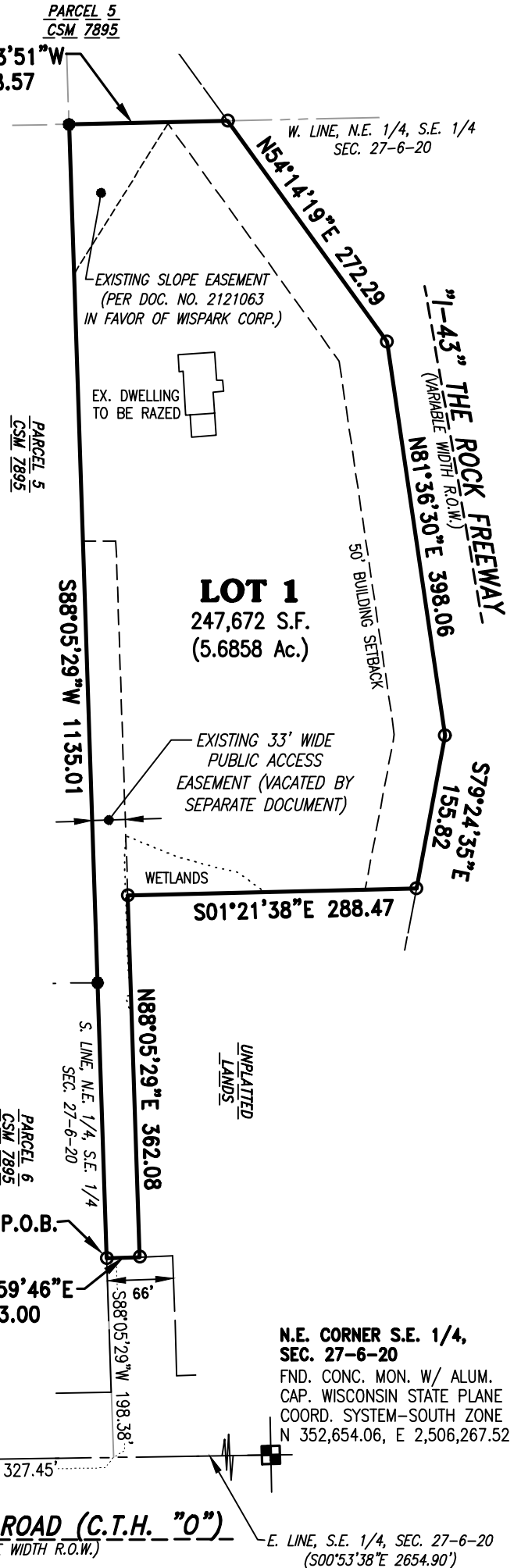
PREPARED BY:
 TRIO ENGINEERING, LLC
 19035 W. CAPITOL DRIVE, SUITE 200
 BROOKFIELD, WI 53045
 PHONE: 262-790-1480
 FAX: 262-790-1481

NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE EAST LINE OF THE S.E. 1/4 OF SECTION 27, TOWN 6 NORTH, RANGE 20 EAST, BEARS S00°53'38"E.
- WETLAND LINES SHOWN HEREON WERE FIELD DELINEATED BY WETLAND AND WATERWAY CONSULTING (DAVE MEYER) ON SEPTEMBER 23, 2025, AND WAS FIELD LOCATED BY TRIO ENGINEERING, LLC.
- ALL TELEPHONE LINES, ELECTRIC LINES, CABLE TELEVISION LINES, TELECOMMUNICATION LINES AND OTHER SIMILAR UTILITY SERVICES SHALL BE PLACED UNDERGROUND UNLESS THE APPLICANT OR UTILITY CAN DEMONSTRATE THAT UNDERGROUNDING IS NOT FEASIBLE.
- AS OWNER I HEREBY RESTRICT ALL LOTS AND BLOCKS, IN THAT NO OWNER, POSSESSOR, USER, NOR LICENSEE, NOR OTHER PERSON SHALL HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS OR EGRESS WITH INTERSTATE "43" AS SHOWN ON THIS MAP; IT BEING EXPRESSLY INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC ACCORDING TO S.236.293, STATS., AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OF TRANSPORTATION.
- THE LOTS OF THIS LAND DIVISION MAY EXPERIENCE NOISE AT LEVELS EXCEEDING THE LEVELS IN s. TRANS 405.04, TABLE I. THESE LEVELS ARE BASED ON FEDERAL STANDARDS. THE DEPARTMENT OF TRANSPORTATION IS NOT RESPONSIBLE FOR ABATING NOISE FROM EXISTING STATE TRUNK HIGHWAYS OR CONNECTING HIGHWAYS, IN THE ABSENCE OF ANY INCREASE BY THE DEPARTMENT TO THE HIGHWAY'S THROUGH-LANE CAPACITY.

LEGEND:

- - INDICATES Section Corner (See Plan for Details)
- - INDICATES "Found" 3/4" Iron Rod.
- - INDICATES "Found" 1" Iron Pipe.

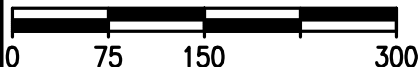


P.O.C.
 S.E. CORNER, S.E. 1/4,
 SEC. 27-6-20
 FND. CONC. MON. W/ ALUM.
 CAP. WISCONSIN STATE PLANE
 COORD. SYSTEM-SOUTH ZONE
 N 349,999.69, E 2,506,308.94

**N.E. CORNER S.E. 1/4,
 SEC. 27-6-20**
 FND. CONC. MON. W/ ALUM.
 CAP. WISCONSIN STATE PLANE
 COORD. SYSTEM-SOUTH ZONE
 N 352,654.06, E 2,506,267.52



SCALE: 1"=150'



S. MOORLAND ROAD (C.T.H. "0")
 (VARIABLE WIDTH R.O.W.)

H:\CT700\787\19018-01\Survey\CSM\530CSM02.dwg

DRAFTED THIS 24TH DAY OF OCTOBER, 2025
 THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972

19-018-787-01
 SHEET 1 OF 3

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 12253. BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, IN TOWN 6 NORTH, RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

As owner, I hereby certify that I have caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the provisions of Chapter 236 of the Wisconsin Statutes, and the Subdivision Regulations of the City of New Berlin, this _____ day of _____, 20 ____.

MILWAUKEE RESCUE MISSION

STATE OF WISCONSIN)
) ss
COUNTY OF)

Personally came before me this _____ day of _____, 20____, _____, _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Print Name: _____
Notary Public, _____ County, WI
My commission expires: _____

CITY OF NEW BERLIN COMMON COUNCIL APPROVAL:

This Certified Survey Map is hereby approved by the City of New Berlin Common Council, on this _____ day of _____, 20 ____.

David A. Ament, Mayor

Date:

Rubina R. Medina, City Clerk

Date:

CITY OF NEW BERLIN PLAN COMMISSION APPROVAL:

This Certified Survey Map is hereby approved by the City of New Berlin Plan Commission, on this _____ day of _____, 20 ____.

David A. Ament, Mayor

Date:

Nikki Jones, Secretary

Date:

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: Patrick Vanderburgh with Milwaukee Rescue Mission – New Journey / Use Approval

LOCATION: 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002)

REQUEST: Use Approval for a 57,010 sq. ft. rehabilitative development located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002).

D.R.C. RECOMMENDATION: Recommend approval for the Use, Site and Architecture for the construction of a 57,010 sq. ft. rehabilitative development located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002), subject to the application, plans on file and the following conditions:

1. Planning:

- a. Common Council approval required of the land division request (File #: LD-2502142) prior to the issuance of the Zoning Permit. CSM shall be recorded with Waukesha County Register of Deeds Office.
- b. Plan of Operation:
 - i. Applicant shall adhere to the submitted plan of operation.
 - ii. The applicant is proposing to construct a 57,010 sq. ft. rehabilitative development.
 - iii. Employee and customer parking shall be contained on site.
 - iv. On-site grading work can begin prior to issuance of zoning permits; however, the grading and stormwater plan shall be approved prior to any site disturbance. A letter of credit shall be on file prior to any site work.
- c. The project will be reviewed by the Architecture Review Committee on December 8, 2025.
- d. Approval of the Landscaping Plan and payment of all installation and maintenance sureties is required. Landscape plans shall meet all the requirements of Article VIII Section 275-53 through 275-56 of the City's Zoning Code.
 - i. Applicant submitted a detailed tree inventory.
 - ii. Applicant has provided a list of trees to be removed. Removal of significant trees shall be replaced per the tree replacement schedule outlined in § 275-54B(6) of the Zoning Code. The initial landscape fee calculations is based on the submitted plans for Options B (planting smaller trees 2.5"-4") the fee would be approximately \$45,300.
 - iii. Consider using larger / taller trees (5"- 7") to bring down the replacement fee or remove fewer trees.
 - iv. Final landscape fee will be calculated upon final submittal.
- e. Mechanical equipment shall be properly screened from the street rights-of-way including I-43 and public view in accordance with Section 275-56.G of the Zoning Code.
- f. Applicant shall show any roof, ground, and wall mounted equipment on architectural plans and how they will be screened.
- g. Dumpsters shall be properly screened from the street and public view in accordance with

Article VIII Section 275-56 of the New Berlin Municipal Ordinance.

- h. All permanent and temporary signs require a Sign Application to be filed prior to installation.**
- i. Applicant shall provide copies of any applicable WDNR and Army Corp of Engineers permits prior to issuance of the Zoning Permit.**
- j. Wetlands shall be clearly marked in the field with construction fencing and signage during site work.**

2. Stormwater:

- a. Update the narrative to not round the time of concentration, model has them to one decimal.**
- b. Add the 36-inch horizontal orifice to the model.**
- c. Provide stamped signed cover for the SWMP.**
- d. WDNR NOI is required.**
- e. MMSD Chapter 13 approval is required.**
- f. SWMP Maintenance Agreement is required; City of New Berlin boilerplate agreement is available online.**
- g. If the stormwater management facilities are used for erosion control during construction, an asbuilt is required after construction of the facilities, and a recertification/asbuilt is required prior to Occupancy.**
- h. Stormwater Management Facilities Asbuilts are required to be submitted and approved prior to occupancy.**
- i. Recorded Stormwater Maintenance Agreement is required to be recorded prior to occupancy.**

3. Engineering:

- a. Per 275-55.A.(5). Retaining walls exceeding 16 inches in height may be constructed only upon issuance of an administrative permit. Retaining walls may be reviewed and approved with a building permit, in which case a separate use approval permit would not be required.**
 - i. A retaining wall plan detailing the location, size, type and proposed grades on both sides of the retaining wall, together with a detailed cross section of the retaining wall, a description of the material to be used, and a description of the method of construction to be utilized shall be required.**
 - ii. Retaining walls should not exceed 48 inches in height unless designed by a professional engineer or installed according to manufacturer's specifications. Walls that are not tiered and exceed seven feet in height shall require a professional engineer on site overseeing the construction of the retaining wall.**
 - iii. Retaining walls shall not be located closer than 5 feet to a side or rear lot line unless the Director finds that there is no other practical location, and only after written approval by the affected neighbor is received.**
 - iv. Adequate safety features and precautions shall be incorporated into the retaining wall design to mitigate the hazard of the abrupt drop off created by the wall.**
 - v. Retaining walls structures, including tiebacks, are to be located outside the base setback line.**
- b. Parking:**
 - i. The plan provides 75 parking stalls. The Plan of Operation includes 3 facility-owned vehicles, 35 Staff members in 2 shifts and the possibility of 120 clients. It is estimated**

that only 66 clients will have a vehicle on-site. With the highest parking demand of 94 spaces, adjusted with a 20% correction factor for vacancies, the total number of required parking spaces is 75. If parking becomes a problem, where fire lanes are being blocked, etc., additional parking may be required in the future as part of the Zoning Permit requirements.

c. Utilities:

- i. The sanitary and water extensions to the property will be private.**
- ii. The property owner will be responsible for maintenance and flushing of the fire hydrants. A record of hydrant maintenance must be available and presented to the fire inspector upon request.**
- iii. Provide a stand pipe for fire connection within the stair wells for connection on each floor. Show the location of the fire panel and the annunciator panel on the interior building plans.**

d. Provide the City with a copy of the Shared Maintenance Agreement with Roadrunner Express for the shared portion of the entrance drive.

e. Provide the City with a copy of the Wetland fill permit and NOI from the DNR.

f. Lighting Plan:

- i. The lighting plan provided is difficult to read. Provide a new plan printed to a larger size font.**

4. Sewer Utility:

- a. Maintain a 5 feet minimum horizontal clearance from any water main and sanitary sewer pipes and structures.**
- b. Maintain 24 inches vertical clearance when crossing any pipes and structures.**
- c. Please call Alex Parker at New Berlin Water Utility with Questions.**
- d. If a conflict occurs, conduits will be removed at the owner's expense.**

5. Water Utility:

- a. All hydrants have a hydrant valve.**
- b. Six-inch water service shall have a hydrant valve anchored to 8-inch public water main.**
- c. Maintain a 5 feet minimum horizontal clearance from any water main and sanitary sewer pipes and structures.**
- d. Maintain 24 inches vertical clearance when crossing any pipes and structures.**
- e. Please call Alex Parker at New Berlin Water Utility with Questions.**
- f. If a conflict occurs, conduits will be removed at the owner's expense.**

6. Inspection:

- a. Inspection CU - STATE REVIEW**
- b. Building plans shall be signed and stamped by a licensed architect or professional engineer per the Wisconsin Enrolled Commercial Building Code (SPS.361.31).**
- c. Building plans shall be approved by the State of Wisconsin Department of Commerce Safety and Buildings Division (SPS.361.60).**
- d. Please contact Wisconsin Department of Health Services for plan review.**
- e. State letter required with permit application.**

- f. Apply and obtain appropriate building, HVAC, electric, plumbing and fire permits from the City of New Berlin Building Inspection Division.
- g. Zoning approval will be required BEFORE applying for the building permit. Separate application and plans are required.
- h. Plumbing: State review is required for over 16 fixtures - new and/or replacements.
- i. The building shall be fully accessible from the parking lot to the interior elements (SPS.363.1101 and ICC/ANSI A117.1).
- j. 2021 IBC and updated SPS 361-366 apply.
- k. The City of New Berlin DOES NOT issue phased or temporary occupancies.

7. Fire:

- a. Maintain fire sprinkler coverage throughout.
- b. Key for Knox box is required.
- c. Stand pipes required.
- d. Maintain 24' fire access width for fire lane.
- e. Maintain audio and visual fire alarm notification.
- f. Fire hydrants shall be placed every 300 feet starting at Moorland Road edge and located per Nbfd.

DETAILS IN ATTACHED STAFF REPORT:

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
PLAN COMMISSION STAFF REPORT

Meeting of December 8, 2025

Patrick Vanderburgh with Milwaukee Rescue Mission New Journey / Use Approval
5295 S. Moorland Road (Tax Key #: 1260.998.001 & 1260.998.002)

DATE STAFF REPORT PREPARED: October 28, 2025

APPLICANT / OWNER(S): Patrick Vanderburgh with Milwaukee Rescue Mission New Journey / Moorland Hospitality Group, LLC

REQUEST / DESCRIPTION OF PROJECT: Use Approval for a 57,010 sq. ft. rehabilitative development located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002).

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 10/24/2025

DATE OF COMPLETENESS DETERMINATION: 10/27/2025

PRE-APPLICATION CONFERENCE HELD: Yes
Date(s) of Meeting(s): 5/20/25, 7/9/25 & 10/16/25

CONCEPTUAL PLAN: N/A

SIZE OF DEVELOPMENT / PARCEL(S): 5.68 acres (After CSM approval of the 1-Lot CSM LD-2502142)

CURRENT ZONING: M-1 (Light Manufacturing District)

CURRENT LAND USE: Vacant former Single-family residential / home was taken down 10/25/24.

PROPOSED ZONING: N/A

PROPOSED LAND USE: Construction of a 57,010 sq. ft. rehabilitative development.

PROPOSED LOT SIZES: Lot 1: 5.68 Acres (See File #: LD-2502142)

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: N/A

South: Zoning: M-1

East: Zoning: M-1

West: Zoning: N/A

Land Use: Interstate 43

Land Use: Light Manufacturing (Nassco Inc. & Pieper Automation, Apria Healthcare LLC & Renewable Energy & Drives - US)

Land Use: Light Manufacturing (Roadrunner Express Car Wash)

Land Use: Interstate 43

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 18: Neighborhood H: Westridge & Moorland Road

Planning Context / Vision / Development Policies:

Neighborhood H:

- *Westridge/Towne Corporate Business Park should be expanded as a major economic center for the City. The Business Park should continue to set an example of high standards in architecture, site planning, and sustainable practices. Primary uses should promote light manufacturing and office complexes. Hotels, clinics, entertainment (i.e. restaurants, shopping center, and cinemas), and retail should serve as supporting uses.*
- *The vision for the South Moorland Road Corridor includes the following elements that have been incorporated into the development of the plan:*
 - ✓ *A business community that focuses on sustainable site and building design.*
 - ✓ *Emphasis on preservation of significant environmental features such as: wetlands, woodlands, tree rows, floodplain and environmental corridors.*
 - ✓ *Focus on green infrastructure and creative storm water management elements.*
 - ✓ *A system of meaningful pedestrian connections to create a walkable and connected community.*
 - ✓ *Focus on sound planning and architecture practices.*
 - ✓ *Layout that includes a mix of retail, commercial, office and light manufacturing within the Business Park/Industrial area.*
 - ✓ *Allow for flexible site design for both residential and nonresidential development by creating Zoning Code standards that promote creativity and sustainability.*
 - ✓ *Require significant buffers between contrasting uses and main thoroughfares.*

Development Policies:

- *Emphasize mixed use developments with light industrial and office as the dominant land uses. Supporting hospitality related uses (i.e., hotels and table service restaurants) should complement the primary uses.*
- *Require traffic impact studies to be submitted for new construction as indicated in the City Zoning Code requirements. The City should ensure that impact studies include consideration of the surrounding area at full build-out.*
- *Require coordinated, pre-planned concepts/development proposals to ensure a cohesive and coordinated development pattern. Developments must take into consideration how adjacent parcels would be developed.*
- *Development proposals shall include appropriate utility easements and/or roadway reservations or dedications to ensure public infrastructure (utility or roadway) extensions/connections and a coordinated development pattern are achieved.*
- *Any future development requiring coordinated access and/or utility extensions in this area may require the applicant to submit a surety instrument to the City to cover future public improvements and cost contributions.*

Land Use

- *Future Land Use Map: Business Park Industrial*

ZONING CODE (Chapter 275): Yes, this request is consistent with Section 275-35B(4) of the Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): Yes

REZONING REQUIRED: No

CONDITIONAL USE REQUIRED: No

PUBLIC HEARING REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: Yes, this item will be reviewed at the December 8, 2025 meeting.

PROPOSED ARCHITECTURE: Please refer to attached plans.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Yes, the majority of the site is considered environmental corridor. However, much of the site has already been clear cut / disturbed many years ago.

Wetland On Property: Yes, applicant completed a wetland delineation on May 23, 2025 by Wetland & Waterway Consulting, LLC. The report indicates the complex flagged during the current delineation remains the same as that flagged during the 2019 delineation. Wetlands were registered on the City's Zoning Map. (See File #: WD-1903347).

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: Site slopes to the southeast.

BIKE & PEDESTRIAN FACILITIES PLAN: None identified.

PARK & OPEN SPACE PLAN: None identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Yes, applicant will provide an erosion control plan.

Woodland, Tree, and Vegetation Protection: The applicant has submitted a Tree Inventory along with a landscape plan and tree-planting schedule.

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: Applicant completed a wetland delineation on May 23, 2025 by Wetland & Waterway Consulting, LLC. The report indicates the complex flagged during the current delineation remains the same as that flagged during the 2019 delineation. Wetlands were registered on the City's Zoning Map. (See File #: WD-1903347).

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development. A stormwater management plans as been included.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Basin Capacity Available: Yes

Adequate Linkage: Yes

Onsite System Required: No

WATER USAGE CALC.: Will be furthered reviewed at the time of building permit.

TRAFFIC IMPACT: Applicant has submitted a TIA prepared by TADI on September 17, 2025. This is on file with DCD.

The access driveway for the existing car wash and proposed New Journey development connects to S. Moorland Road with right-in/right-out only movements and stop sign control. Due to the raised median on S. Moorland Road, traffic entering the driveway from the south must do so via a U-turn at the Rock Ridge roundabout to the north. Traffic exiting the driveway to the north on S. Moorland Road must do so via a U-turn at the Westridge Drive/Small

Road signalized intersection to the south.

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition does not provide trip data for land uses similar to the Milwaukee Rescue Mission's New Journey development. Therefore, trip generation was completed using a combination of the small office land use (for staff trips) and congregate care facility (for attendee/resident trips). Congregate care facility was chosen as it provides trip rates per bed for residents who generally do not own cars or drive each day.

The small office and congregate care facility trip rates were applied to the 30 weekday/4 weekend staff members and 56 bed/112 attendees, respectively, expected by full occupancy of the New Journey development. Based on ITE, the New Journey development generates 490 weekday daily trips, 40 weekday AM peak hour trips and 50 weekday PM peak hour trips.

The ITE Trip Generation Manual does not provide trip rates for the small office or congregate care facility land uses. Saturday staff numbers are about 15% of the weekday staff numbers, and about 10% of the residents are estimated to drive cars. Saturday peak hour trips for the New Journey facility were therefore conservatively estimated to be about 20% of the weekday PM peak hour trips (10 Saturday midday peak hour trips). The trip generation table is shown on Exhibit 5.

PART A – SUMMARY/RECOMMENDED IMPROVEMENTS

There is expected to be enough capacity at the existing study intersections to accommodate the additional traffic from the proposed New Journey development on the west side of S. Moorland Road. Intersection operations are expected to operate at LOS D or better during the peak hours, both with and without the additional traffic from the proposed development. Therefore, no changes to the existing geometrics or traffic control are recommended at either study intersection.

PART B – CONCLUSION

The existing study intersections are expected to operate safely and efficiently with the buildout of the development site. The additional site traffic traveling through or U-turning at the S. Moorland Road intersection with Small Road/Westridge Drive is not expected to significantly impact delays during the peak hours.

SCHOOL DISTRICT IMPACT: N/A

PREVIOUS ACTION:

3/2/2020	Plan Commission approved a 2-Lot CSM and a Hampton Inn Hotel.
3/10/2020	Common Council approved a 2-Lot CSM.
3/1/2021	The Plan Commission approved a 12-month extension.
2/7/2022	The Plan Commission approved a limited extension through May 31, 2022.

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. The applicant has simultaneously applied for a 1-Lot Certified Survey Map. (See File #'s: LD-2502142).
2. The applicant is proposing construction of a four-story, 57,010 sq. ft. rehabilitative development.
3. Applicant completed a wetland delineation on May 23, 2025 by Wetland & Waterway Consulting, LLC. The report indicates the complex flagged during the current delineation remains the same as that flagged during the 2019 delineation. Wetlands were registered on the City's Zoning Map. (See File #: WD-1903347).
4. Applicant has met the minimum open space requirement of 30% for the M-1 Zoning District.
5. Applicant is proposing 75 parking spaces and meets the City's requirements. Should additional parking be needed, the applicant/owner will be required to provide an application to the city.
6. The applicant has submitted a TIA. This is on file with DCD. See the Transportation Section of this report for additional information.

7. After reviewing the applicant's submitted information as well as city code, specifically Section 275-70 and 275-35, it was the City Attorney's (our) conclusion that from a pure use standpoint the proposed MRM New Journey facility is most appropriately categorized as an institutional use given its nature as an inpatient/outpatient AODA treatment facility.
 - a. We acknowledge that there is some faith-based component to the treatment programs and therefore that this use is arguably consistent with the definition of a community church as defined in the aforementioned code section, as well as under RLUIPA. Definitions as outlined in Zoning Code Section 275-70:
 - i. *CHURCH (COMMUNITY-SCALE) — A place of gathering for religious observance, ministry, and fellowship and related social events and may include classrooms for periodic religious instruction, and administrative offices. These facilities are identified as those with a total building footprint greater than 15,000 square feet or which have accessory uses, which include, but are not limited to, uses such as banquet facilities, day school, day-care facilities, retail stores, restaurant, workout centers/club, gymnasium, health care facilities, assisted-living facilities, library, and cafe. Community-scale churches shall be a conditional use in all agricultural, commercial, office and institutional districts, a principal use in the industrial district and shall be prohibited in all residential districts.*
 - ii. *CHURCH (NEIGHBORHOOD-SCALE) — A place of gathering for religious observance, ministry, and fellowship and related social events and may include classrooms for periodic religious instruction, a kitchen, a meeting area principally for members, and administrative offices. These facilities are identified as those with a total building footprint of less than 14,999 square feet. A total building size of equal to or less than 14,999 square feet shall be considered a principal use within all commercial, industrial, office and institutional districts and a conditional use in all agricultural and residential districts.*
 - b. Such a use is considered a permitted use in the M-1 Zoning District.
 - c. Based upon this analysis, the City considers this proposed Use (church/treatment facility) to be a principal use and may be considered as such by the Plan Commission via a Use, site, and Architectural permit review.
 - d. Any zoning permit issued shall have the following provisions outlined:
 - i. The use will be maintained consistently with the definition of a community church as per Section 275-70 of the city code.
 - ii. The use will be maintained in accordance with the permit(s) that you are issued to operate the facility by any governmental entity with jurisdiction including State of WI DHS.
 - iii. The use will be operated consistently with the approved plan of operation that was supplied by the applicant to the city.
 - iv. The applicant has indicated that in the event that the use becomes tax exempt at any point that the property owner will make a payment in lieu of taxes to the City for the amount which would have been paid by a similar industrial use in the Westridge Business Park. The agreement of this would be memorialized in an agreement to the property owner and the city which will be recorded with the Waukesha County Register of Deeds and will run in perpetuity with the land.
8. Since the property will no longer be developed as a hotel as originally represented in the creation of TID 4 staff will be recommending to the Common Council that it adopt a resolution to terminate TID 4 and therefore that the property will no longer be part of a tax incremental financing district.

STAFF RECOMMENDATION:

Recommend approval for the Use, Site and Architecture for the construction of 57,010 sq. ft. rehabilitative development located at 5295 S. Moorland Road (Tax Key #'s: 1260.998.001 & 1260.998.002), subject to the application, plans on file and the following conditions: **See Executive Summary.**

ATTACHMENTS:

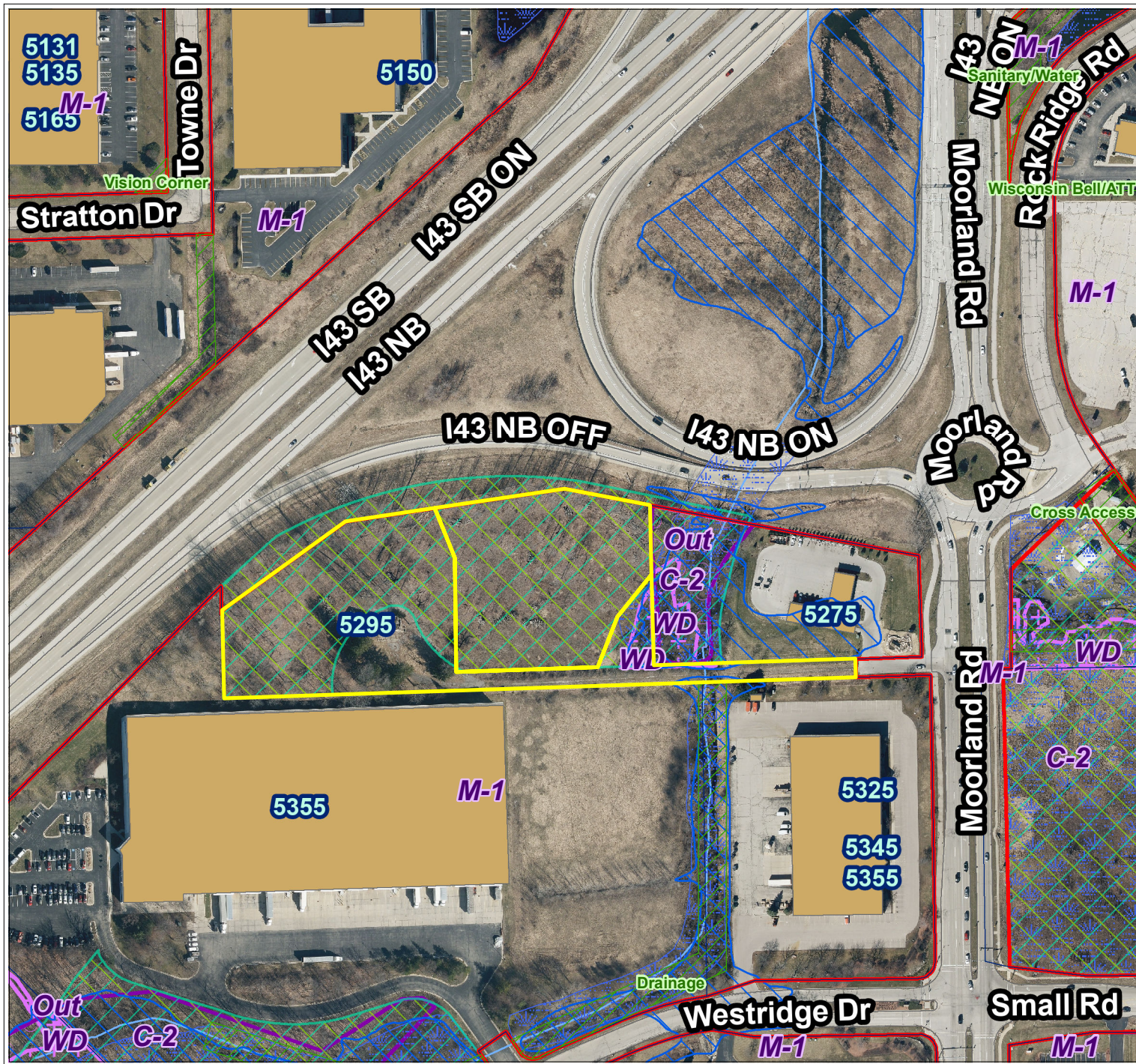
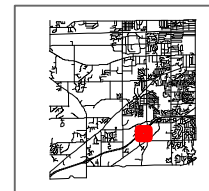
Location Map
Plans
Rendering



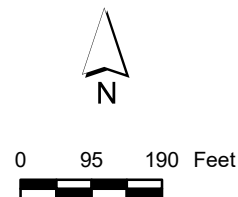
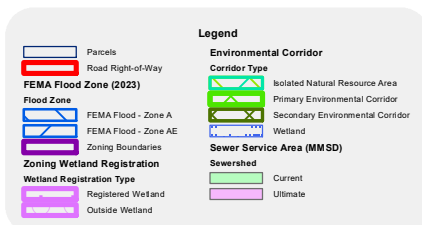
LD-2502142 & UA-2502143
 Milwaukee Rescue Mission-
 New Journey

5295 S. Moorland Road

(Tax Key #'s: 1260.998.001 & 1260.998.002)



City of New Berlin
 Department of Community Development
 3805 S Casper Dr.
 New Berlin WI 53151
 (262) 797-2445
 www.newberlin.org



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New Journey New Berlin Campus

Plan of Operation

October 24, 2025

Proposed Use of Land and Building

Project Description: Milwaukee Rescue Mission's New Journey Campus Development

This property will serve as the permanent, dedicated campus for the Milwaukee Rescue Mission's *New Journey* residential addiction recovery program. For decades, *New Journey* has successfully served single men seeking recovery from substance addiction, offering a structured, supportive, and transformative environment.

Program Overview

The *New Journey* program begins with a 28-day candidacy period during which participants reside on campus while undergoing a thorough evaluation process. During this time, staff conduct interviews and assessments to determine each individual's suitability for the full six-month residential program. This vetting process includes comprehensive background checks, resolution of any outstanding legal issues or warrants, and addressing any critical health or medical concerns.

Six-Month Residential Program

Candidates who are accepted into the program commit to a six-month, full-time residential experience. The program is rigorous and holistic, designed to address the physical, emotional, spiritual, and vocational needs of each participant. Key components include:

- **Personal and group exercises** to promote relational development, emotional growth and self-awareness
- **Adult education** aimed at strengthening academic proficiency and essential life skills
- **Individual and group counseling** led by trained staff counselors
- **Physical fitness activities** to improve health and well-being
- **Christian mentoring and spiritual development**
- **Career training and job readiness preparation**
- **Community-building and accountability structures** to support sustained sobriety and personal growth

The development of this new campus will enhance the effectiveness and reach of the *New Journey* program, providing a stable, purpose-built environment where men can rebuild their lives and establish a foundation for long-term recovery and reintegration into society.

Activities

Typical activities on the campus will include:

- Congregant meals
- Social, recreational and athletic activities both indoors and outdoors
- Support groups
- Classes
- Individual study
- Professional individual and group counseling
- Congregant chapel services

Activity Frequency & Days/Hours of Operation

As a residential campus, typical residential activities – i.e. meals, social/recreational – will occur every day throughout the week.

The concentration of program activities – classes, counseling, group sessions – will occur mostly during typical business hours – 8AM – 4PM, Monday through Friday, with occasional groups or activities occurring in the evenings Monday – Friday.

Total Number of Employees – Peak Number Weekly

The campus will build to full capacity over a three to five year period with maximum staffing level achieved at the end of that period. Total staffing will start at approximately 20 FTE and build to approximately 35 FTE. The campus will maintain a staff presence 24/7/365. The highest concentration of staff will occur during the work week (6AM-8PM; M-F) with approximately 20-25 staff members on campus in overlapping 1st & 2nd shifts.

Number of Program Residents

Participation in the residential component of the *New Journey* program will build through three to five years with projected resident levels as follows:

Year 1 – 50-60

Year 2 – 60-80

Year 3 – 80-100

Year 4 – 90-110

Year 5 - 120

Number and Type of Vehicles on Campus

Three permanent service vehicles will be on the campus – 1 utility vehicle (i.e. pickup truck); 2 passenger vans.

20 – 30 staff and resident vehicles will typically be on the campus at any given time (only residents in the transitional phase of the program will have private vehicles on the campus and this total will likely be 10 or less vehicles).

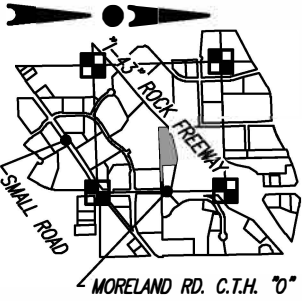
Occasionally the campus will host an event with outside guests as, for instance, program graduations, where an additional 10-20 vehicles may be present on the campus. At these peak events (i.e. special events hosted during the week), there may be a maximum of 40-50 vehicles on the campus. These type of peak events will not occur more two or three times per month.

Expected Start and Completion Dates for Construction

With formal necessary approvals by the City of New Berlin in early 2026, we will plan for construction to begin in the summer/fall of 2026 and complete by summer/fall 2027.

CERTIFIED SURVEY MAP NO.

BEING A CONSOLIDATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 12253. BEING A THAT PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, IN TOWN 6 NORTH, RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN.



LOCALITY MAP:
 S.E. 1/4, SEC. 27,
 T. 6 N., R. 20 E.
 SCALE: 1"=2000'

OWNER:
 MILWAUKEE RESCUE MISSION
 1820 W. WELLS STREET
 MILWAUKEE, WI 53233

PREPARED BY:
 TRIO ENGINEERING, LLC
 19035 W. CAPITOL DRIVE, SUITE 200
 BROOKFIELD, WI 53045
 PHONE: 262-790-1480
 FAX: 262-790-1481

NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE EAST LINE OF THE S.E. 1/4 OF SECTION 27, TOWN 6 NORTH, RANGE 20 EAST, BEARS S00°53'38"E.
- WETLAND LINES SHOWN HEREON WERE FIELD DELINEATED BY WETLAND AND WATERWAY CONSULTING (DAVE MEYER) ON SEPTEMBER 23, 2025, AND WAS FIELD LOCATED BY TRIO ENGINEERING, LLC.
- ALL TELEPHONE LINES, ELECTRIC LINES, CABLE TELEVISION LINES, TELECOMMUNICATION LINES AND OTHER SIMILAR UTILITY SERVICES SHALL BE PLACED UNDERGROUND UNLESS THE APPLICANT OR UTILITY CAN DEMONSTRATE THAT UNDERGROUNDING IS NOT FEASIBLE.
- AS OWNER I HEREBY RESTRICT ALL LOTS AND BLOCKS, IN THAT NO OWNER, POSSESSOR, USER, NOR LICENSEE, NOR OTHER PERSON SHALL HAVE ANY RIGHT OF DIRECT VEHICULAR INGRESS OR EGRESS WITH INTERSTATE "43" AS SHOWN ON THIS MAP; IT BEING EXPRESSLY INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE BENEFIT OF THE PUBLIC ACCORDING TO S.236.293, STATS., AND SHALL BE ENFORCEABLE BY THE DEPARTMENT OF TRANSPORTATION.
- THE LOTS OF THIS LAND DIVISION MAY EXPERIENCE NOISE AT LEVELS EXCEEDING THE LEVELS IN s. TRANS 405.04, TABLE I. THESE LEVELS ARE BASED ON FEDERAL STANDARDS. THE DEPARTMENT OF TRANSPORTATION IS NOT RESPONSIBLE FOR ABATING NOISE FROM EXISTING STATE TRUNK HIGHWAYS OR CONNECTING HIGHWAYS, IN THE ABSENCE OF ANY INCREASE BY THE DEPARTMENT TO THE HIGHWAY'S THROUGH-LANE CAPACITY.

LEGEND:

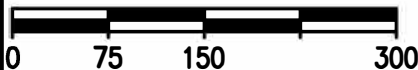
- - INDICATES Section Corner (See Plan for Details)
- - INDICATES "Found" 3/4" Iron Rod.
- - INDICATES "Found" 1" Iron Pipe.

P.O.C.
 S.E. CORNER, S.E. 1/4,
 SEC. 27-6-20
 FND. CONC. MON. W/ ALUM.
 CAP. WISCONSIN STATE PLANE
 COORD. SYSTEM-SOUTH ZONE
 N 349,999.69, E 2,506,308.94

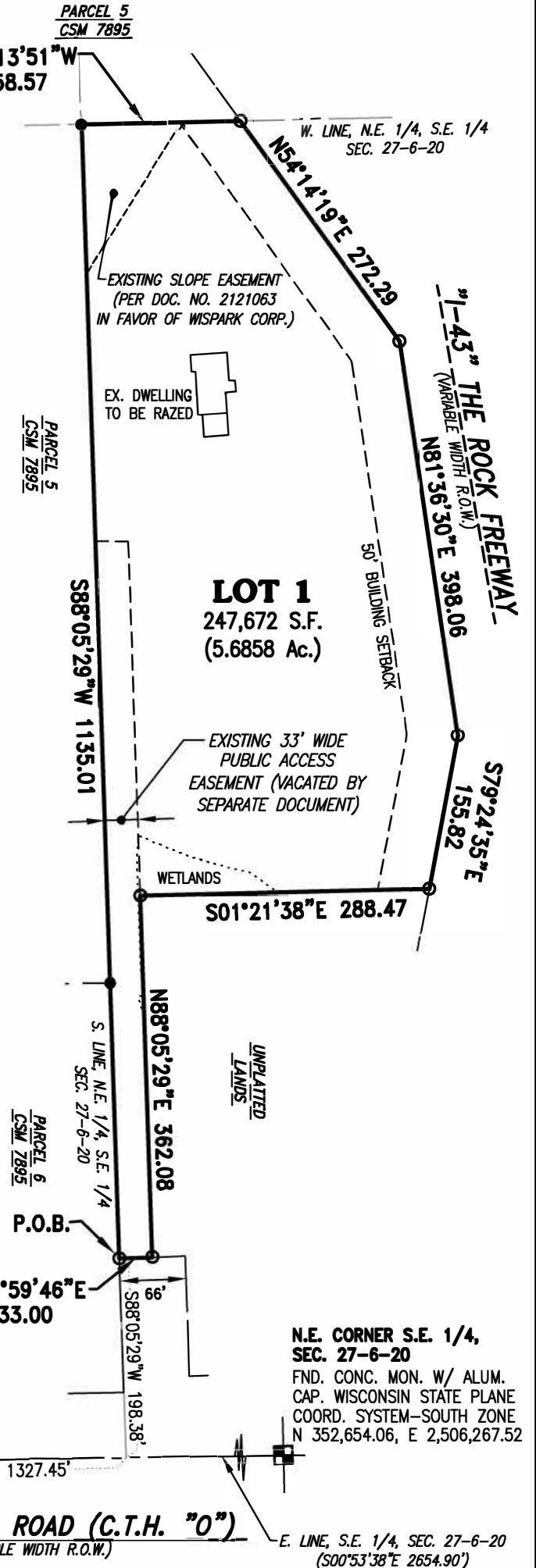
**N.E. CORNER S.E. 1/4,
 SEC. 27-6-20**
 FND. CONC. MON. W/ ALUM.
 CAP. WISCONSIN STATE PLANE
 COORD. SYSTEM-SOUTH ZONE
 N 352,654.06, E 2,506,267.52



SCALE: 1"=150'



S. MOORLAND ROAD (C.T.H. "0")
 (VARIABLE WIDTH R.O.W.)



H:\C700\787\19018-01\Survey\CSM\530CSM02.dwg

DRAFTED THIS 24TH DAY OF OCTOBER, 2025
 THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972

19-018-787-01
 SHEET 1 OF 3

CERTIFIED SURVEY MAP NO. _____

BEING A CONSOLIDATION OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 12253. BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, IN TOWN 6 NORTH, RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

As owner, I hereby certify that I have caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the provisions of Chapter 236 of the Wisconsin Statutes, and the Subdivision Regulations of the City of New Berlin, this _____ day of _____, 20 ____.

MILWAUKEE RESCUE MISSION

STATE OF WISCONSIN)
) ss
COUNTY OF)

Personally came before me this _____ day of _____, 20____, _____, _____, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Print Name: _____
Notary Public, _____ County, WI
My commission expires: _____

CITY OF NEW BERLIN COMMON COUNCIL APPROVAL:

This Certified Survey Map is hereby approved by the City of New Berlin Common Council, on this _____ day of _____, 20 ____.

David A. Ament, Mayor

Date:

Rubina R. Medina, City Clerk

Date:

CITY OF NEW BERLIN PLAN COMMISSION APPROVAL:

This Certified Survey Map is hereby approved by the City of New Berlin Plan Commission, on this _____ day of _____, 20 ____.

David A. Ament, Mayor

Date:

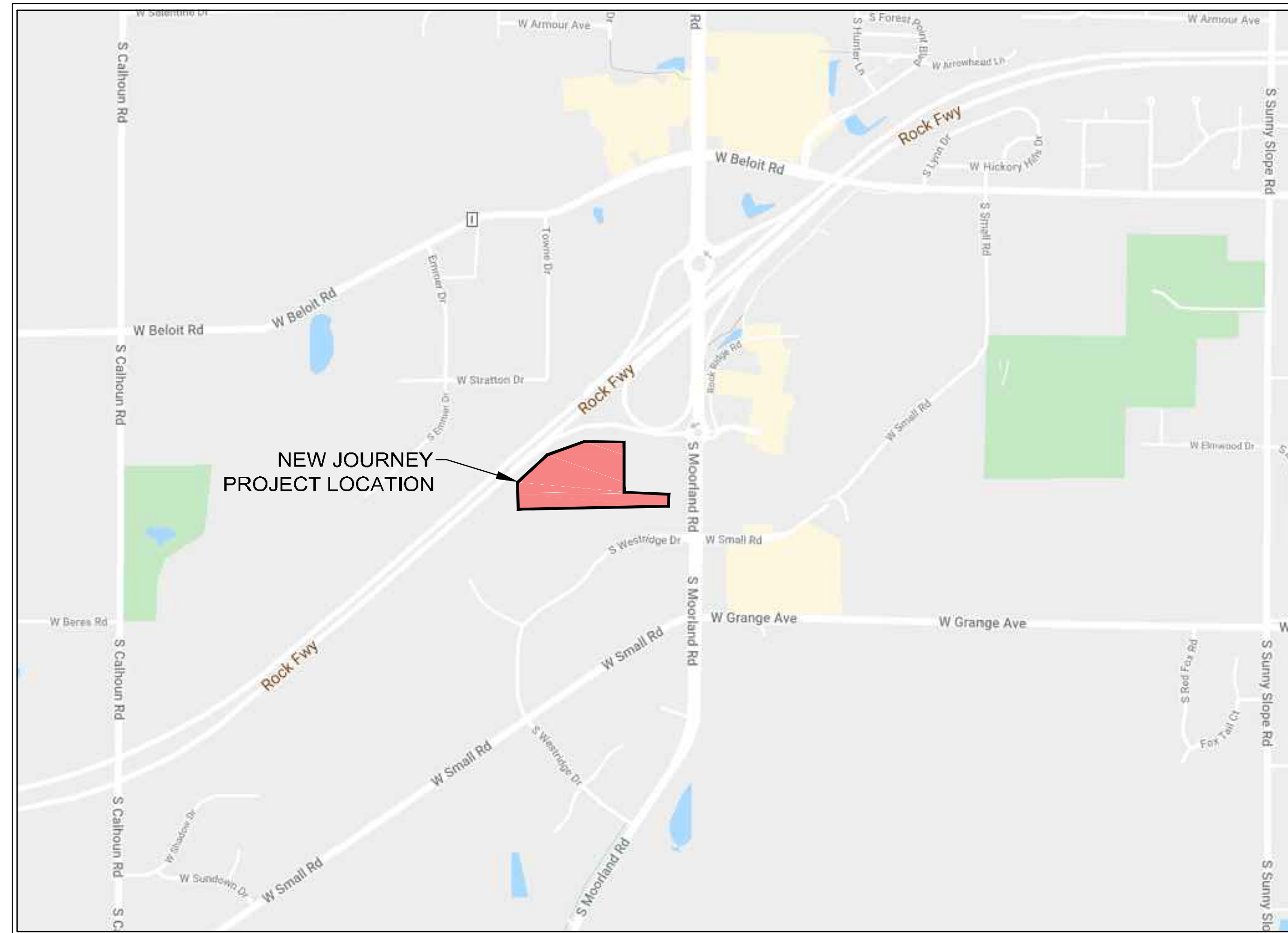
Nikki Jones, Secretary

Date:

GENERAL NOTES

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 -THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 -WDR STORMWATER RUNOFF TECHNICAL STANDARDS.
 -WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 -CITY OF NEW BERLIN STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.
2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. EROSION CONTROL PLAN: THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING ALL EROSION CONTROL MEASURES AS ILLUSTRATED ON THE APPROVED PLAN. THE VILLAGE ENGINEER RESERVES THE RIGHT TO REQUIRE ANY ADDITIONAL EROSION CONTROL MEASURES AS DEEMED NECESSARY DURING THE COURSE OF CONSTRUCTION.
4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
9. ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
10. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
11. THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS DAILY (OR AS ORDERED BY ENGINEER) AS REQUIRED BY MUNICIPAL ORDINANCE.
12. ACCESS TO THE WORK AREA SHALL COME FROM THE ADJACENT PRIVATE LANDS AND NOT THE PAVEMENTS OR SHOULDERS OF THE HIGHWAY (I-43).
13. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND ADVANCE WARNING SIGNAGE ALONG S. MOORLAND RD., S. WESTRIDGE DR. & W. SMALL RD. DURING TRUCKING OPERATIONS AND PAVING, GRADING, & UTILITY WORK ALONG & WITHIN PUBLIC RIGHT-OF-WAY. THIS PLAN SHALL BE APPROVED BY THE CITY OF NEW BERLIN. TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH M.U.T.C.D. STANDARDS.

NEW JOURNEY PRELIMINARY DEVELOPMENT PLANS CITY OF NEW BERLIN, WISCONSIN



SITE VICINITY MAP
NOT TO SCALE



AERIAL SITE PHOTO
NOT TO SCALE

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- EXISTING SITE PLAN
C1.1	- DEVELOPMENT PLAN
C2.0	- GRADING PLAN
C2.1	- POND PLAN
C3.0	- EROSION CONTROL PLAN
C4.0	- UTILITY PLAN
C5.0-5.1	- CONSTRUCTION NOTES & DETAILS



19035 W CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jgudek@trioeng.com

PROJECT:
NEW JOURNEY
5295 S MOORLAND ROAD (CTH 0)
CITY OF NEW BERLIN, WI
PREPARED FOR:
MILWAUKEE RESCUE MISSION
830 N. 19th ST.
MILWAUKEE, WI 53233

REVISION HISTORY

DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

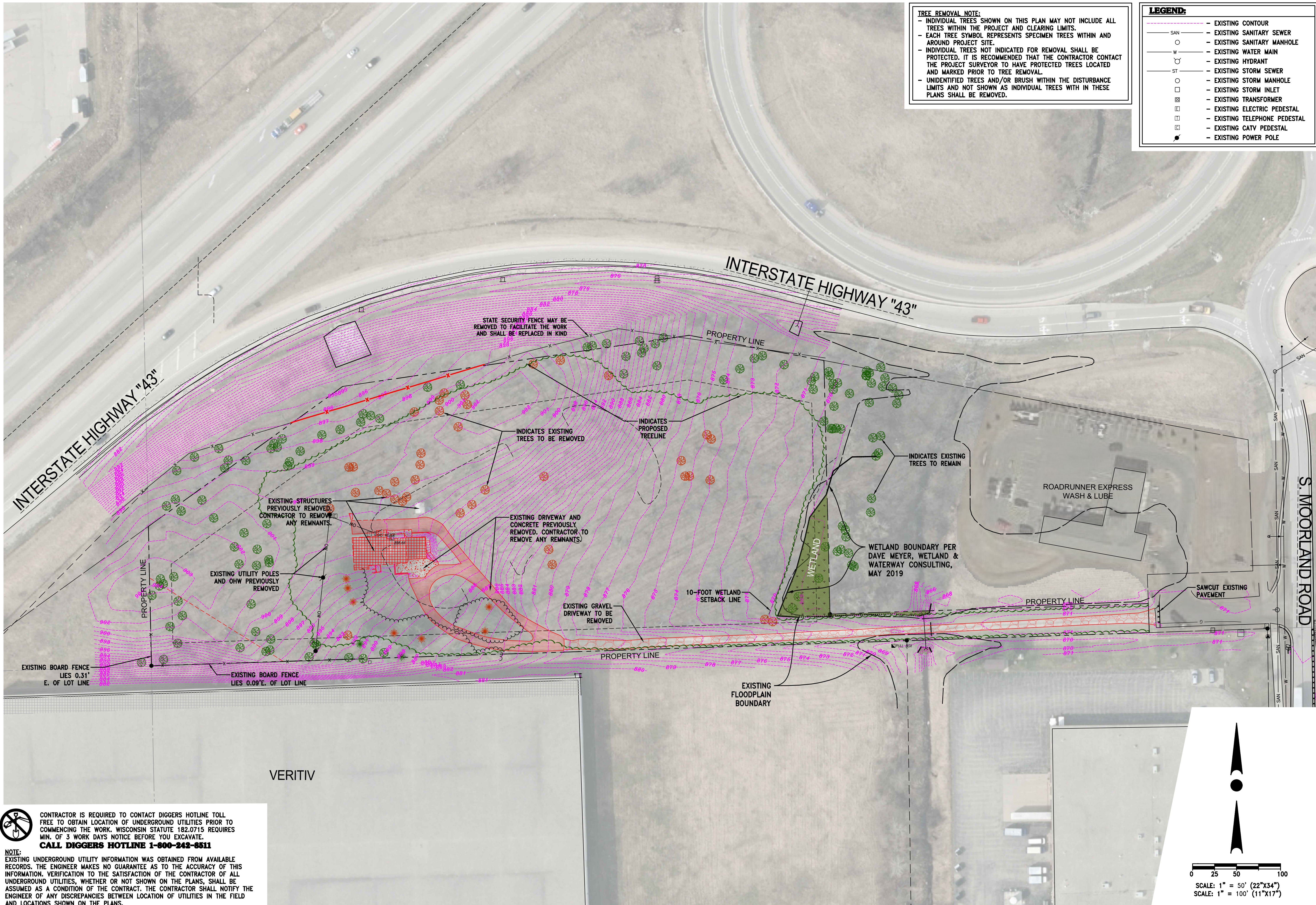
DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

DESCRIPTION:
COVER SHEET

SHEET

T1



TREE REMOVAL NOTE:

- INDIVIDUAL TREES SHOWN ON THIS PLAN MAY NOT INCLUDE ALL TREES WITHIN THE PROJECT AND CLEARING LIMITS.
- EACH TREE SYMBOL REPRESENTS SPECIMEN TREES WITHIN AND AROUND PROJECT SITE.
- INDIVIDUAL TREES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED. IT IS RECOMMENDED THAT THE CONTRACTOR CONTACT THE PROJECT SURVEYOR TO HAVE PROTECTED TREES LOCATED AND MARKED PRIOR TO TREE REMOVAL.
- UNIDENTIFIED TREES AND/OR BRUSH WITHIN THE DISTURBANCE LIMITS AND NOT SHOWN AS INDIVIDUAL TREES WITH IN THESE PLANS SHALL BE REMOVED.

LEGEND:

---	EXISTING CONTOUR
SAN	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
W	EXISTING WATER MAIN
⊕	EXISTING HYDRANT
ST	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
○	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊠	EXISTING ELECTRIC PEDESTAL
⊠	EXISTING TELEPHONE PEDESTAL
⊠	EXISTING CATV PEDESTAL
⊠	EXISTING POWER POLE



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 BROOKFIELD, WI 53045
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpudefko@trioeng.com

PROJECT:
NEW JOURNEY
 5295 S MOORLAND ROAD (CTH O)
 CITY OF NEW BERLIN, WI
PREPARED FOR:
 MILWAUKEE RESCUE MISSION
 830 N. 19TH ST.
 MILWAUKEE, WI 53293

REVISION HISTORY

DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

DATE:
 OCTOBER 24, 2025

JOB NUMBER:
 19018

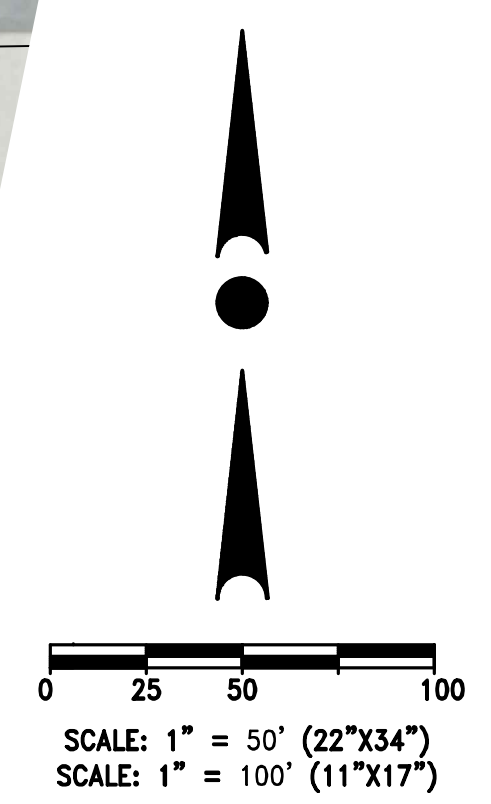
DESCRIPTION:
 EXISTING
 SITE PLAN

SHEET

C1.0

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

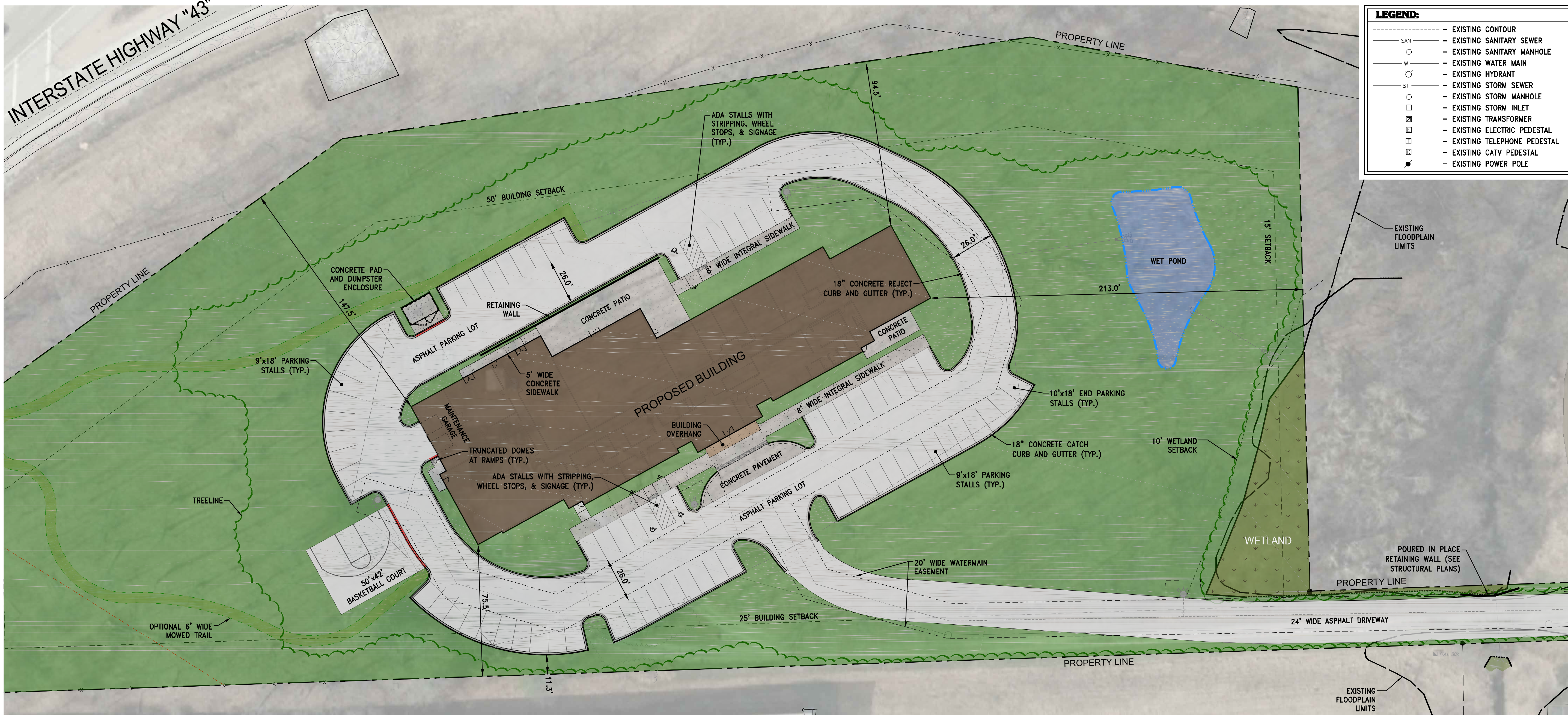
NOTE:
 EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



VERITIV

H:\C7000\787\19018-01\CONSTRUCTION\PLANS\C1\VTI\PLANS-NEW\JOURNEY\25X34.DWG

INTERSTATE HIGHWAY "43"



LEGEND:

- - - - - EXISTING CONTOUR
- - - - - EXISTING SANITARY SEWER
- - - - - EXISTING SANITARY MANHOLE
- W - - - - EXISTING WATER MAIN
- - - - - EXISTING HYDRANT
- ST - - - - EXISTING STORM SEWER
- - - - - EXISTING STORM MANHOLE
- - - - - EXISTING STORM INLET
- - - - - EXISTING TRANSFORMER
- - - - - EXISTING ELECTRIC PEDESTAL
- - - - - EXISTING TELEPHONE PEDESTAL
- - - - - EXISTING CATV PEDESTAL
- ⚡ - - - - EXISTING POWER POLE



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PROJECT:
NEW JOURNEY
5295 S MOORLAND ROAD (CTH O)
CITY OF NEW BERLIN, WI
PREPARED FOR:
MILWAUKEE RESCUE MISSION
830 N. 19th ST.
MILWAUKEE, WI 53233

REVISION HISTORY

DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

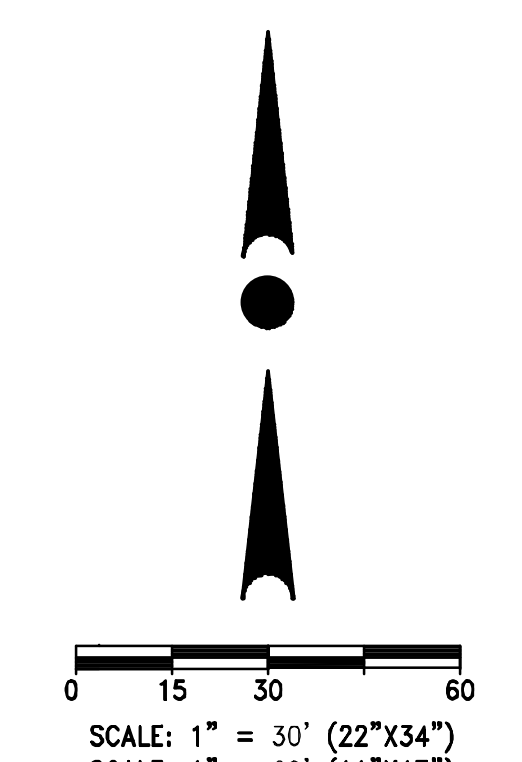
DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

DESCRIPTION:
DEVELOPMENT PLAN

SHEET

C1.1



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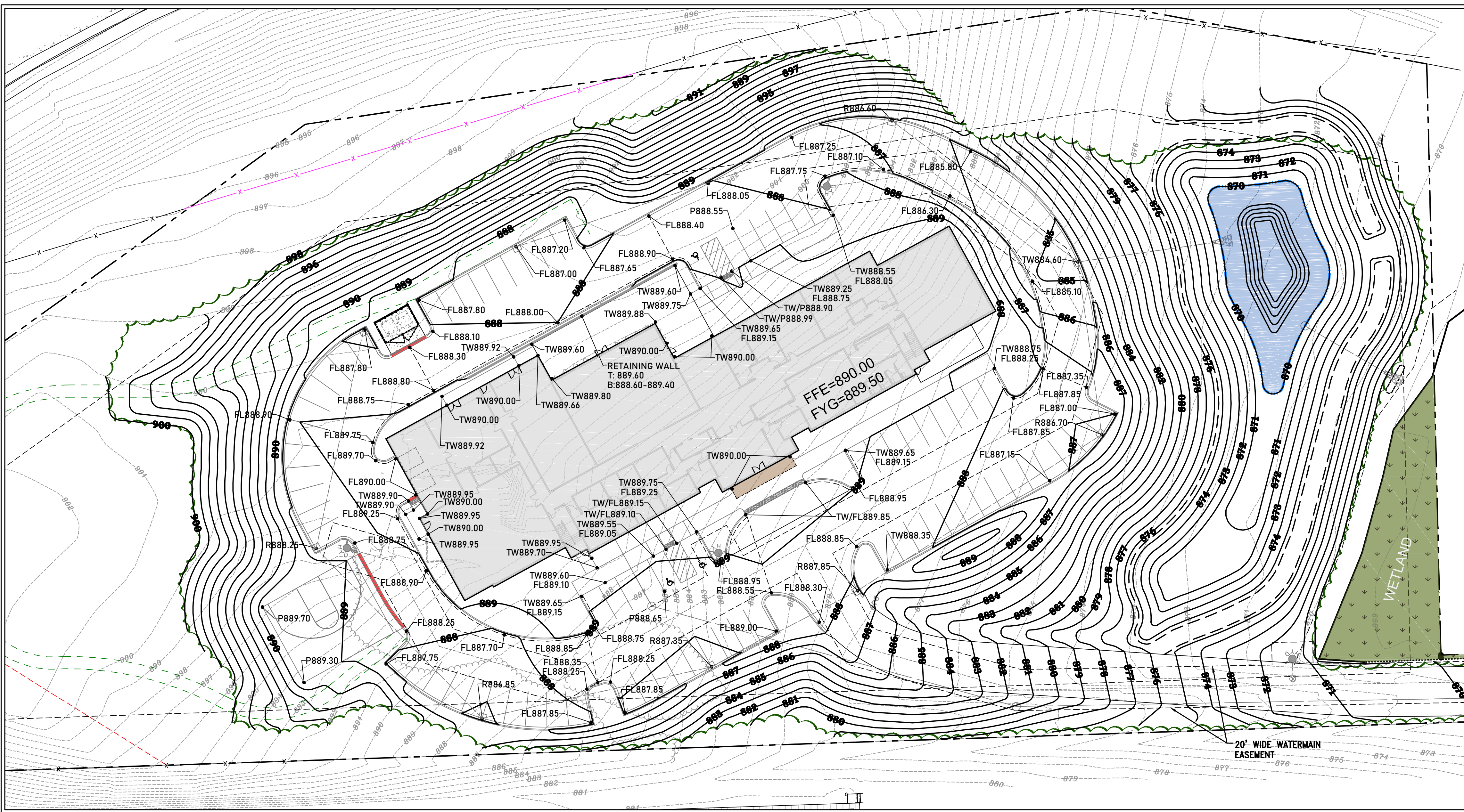
NOTE:
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SITE DATA

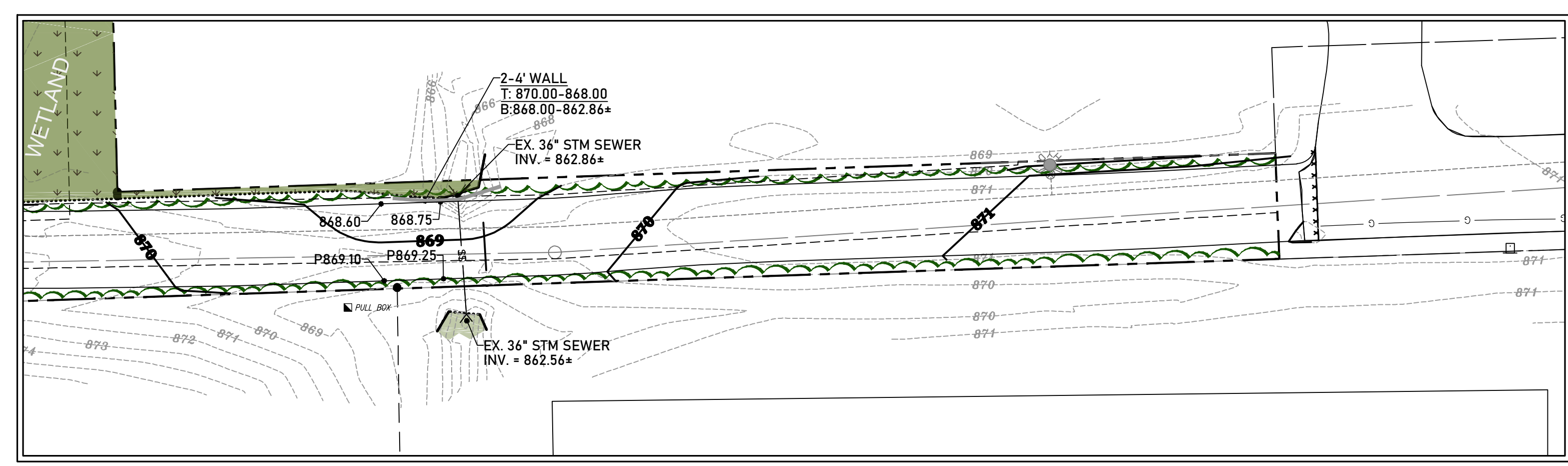
TOTAL LOT AREA:	247,672 S.F. (5.686 Ac)
ZONING:	M-1
FRONT SETBACK:	50'
REAR SETBACK:	15'
SIDE SETBACK:	25'
WETLAND SETBACK:	10'
OHWM SETBACK:	50'
PARKING SETBACK:	10'
EXISTING IMPERVIOUS AREA:	16,503 S.F. (0.379Ac)
BUILDING	2580 S.F. (0.059Ac)
PAVEMENT/GRAVEL	13,923 S.F. (0.320Ac)
EXISTING PERVIOUS AREA:	231,169 S.F. (5.307Ac)
PROPOSED IMPERVIOUS AREA:	84,807 S.F. (1.912Ac)
BUILDING	21,659 S.F. (0.497Ac)
PAVEMENT/GRAVEL	63,148 S.F. (1.431Ac)
PROPOSED PERVIOUS AREA:	162,865 S.F. (3.739Ac)
PARKING DATA:	
PROPOSED STALLS:	75 STALLS
ADA STALLS:	3 STALLS PROVIDED 3 STALLS REQUIRED



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MAIN BUILDING GRADING



DRIVEWAY GRADING

***AMERICANS WITH DISABILITIES ACT* (ADA) MINIMAL REQUIREMENTS:**

1. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".
3. ALL PROPOSED SIDEWALKS SHALL HAVE A MAXIMUM OF 2.0% CROSS SLOPE AND A MAXIMUM OF 5.0% RUNNING SLOPE.
4. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE FINAL IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.

RAMPS

5. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
6. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.00%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.00%). SLOPES EXCEEDING 1:20 (5.00%), BUT LESS THAN 1:12 (8.33%), CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS DETAILED ON THE CIVIL AND ARCHITECTURAL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12 (8.33%), NOR HAVE A CROSS SLOPE EXCEEDING 1:50 (2.00%).

CURB RAMPS

7. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
8. CURB RAMPS HAVE A MAXIMUM RISE OF 6", MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS.
9. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS, OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:10 (10.00%).

LEGEND:

- - - - - EXISTING CONTOUR
- - - - - 905 - - - - - PROPOSED CONTOUR
- 812.80 / 798.9 - - - - - PROPOSED SPOT ELEVATION
- - - - - - PROPOSED FLOW ARROW
- FFE 900.0 - - - - - PROPOSED FINISHED FLOOR GRADE
- YG 895.0 - - - - - PROPOSED YARD GRADE

NOTE: CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. **CALL DIGGERS HOTLINE 1-800-242-8511**

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

PROJECT:
NEW JOURNEY
5295 S MOORLAND ROAD (CTH O)
CITY OF NEW BERLIN, WI
PREPARED FOR:
MILWAUKEE RESCUE MISSION
830 N. 19th ST.
MILWAUKEE, WI 53233

REVISION HISTORY

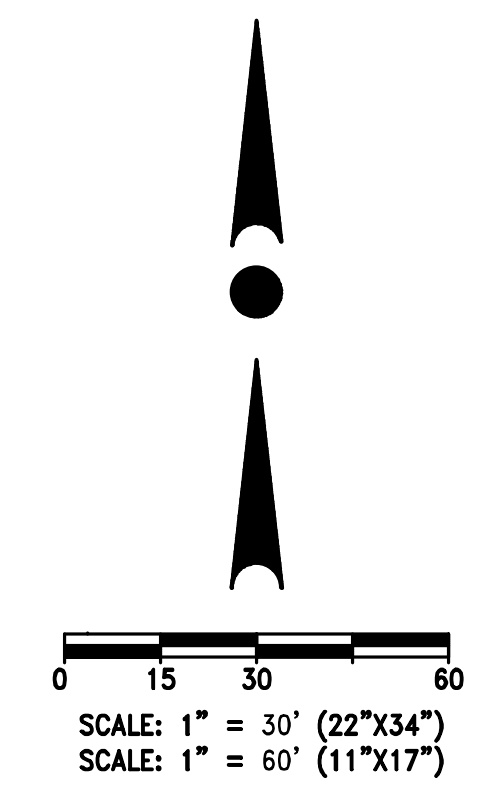
DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

DESCRIPTION:
MASTER GRADING PLAN
SHEET

C2.0



H:\C700\787\19018-01\CONSTRUCTION\PLANS\CIVIL\PLANS-NEW\NEWJOURNEY\25X34.DWG



19035 W CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
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NEW JOURNEY
5295 S MOORLAND ROAD (CTH O)
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REVISION HISTORY	
DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

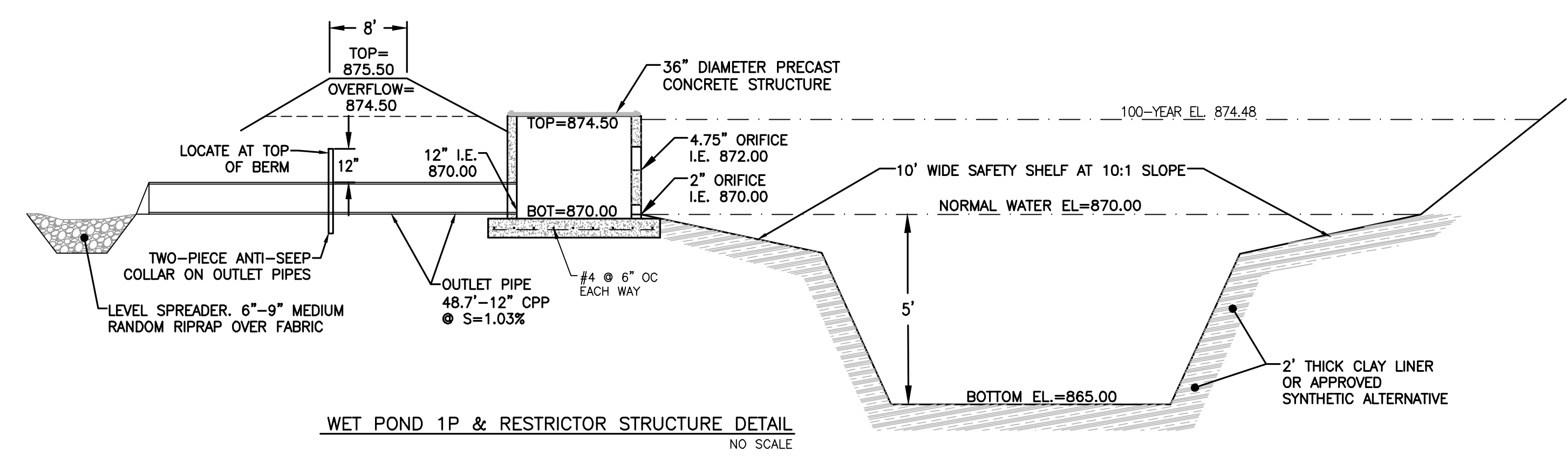
DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

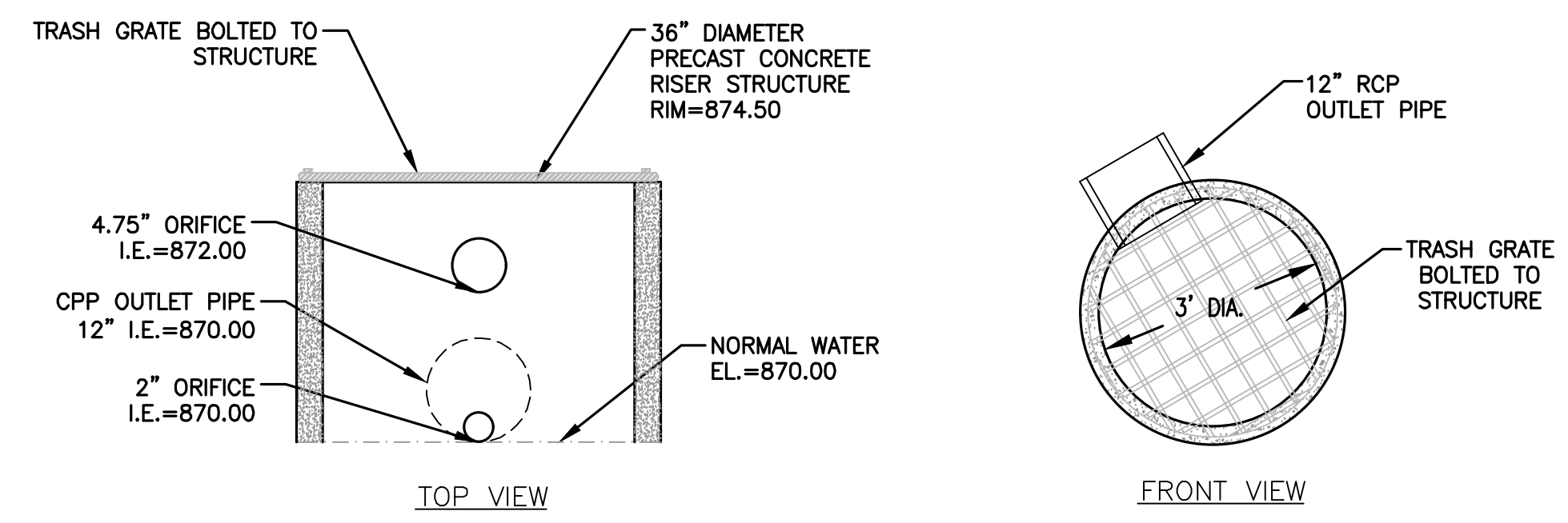
DESCRIPTION:
POND PLAN

SHEET

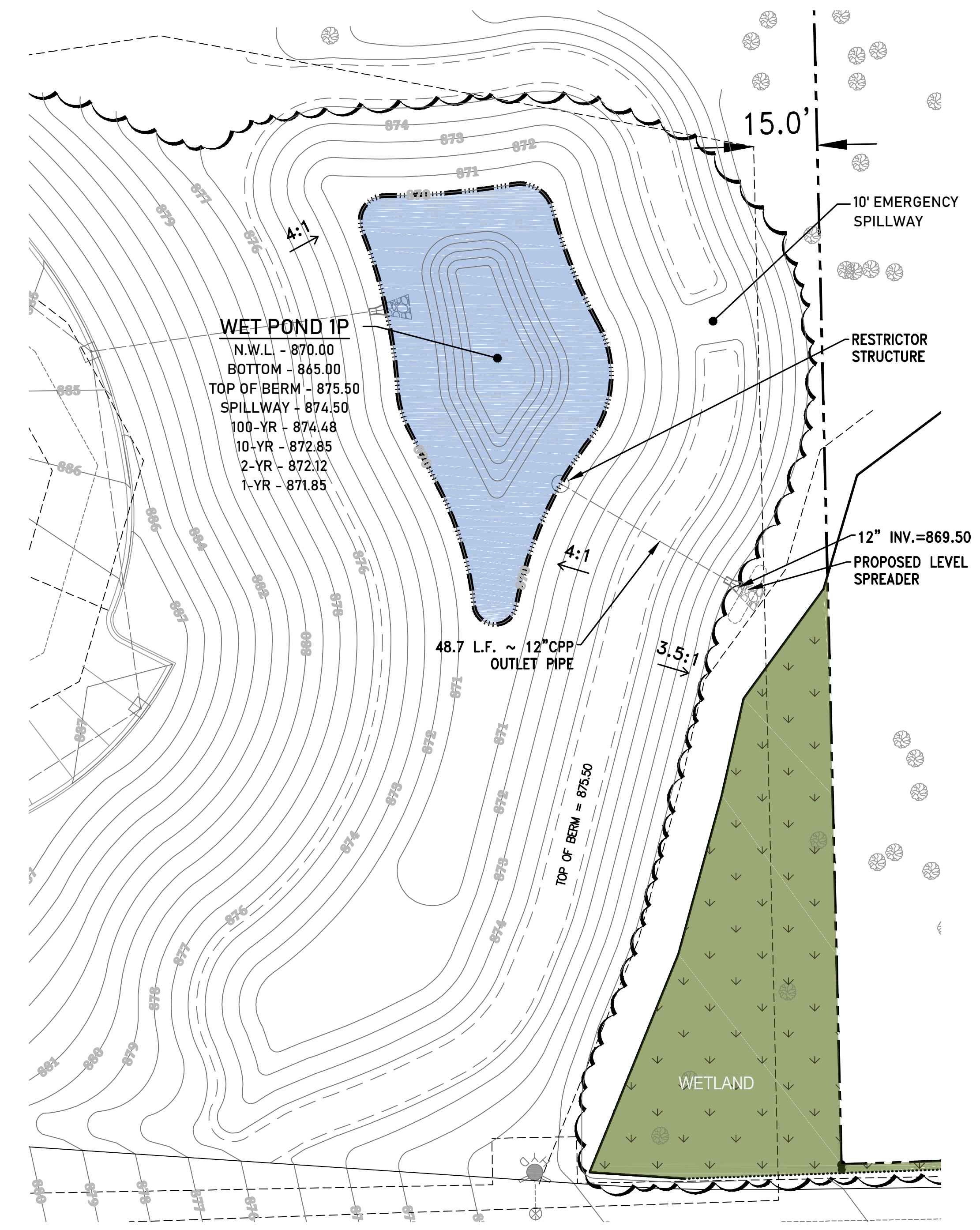
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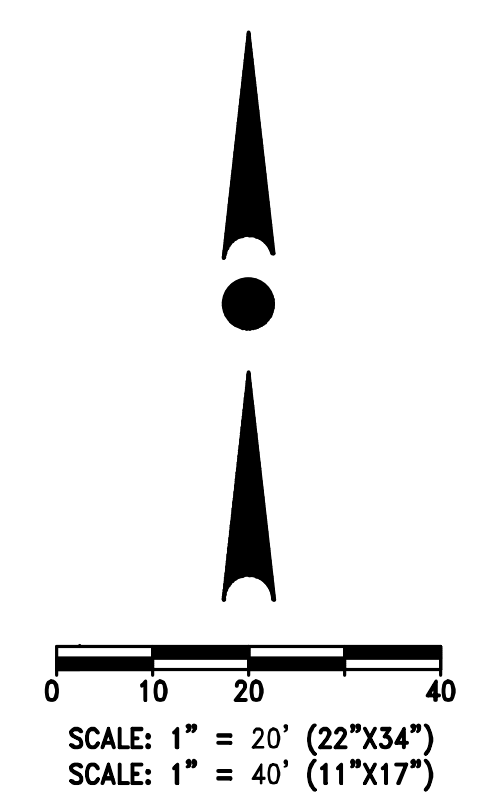
WET POND 1P & RESTRICTOR STRUCTURE DETAIL
NO SCALE



RESTRICTOR STRUCTURE DETAIL
NO SCALE

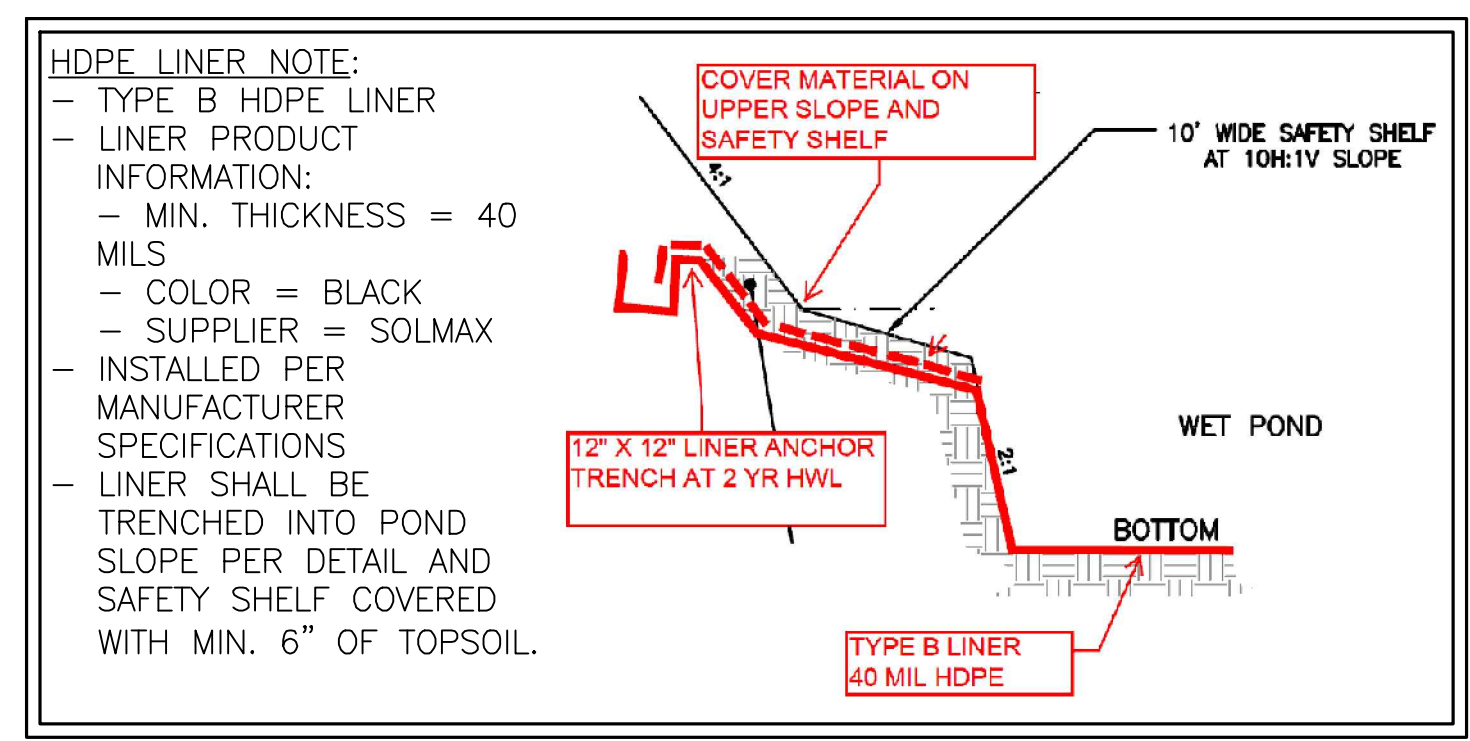


POND 1P PLAN VIEW



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WET POND LINER OPTIONS:
A. 2" THICK CLAY LINER (REFER TO CLAY LINER NOTES)
B. BENTONITE GEOSYNTHETIC LINER
C. HDPE LINER (REFER HDPE LINER NOTES)

TWO-PIECE ANTI-SEEP COLLAR NOTES:
- ANTI-SEEP COLLAR MATERIAL SHALL MATCH OUTLET PIPE MATERIAL.
- ANTI-SEEP COLLARS SHALL BE 1/4" POLYETHYLENE SHEETS WITH COLLAR FOR PIPE; DIMENSIONS SHALL BE AS NOTED ON THE DETAIL.
- INSTALL ANTI-SEEP COLLARS PER MANUFACTURER SPECIFICATIONS.

CLAY LINER NOTE:
- 2" THICK CLAY LINER IN ACCORDANCE WITH WDNR TECH. STD. 1001 TYPE B, AND SOILS REPORT.
- CLAY LINER MATERIALS SHOULD BE COMPACTED TO A MINIMUM OF 90 TO 92% DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR (ASTM D1557).
- IF PREDOMINANTLY GRANULAR TEXTURE SOILS AND/OR GROUNDWATER INFLOW IS ENCOUNTERED AT OR BELOW THE BOTTOM ELEVATION OF THE POND, A "SACRIFICIAL" LIFT OF CLAYEY FILL MAY BE REQUIRED TO BE PLACED ALONG THE SIDEWALLS AND BASE PRIOR TO COMMENCING WITH ACTUAL LINER PLACEMENT/CONSTRUCTION TO AID IN ATTAINING A SATISFACTORILY COMPACTED LINER SECTION. THE PLACEMENT OF A "SACRIFICIAL" LAYER IS PARTICULARLY BENEFICIAL IN CREATING A STABLE SUBBASE IN THE EVENT SLIGHT GROUNDWATER SEEPAGE OCCURS.
- GEOTECHNICAL TESTING SHALL BE PERFORMED ON POTENTIAL CLAY LINER MATERIAL TO CONFIRM THAT SPECIFICATIONS ARE MET.

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TEMPORARY DEWATERING GEOTEXTILE BAG

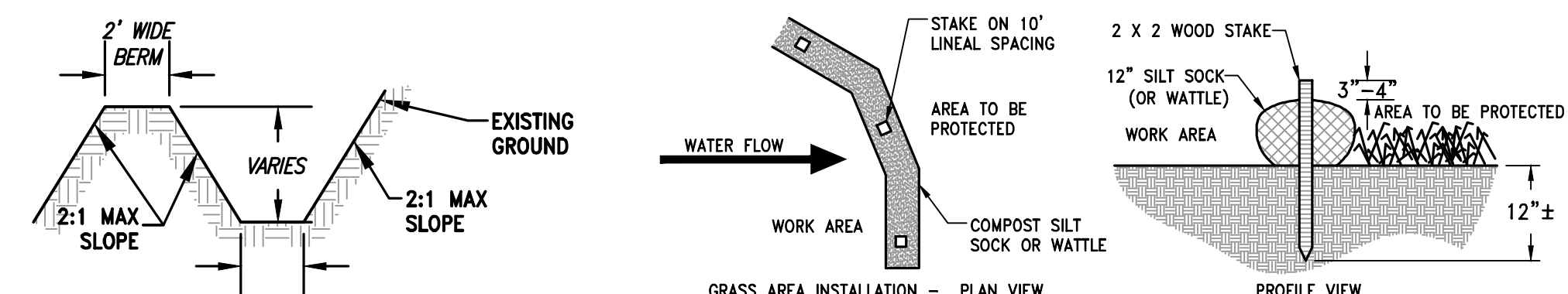
- IF DEWATERING IS REQUIRED, A GEOTEXTILE DEWATERING BAG MEETING THE SPECIFICATIONS IN THE TABLE TO THE RIGHT SHALL BE UTILIZED AS STATED ON THE EROSION CONTROL PLAN.
- REFER TO WDR TECHNICAL STANDARDS 1061 AND MANUFACTURERS REQUIREMENTS FOR INSTALLATION AND MAINTENANCE REQUIREMENTS.
- CONTRACTOR MAY USE THRACE-LINQ, INC 275EX GEOTEXTILE BAG, OR FUNCTIONAL EQUIVALENT TO MEET TECHNICAL STANDARD REQUIREMENTS.
- CONTRACTOR MAY INSTALL HAY BALES AROUND DEWATERING BAG FOR STABILIZATION AS DICTATED BY SITE CONDITIONS. MAX FLOW RATE SHALL NOT EXCEED 70GPM.
- GEOTEXTILE BAG SHALL BE LOCATED ON UNDISTURBED GROUND WITH ESTABLISHED VEGETATIVE COVER. DISCHARGES OF TREATED WATER FROM THE GEOTEXTILE FILTER BAG SHALL NOT FLOW OVER UNSTABILIZED GROUND.

Property	Test Method	Type I Value
Maximum Apparent Opening Sizes	ASTM D-4751	0.212 mm
Grab Tensile Strength	ASTM D-4632	200 lbs.
Mullen Burst	ASTM D-3786	350 psi
Permeability	ASTM D-4491	0.28 cm/sec
Fabric	Nominal Representative Weight	8 oz

STREET SWEEPING NOTE:
PUBLIC STREET SWEEPING SHALL OCCUR DAILY AND/OR AT VILLAGE ENGINEERS REQUEST.

WINTER STABILIZATION PROVISIONS:
IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH VILLAGE ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.

WISCONSIN DEPARTMENT OF NATURAL RESOURCES. CONSERVATION PRACTICE STANDARD:
1052 - NON-CHANNEL EROSION MAT
1056 - SILT FENCE
1057 - STONE TRACKING PAD AND TIRE WASHING
1058 - MULCHING FOR CONSTRUCTION SITES
1059 - TEMPORARY SEEDING
1060 - STORM DRAIN INLET PROTECTION FOR CONST. SITES
1061 - DEWATERING
1063 - SEDIMENT TRAP

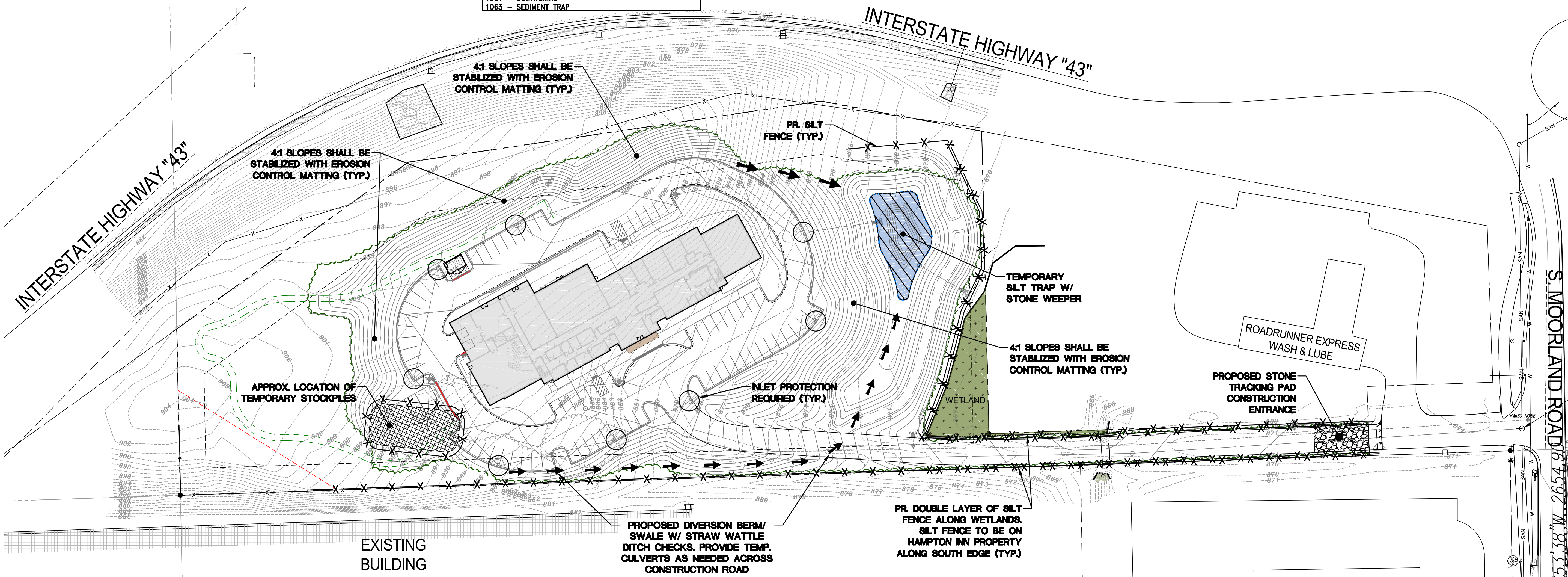


- NOTES:**
- TEMPORARY SEED/STABILIZE BERMS AND DITCHES IMMEDIATELY AS ANY SECTION IS COMPLETED PER WisDOT STD. SPEC.
 - REFER TO WISCONSIN DNR TECHNICAL STANDARD 1066 FOR ADDITIONAL INFORMATION.

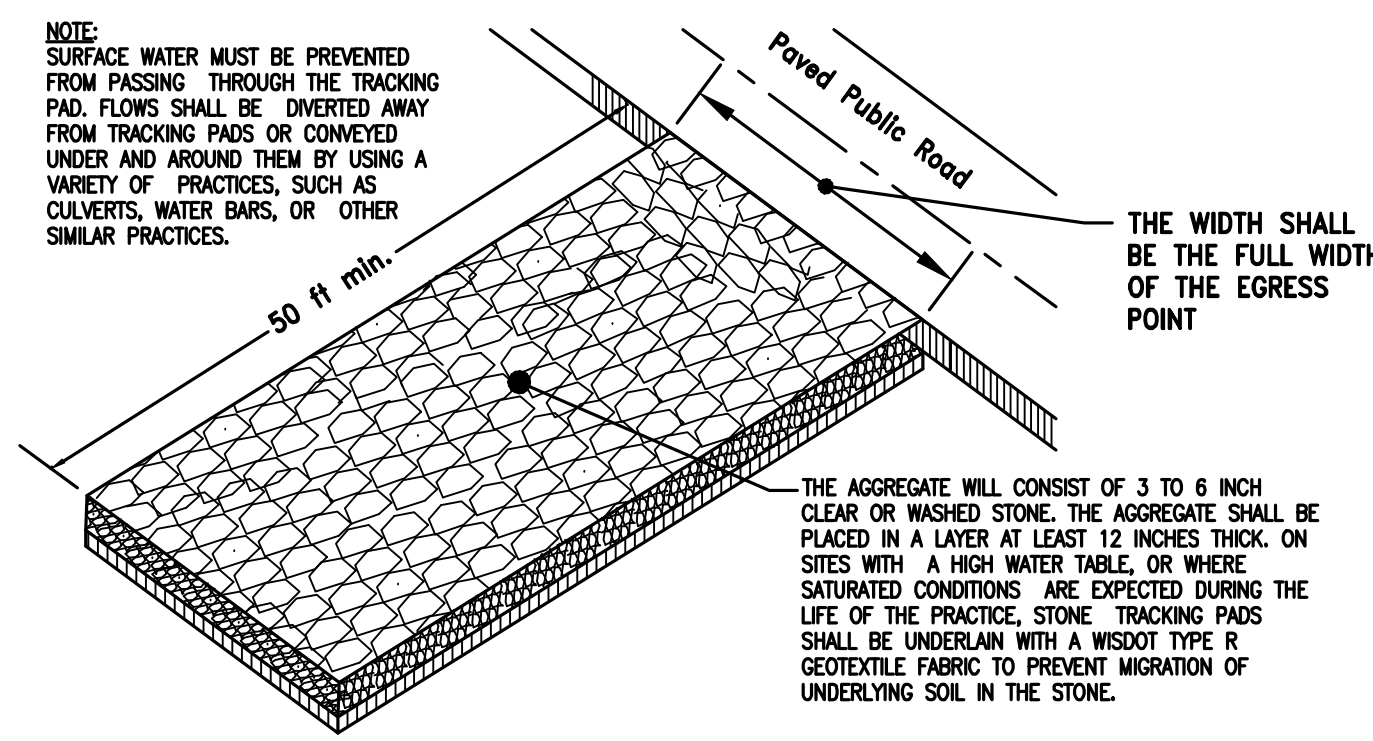
- NOTES:**
- ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 - REFER TO MANUFACTURERS AND/OR SUPPLIERS. SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 - ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.

DIVERSION BERM/SWALE DETAIL

SILT SOCK/STRAW WATTLE INSTALLATION DETAIL
NO SCALE



- CONSTRUCTION SEQUENCE PLAN**
- INSTALL PERIMETER SILT FENCE, TRACKING PAD & TEMPORARY DIVERSION SWALES & CULVERT AT TRACKING PAD.
 - CLEAR AND GRUB EXISTING VEGETATION CONCURRENT WITH STEP 1.
 - CONSTRUCT SEDIMENT TRAPS. SEDIMENT TRAPS SHALL USE THE PROPOSED POND FOOTPRINTS. INSTALL OVERFLOW STONE WEEPERS PER PLAN (MAY OCCUR CONCURRENT WITH TOPSOIL STRIPPING AND INITIAL ROUGH GRADING).
 - STRIP TOPSOIL, STOCKPILE AND CREATE TEMPORARY DIVERSION BERM AS INDICATED TO DIRECT SITE RUNOFF TO THE SEDIMENT TRAPS.
 - TEMP SEED DIVERSION BERM AND TOPSOIL STOCKPILES AND INSTALL SILT FENCE AROUND PILES AS NOTED ON THIS PLAN.
 - ROUGH GRADE SITE. PROVIDE TEMPORARY SEED AND BLANKET FOR ALL EXPOSED SLOPES 4:1 OF GREATER. IF SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH CITY ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.
 - INSTALL SANITARY SEWER, WATERMAIN AND STORM SEWER. NOTE THAT UTILITY INSTALLATION MAY COMMENCE CONCURRENT WITH SITE GRADING. ONCE STORM SEWER AND POND OUTFALL STRUCTURES HAVE BEEN INSTALLED, PROVIDE INLET PROTECTION AND REMOVE STONE WEEPER OUTLETS.
 - BUILDING CONSTRUCTION MAY COMMENCE AS ALLOWED BY CITY BUILDING PERMIT (NON-SEQUENTIAL). AS AREAS OF CONSTRUCTION ARE COMPLETED, THE DISTURBED AREAS SHALL BE BROUGHT TO FINAL GRADES AND FINAL STABILIZATION PRACTICES SHALL BE EMPLOYED.
 - FINISH GRADE SITE. REMOVE TEMPORARY DIVERSION SWALES AS THE SITE IS SHAPED TO DRAIN TO THE PROPOSED DRAINAGE SYSTEMS. RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING AS INDICATED ON PLAN AND AS NECESSARY TO STABILIZE SITE.
 - INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. (SCHEDULE TO BE DETERMINED BY OWNER)
 - INSTALL STONE BASE, SIDEWALK, CURB AND PAVEMENT FOR ENTRY DRIVE AND LOOP ROAD (WITH PARKING)
 - COMPLETE LANDSCAPING AND FINAL STABILIZATION AROUND BUILDINGS CONCURRENT WITH EACH INDIVIDUAL BUILDING CONSTRUCTION.
 - REMOVE ALL SEDIMENT FROM TEMPORARY SEDIMENT TRAPS. IF UNDERGROUND CHAMBER IS USED, REMOVE ALL SEDIMENT.
 - REMOVE PERIMETER SILT FENCE AND CLOSE OUT CONSTRUCTION SITE PERMITS ONCE THE SITE IS SUBSTANTIALLY VEGETATED (>70% GROUND COVER).



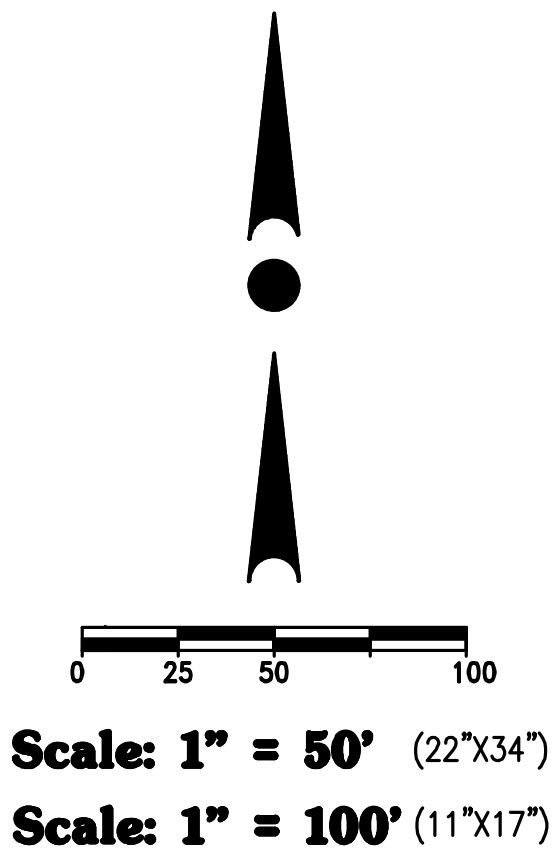
CONSTRUCTION ENTRANCE DETAIL
NO SCALE

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

LEGEND:

--- 817 ---	EXISTING CONTOUR
— 817 —	PROPOSED CONTOUR
-X-X-	PROPOSED SILT FENCE
○	PROPOSED INLET PROTECTION
○	PROPOSED SILT SOCK
■	PROPOSED TRACKING PAD



19035 W CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudefko@trioeng.com

PROJECT:
NEW JOURNEY
5295 S MOORLAND ROAD (CTH O)
CITY OF NEW BERLIN, WI
PREPARED FOR:
MILWAUKEE RESCUE MISSION
830 N. 19th ST.
MILWAUKEE, WI 53233

REVISION HISTORY

DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

DESCRIPTION:
EROSION CONTROL PLAN
SHEET

C3.0



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BROOKFIELD, WI 53045
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REVISION HISTORY	
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10/24/2025	PRELIMINARY PLANS

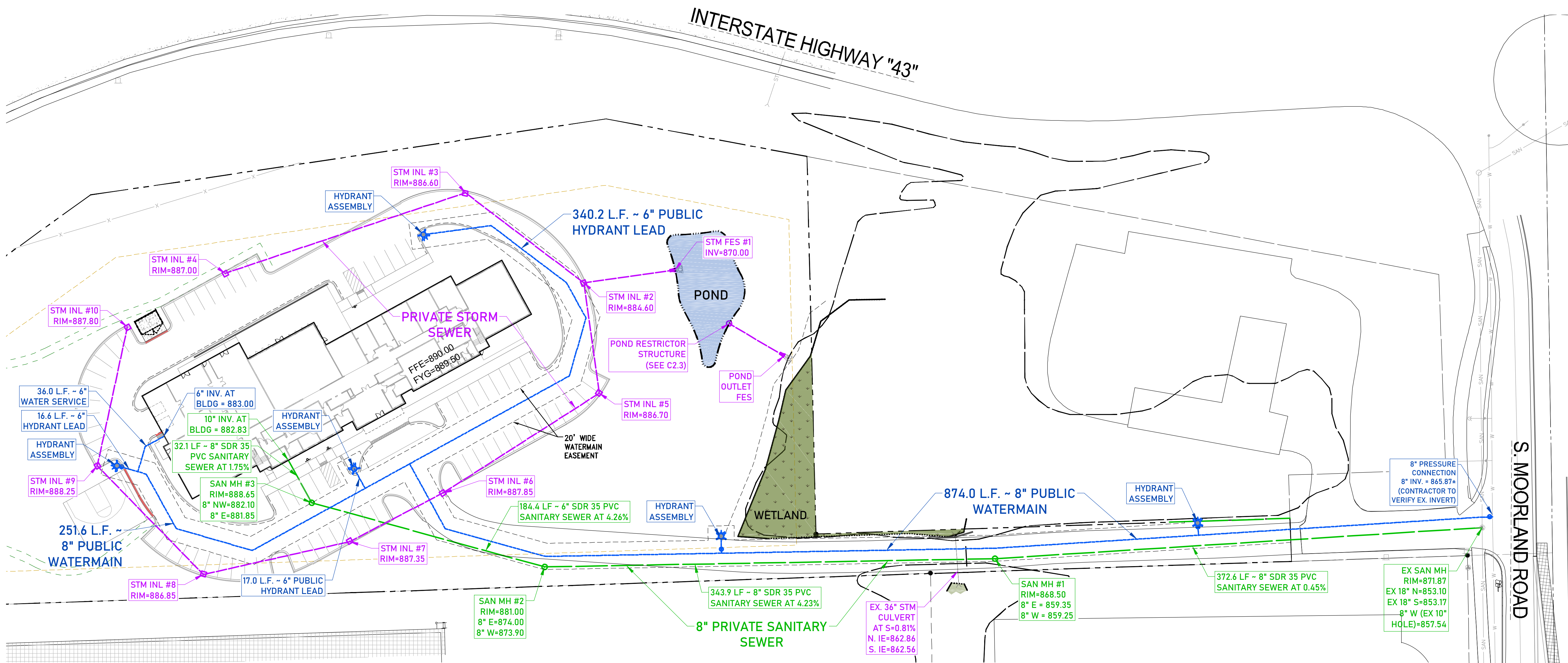
DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

DESCRIPTION:
UTILITY PLAN

SHEET

C4.0



LEGEND:

---	EXISTING CONTOUR
---	EXISTING SANITARY SEWER
○	EXISTING SANITARY MANHOLE
---	EXISTING WATER MAIN
○	EXISTING HYDRANT
---	EXISTING STORM SEWER
○	EXISTING STORM MANHOLE
□	EXISTING STORM INLET
⊠	EXISTING TRANSFORMER
⊠	EXISTING ELECTRIC PEDESTAL
⊠	EXISTING TELEPHONE PEDESTAL
⊠	EXISTING CATV PEDESTAL
⊠	EXISTING POWER POLE
---	PROPOSED SANITARY SEWER
○	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER MAIN
○	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
---	PROPOSED STORM SEWER
○	PROPOSED STORM MANHOLE
---	PROPOSED STORM INLET
---	PROPOSED STORM END SECTION

STORM SEWER NOTES:

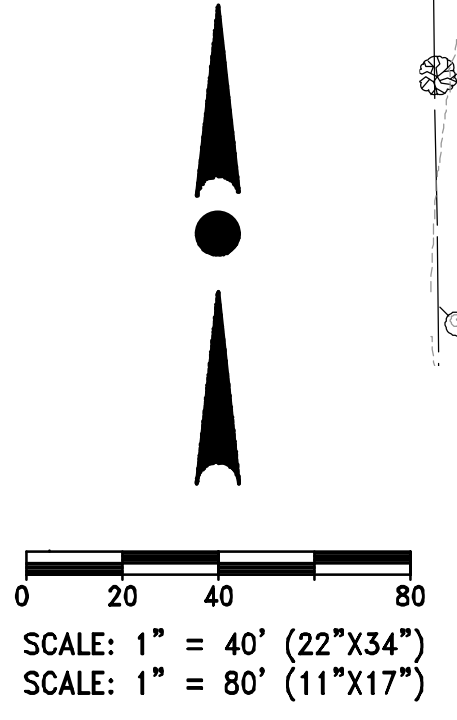
- UNLESS OTHERWISE NOTED, ALL PRIVATE STORM SEWER SHALL BE HIGH DENSITY POLYETHYLENE (HDPE), SMOOTH-WALL INTERIOR, CORRUGATED STORM SEWER PIPE. PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, HAVING A MANNING "N" VALUE OF 0.012, OR EQUAL.
- ALL PVC STORM SEWER PIPE SHALL BE ASTM D-3034, SDR 35. SCHEDULE 40 PIPE SHALL BE INSTALLED FOR ALL PIPE WITHIN THE PROPOSED BUILDING FOOTPRINT, PER MANUFACTURER SPECIFICATIONS.
- CONNECT TO BUILDING STORM SEWER CONVEYANCE PIPING PER SPS 382 SPECIFICATIONS AND REQUIREMENTS.

UTILITY NOTES:

- EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATION OF EXISTING UTILITIES IN CLOSE PROXIMITY TO PROPOSED UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED UTILITY. IF CONFLICTS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO INSTALLING PROPOSED UTILITIES
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF NEW BERLIN DEVELOPMENT HANDBOOK AND THE STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSWCW)
- ALL HYDRANT LEADS SHALL BE CLASS 52 DUCTILE IRON
- CONTRACTOR SHALL COORDINATE WITH DEVELOPER, CITY ENGINEER, AND FIRE DEPARTMENT TO PROVIDE KNOX BOX LOCATION AND KEY.

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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COMPLIANT DOCUMENTATION:

THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDRN STORMWATER RUNOFF TECHNICAL STANDARDS.
- WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- CITY OF NEW BERLIN DEVELOPMENT STANDARDS.

CONTRACTOR RESPONSIBILITY:

-EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

-THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

-THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED.

-THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AS CONSTRUCTION ACTIVITIES ARE COMPLETED TO PROVIDE CONSTRUCTION OVERSIGHT AND INSPECTION IN ACCORDANCE WITH THE CONSTRUCTION INSPECTION PLAN.

-THE OWNER WILL PROVIDE ALL SURVEYING AND CONSTRUCTION STAKING FOR THIS CONTRACT. THE CONTRACTOR SHALL EXERCISE CARE AND DILIGENCE IN PROTECTING THE SAME. ANY EXPENSE INCURRED FOR ADDITIONAL RESTAKING CAUSED BY CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR AND DEDUCTED FROM THE SUMS DUE HIM UNDER THIS CONTRACT.

-ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

-CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ON-SITE FOR DEWATERING AND REMOVAL OF ALL SEDIMENT PER CITY, COUNTY AND WDRN REQUIREMENTS PER TECHNICAL STANDARD 1061.

TRAFFIC CONTROL:

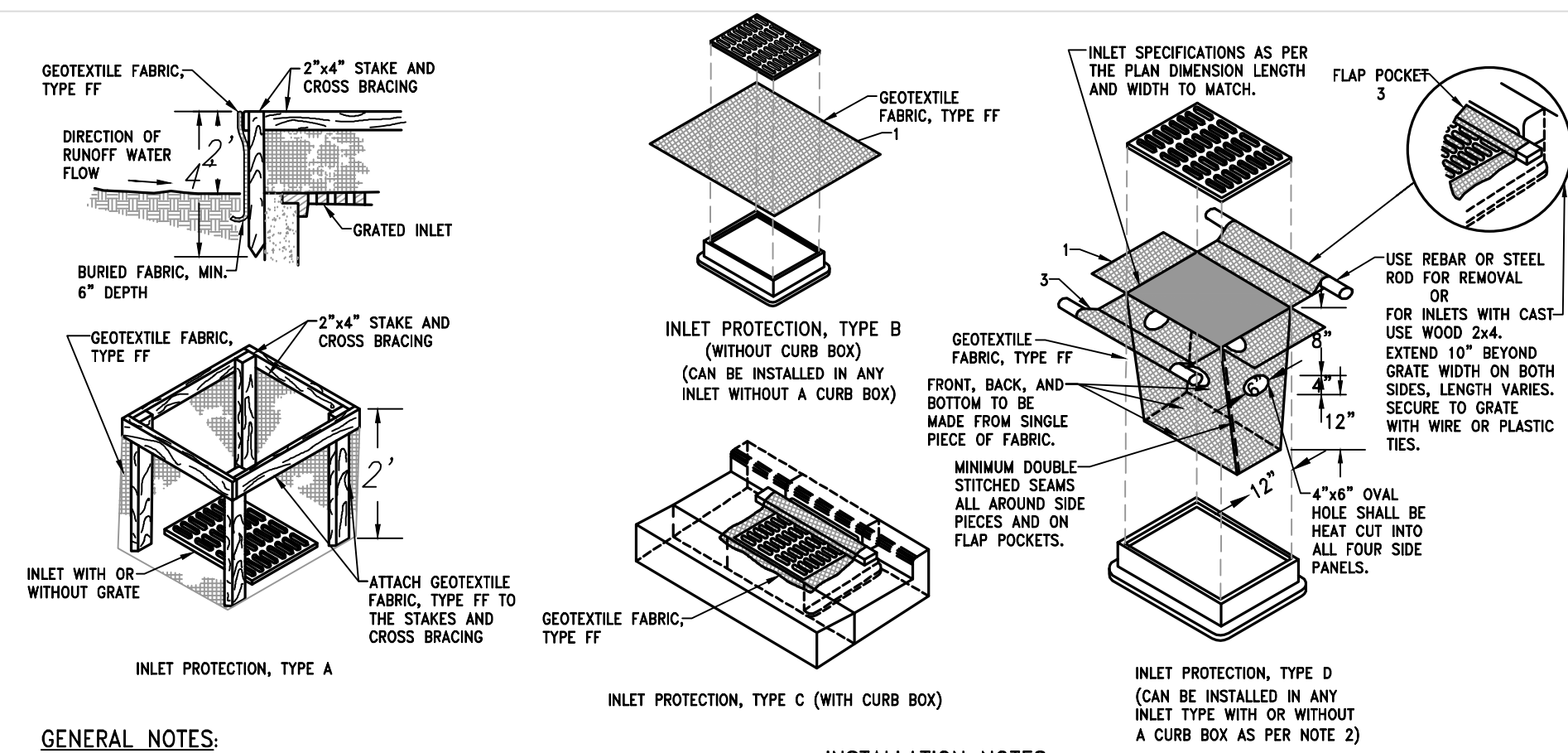
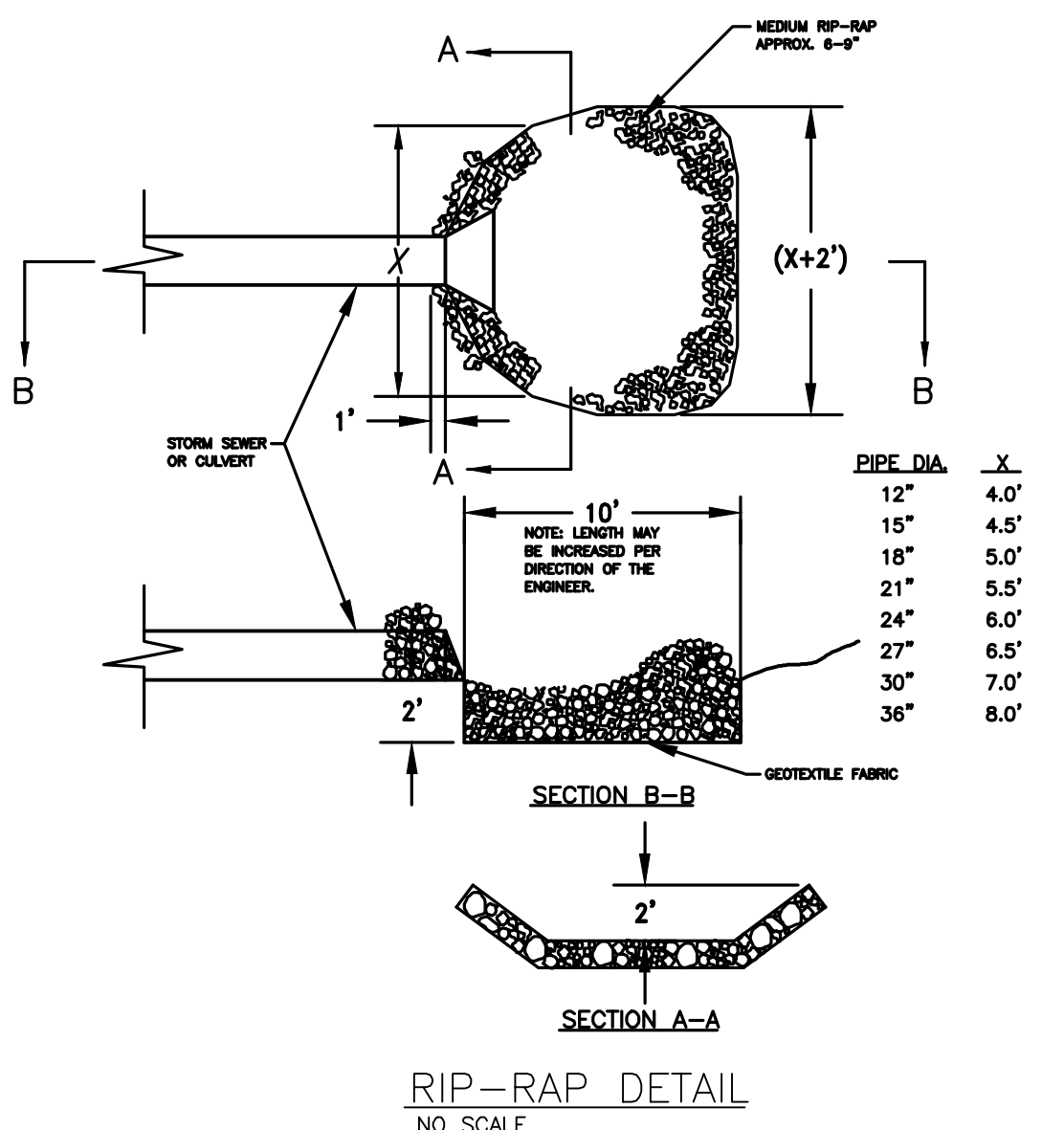
-PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SHALL BE LIMITED TO THE GRAVEL ENTRANCE TO THE PROPERTY.

CONSTRUCTION NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, STATE OF WISCONSIN, LATEST EDITION, UNLESS OTHERWISE CALLED FOR ON THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS.
- ALL EROSION CONTROL MEASURES SPECIFIED ON THIS PLAN SHALL MEET THE DESIGN CRITERIA, STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN BEST MANAGEMENT PRACTICE HANDBOOK AND TECHNICAL STANDARDS.
- ALL EROSION CONTROL DEVICES (I.E., SILT FENCE, SILT SOCK, GRAVEL ENTRANCE, SILTATION BASIN, ETC.), SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING OR UTILITY CONSTRUCTION. GRADING ASSOCIATED WITH INSTALLATION OF EROSION OR SEDIMENTARY PRACTICES MAY OCCUR CONCURRENTLY WITH INSTALLATION OF PRACTICES.
- ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. REFER TO THE CONSTRUCTION SEQUENCING PLAN FOR ADDITIONAL INFORMATION.
- THE OWNER IS RESPONSIBLE FOR OBTAINING A GRADING AND/OR EROSION CONTROL PERMIT (OR ANY OTHER APPLICABLE PERMITS) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY DIGGERS HOTLINE, CITY OF NEW BERLIN SEWER AND WATER UTILITY, AND GOVERNMENT UNITS WHOSE PROPERTY MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) DAYS BEFORE BREAKING GROUND. DIGGERS HOTLINE NUMBER IS 1-800-242-8511.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT AND PUBLIC ROADWAYS DURING CONSTRUCTION PER THE REQUIREMENTS SET FORTH BY THE LOCAL AND COUNTY AGENCIES. STREETS SHALL BE KEPT FREE OF SILT OR DIRT TRACKED FROM AREAS UNDER CONSTRUCTION BY SWEEPING OR OTHER APPROPRIATE MEASURES. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING OR OTHER APPROPRIATE METHODS.
- INLETS SHALL BE PROTECTED WITH AN EROSION BARRIER MEETING WDRN TECHNICAL STANDARD 1060 UNTIL THE AREA HAS BEEN STABILIZED. FREQUENT INSPECTION AND TIMELY MAINTENANCE IS REQUIRED.
- UPON COMPLETION OF THE WORK AS SPECIFIED, RESPREAD A MINIMUM OF FOUR (4") INCHES OF SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND PROVIDE SEED, FERTILIZER AND MULCH PER THE STANDARD SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITHIN SEVEN DAYS AFTER BEING DISTURBED USING THE SEED MIX SPECIFIED ON THE PLANS.
- ALL EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND REPAIR BMP'S AS NEEDED.
- REFER TO EROSION CONTROL PLAN FOR SITE EROSION CONTROL ELEMENTS, REQUIREMENTS.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
- IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - PROTECT DOWNSTREAM OR ADJACENT WATERWAYS WITH SILT FENCE.
 - DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - PLACE SILT SOCK OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARY SEEDDED AS OF THAT DATE.
- TEMPORARY EROSION CONTROL MEASURES.
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
- ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
- ALL SEDIMENT TRAPS, SWALES AND DIVERSION PRACTICES SHALL BE STABILIZED PRIOR TO USE.
- TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDRN TECHNICAL STANDARDS.
- INSTALL SILT FENCE IN ACCORDANCE WITH WDRN TECHNICAL STANDARD DETAILS
- EROSION CONTROL INSPECTION AND MAINTENANCE
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
- ALL AREAS TO BE SEEDDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WISDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.



GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

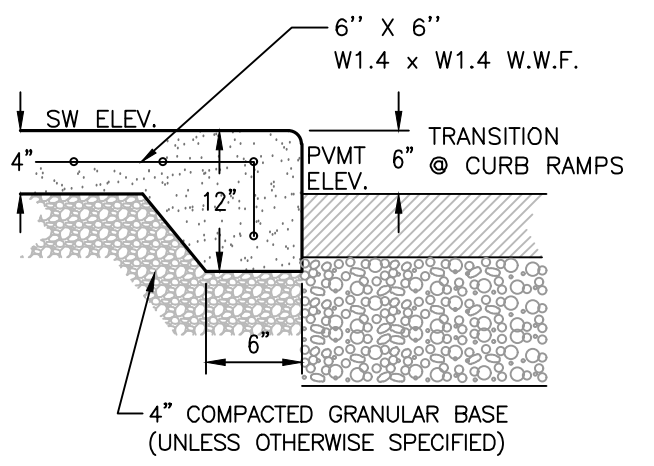
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES:

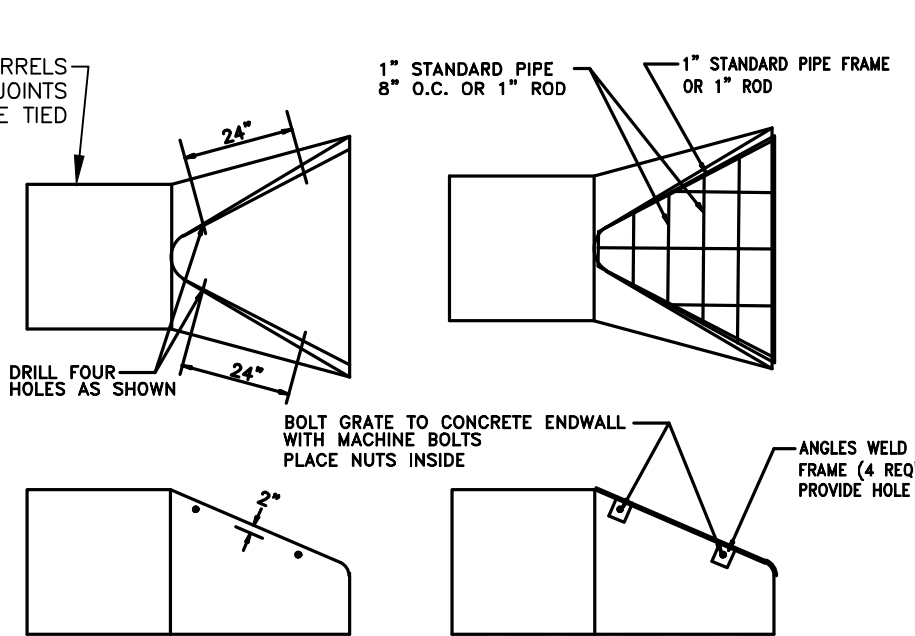
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

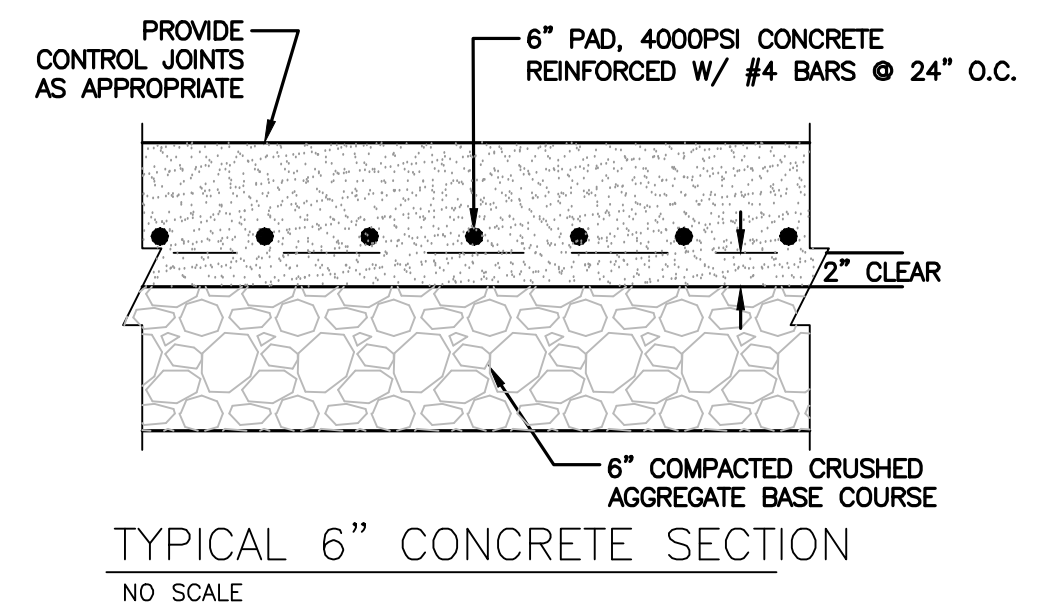
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



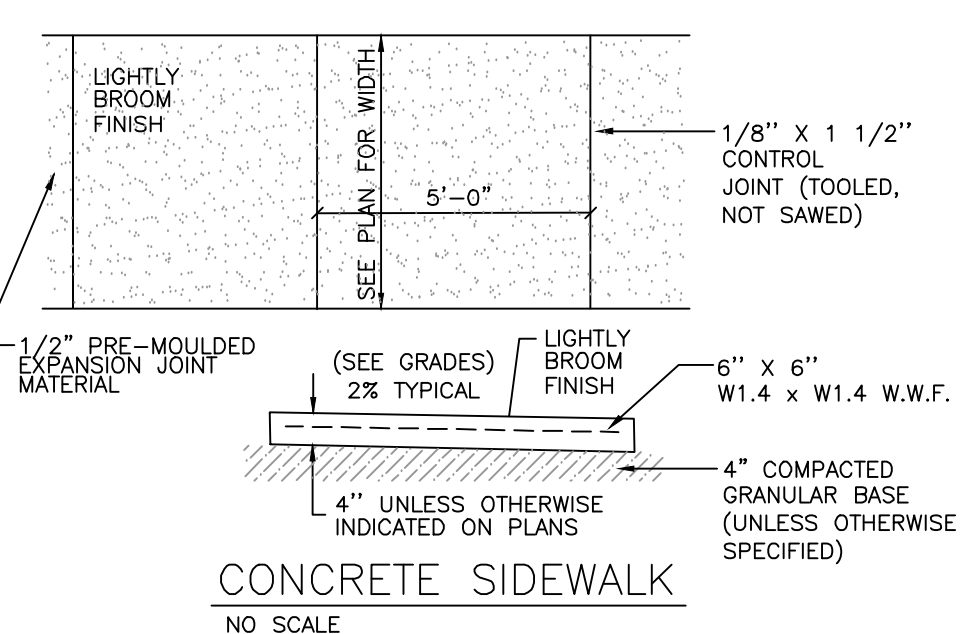
INTEGRAL SIDEWALK & BARRIER CURB
(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS) NO SCALE



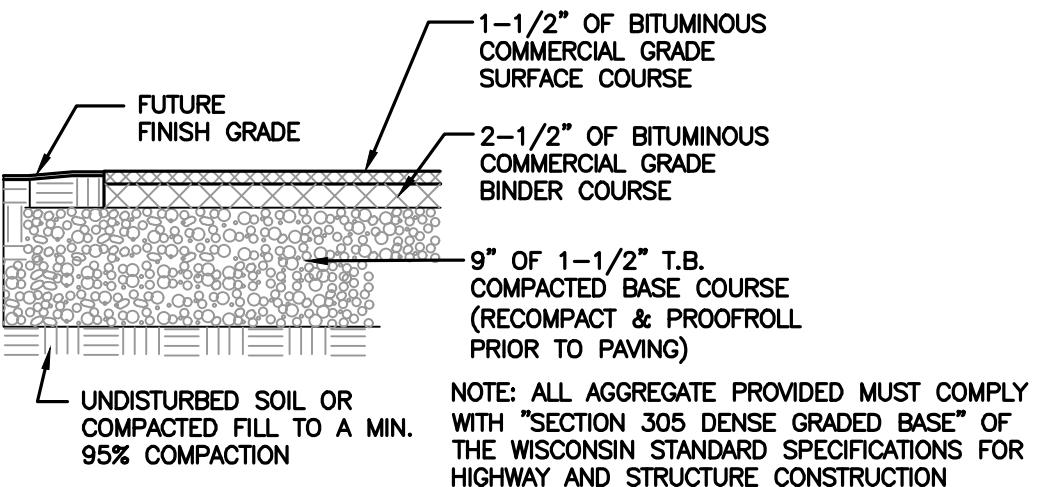
PIPE GRATE DETAIL
NO SCALE



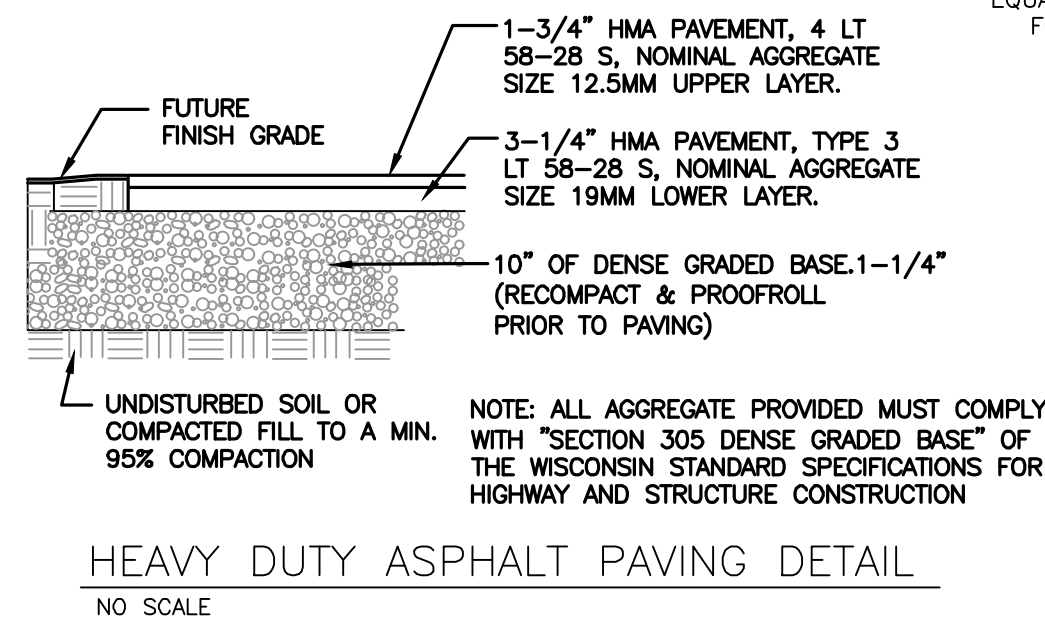
TYPICAL 6" CONCRETE SECTION
NO SCALE



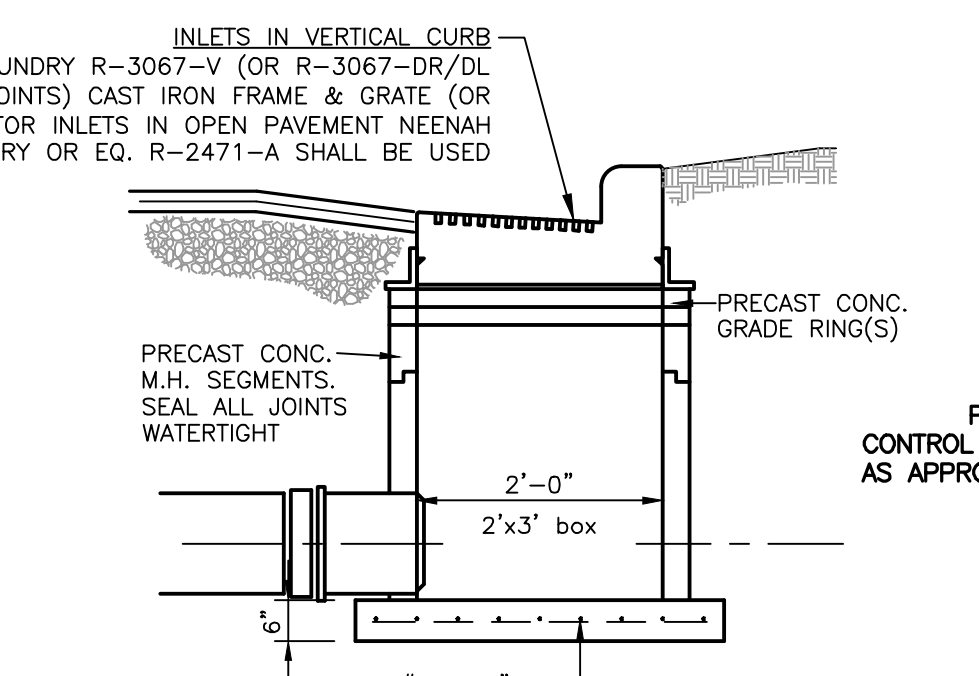
CONCRETE SIDEWALK
NO SCALE



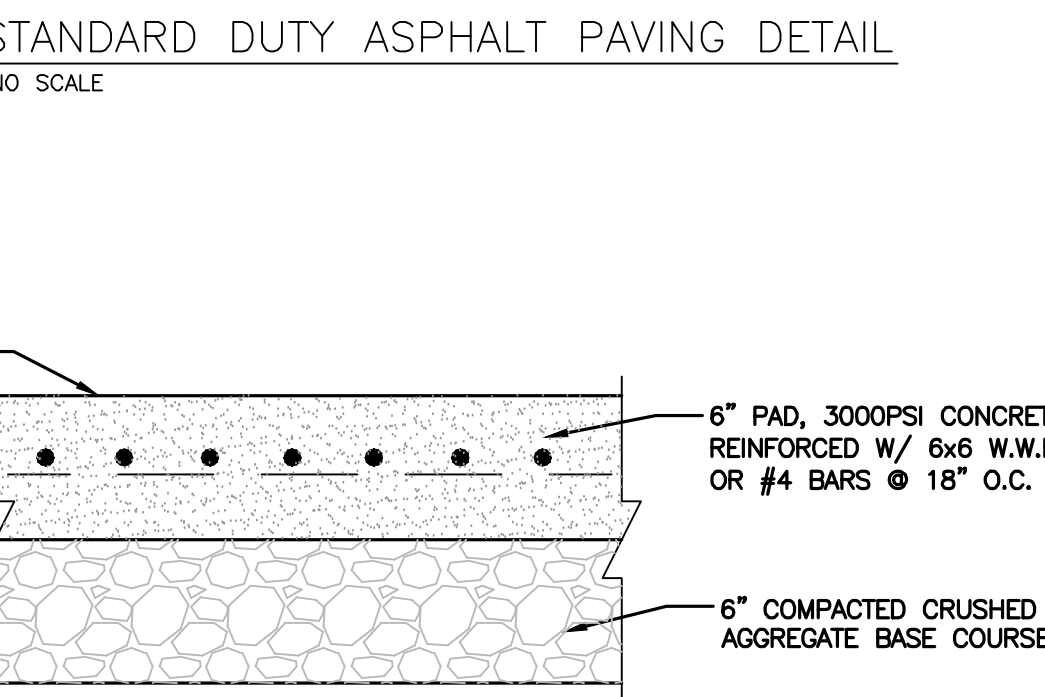
STANDARD DUTY ASPHALT PAVING DETAIL
NO SCALE



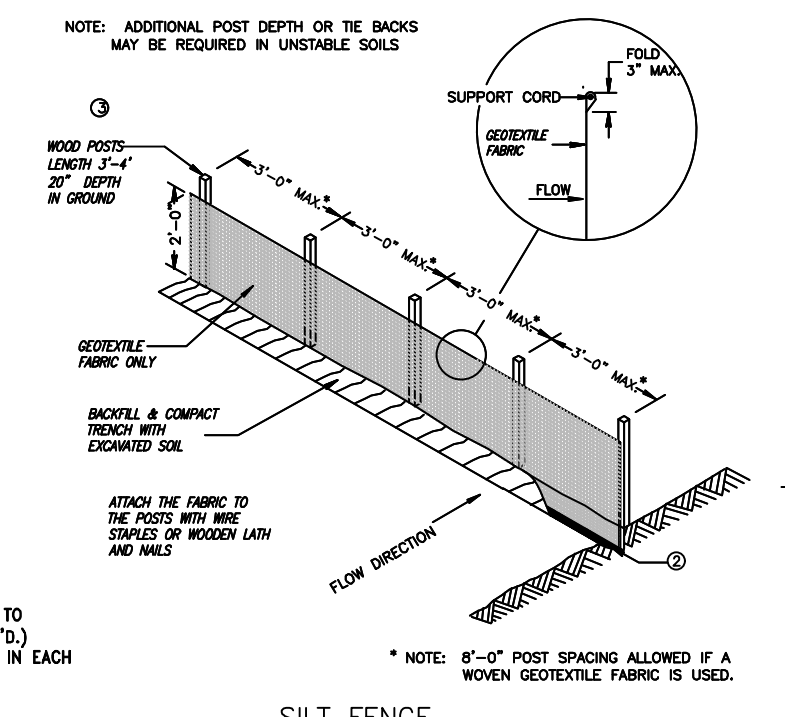
HEAVY DUTY ASPHALT PAVING DETAIL
NO SCALE



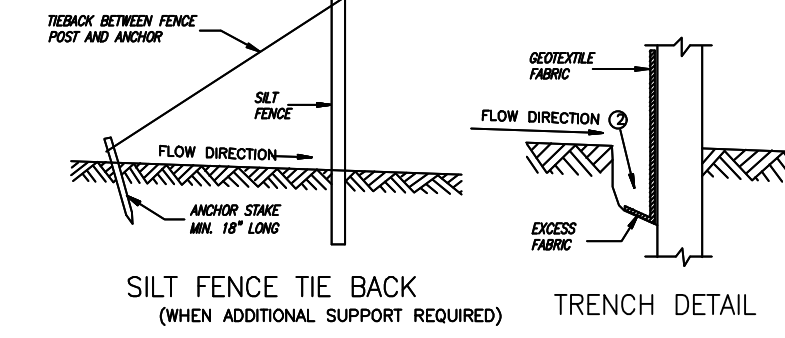
STORM SEWER INLET
NO SCALE



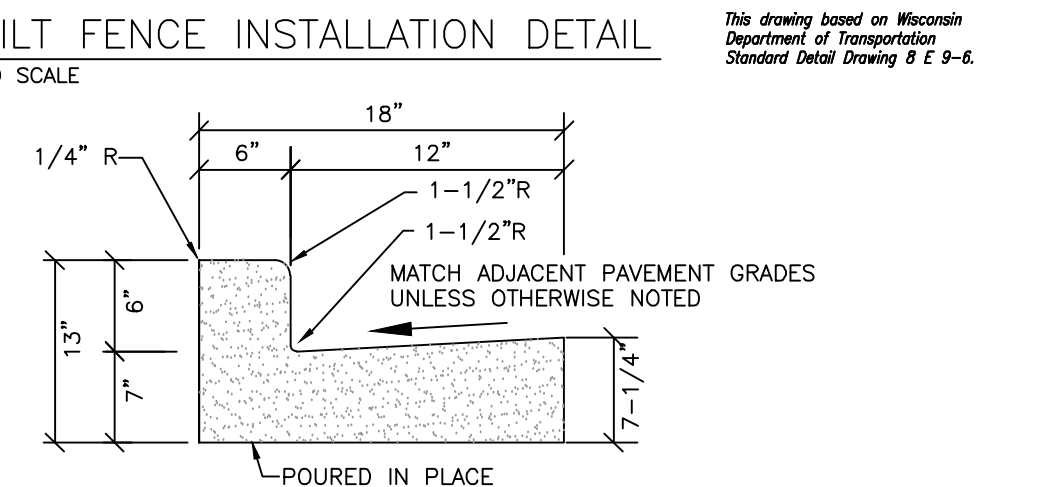
CONCRETE DUMPSTER PAD REQUIREMENT
NO SCALE



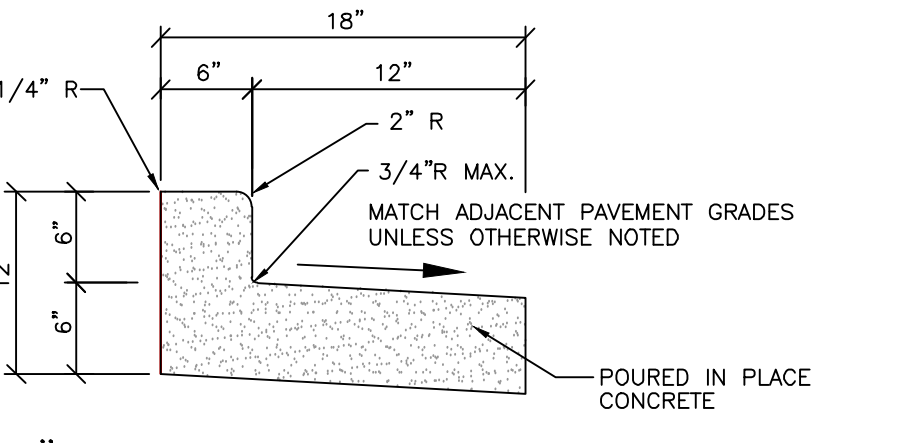
SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



18" CONCRETE CATCH CURB & GUTTER
NO SCALE



18" REJECT CURB & GUTTER DETAIL
NO SCALE

- GENERAL NOTES:**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FILL MATERIAL TO FIT TRENCH AND BRUSH & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1 1/2" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TIES OR INTERLACE AT LEAST 180 DEGREES; B) HOOK THE END OF EACH SILT FENCE ROLL.

WISCONSIN PROFESSIONAL ENGINEER
NATHAN A. BAILEY
E-48933
OCONOMOWOC, WI

TRIO
DESIGN & LAND SURVEYING
CIVIL ENGINEERING

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BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpuddick@trioeng.com

PROJECT:
NEW JOURNEY
5295 S MOORLAND ROAD (CTH O)
CITY OF NEW BERLIN, WI
PREPARED FOR:
MILWAUKEE RESCUE MISSION
830 N. 19TH ST.
MILWAUKEE, WI 53233

REVISION HISTORY

DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLANS

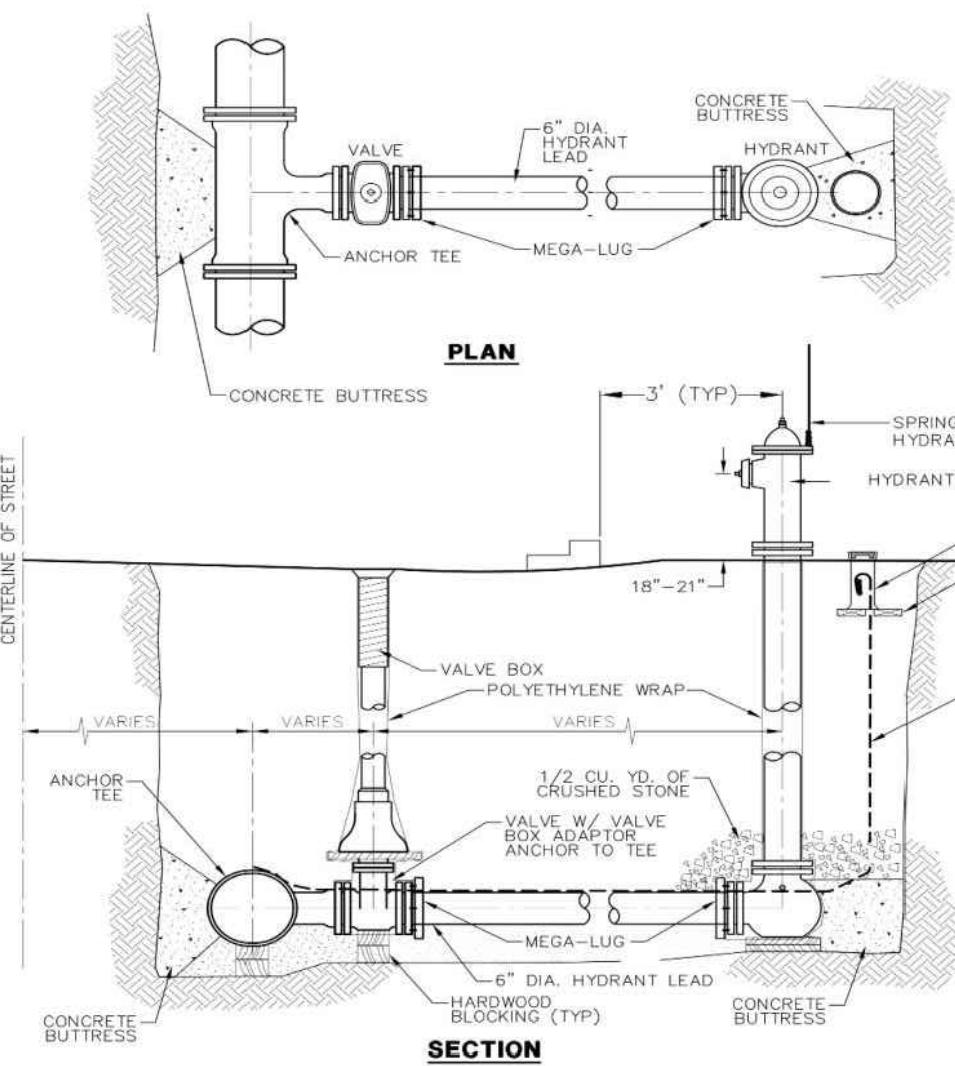
DATE:
OCTOBER 24, 2025

JOB NUMBER:
19018

DESCRIPTION:
CONSTRUCTION
NOTES &
DETAILS

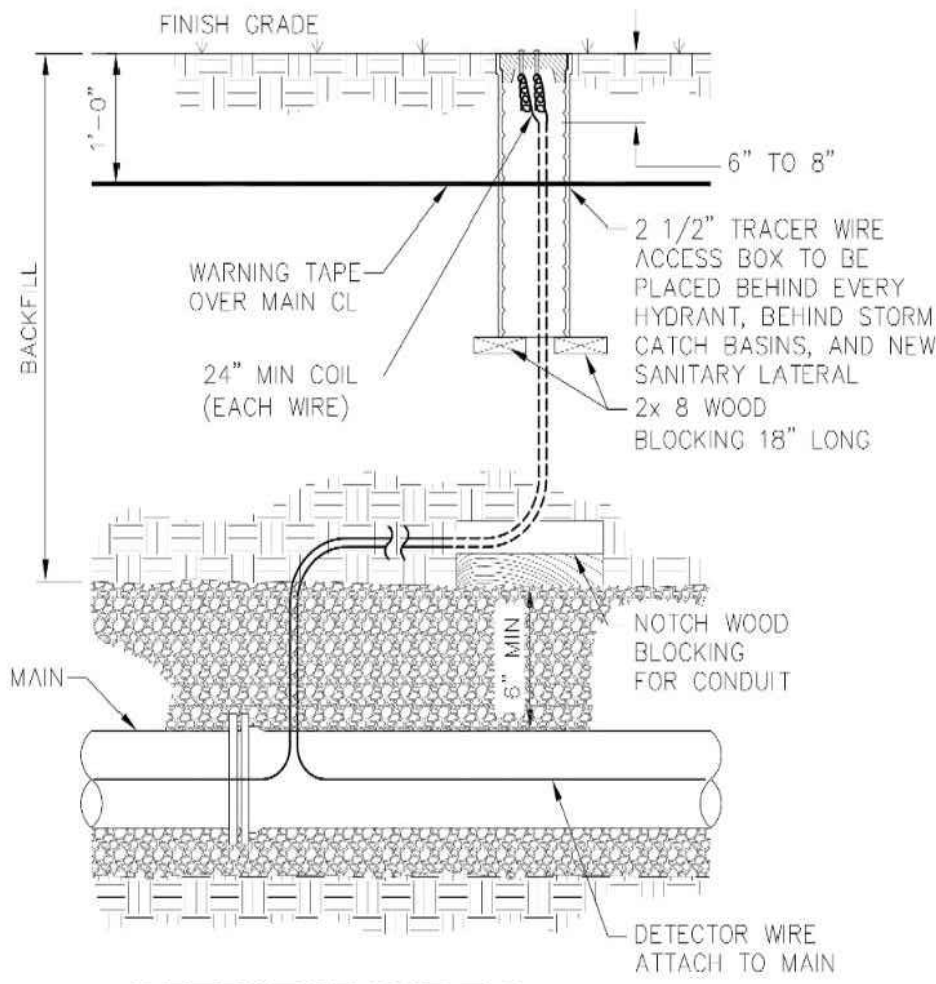
SHEET
C5.0

H:\C700\787\19018-01\CONSTRUCTION PLANS\CIVIL PLANS-NEW JOURNEY-22X34.DWG

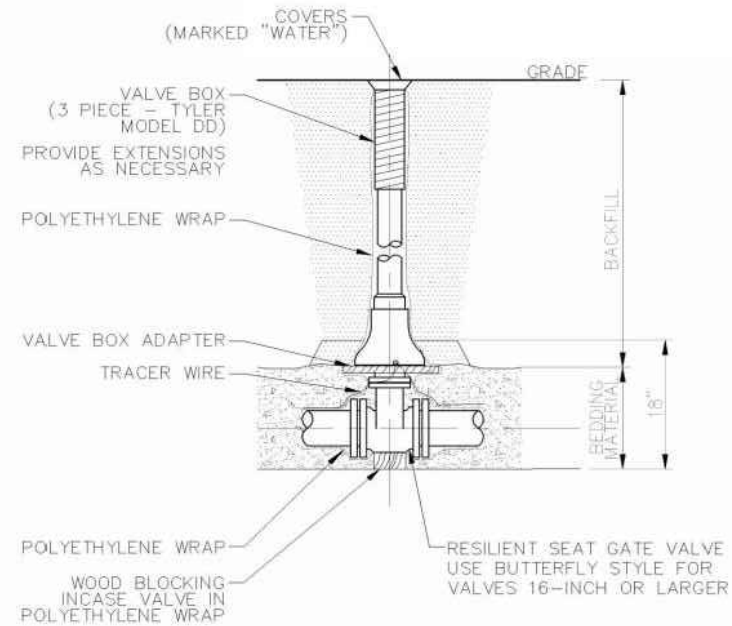


NOTE: REFER TO FILE NO. 38 OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" FOR FURTHER INFORMATION.
HYDRANT LEADS SHALL BE RESTRAINED.
HYDRANT LEADS SHALL BE CLASS 52 DUCTILE IRON.

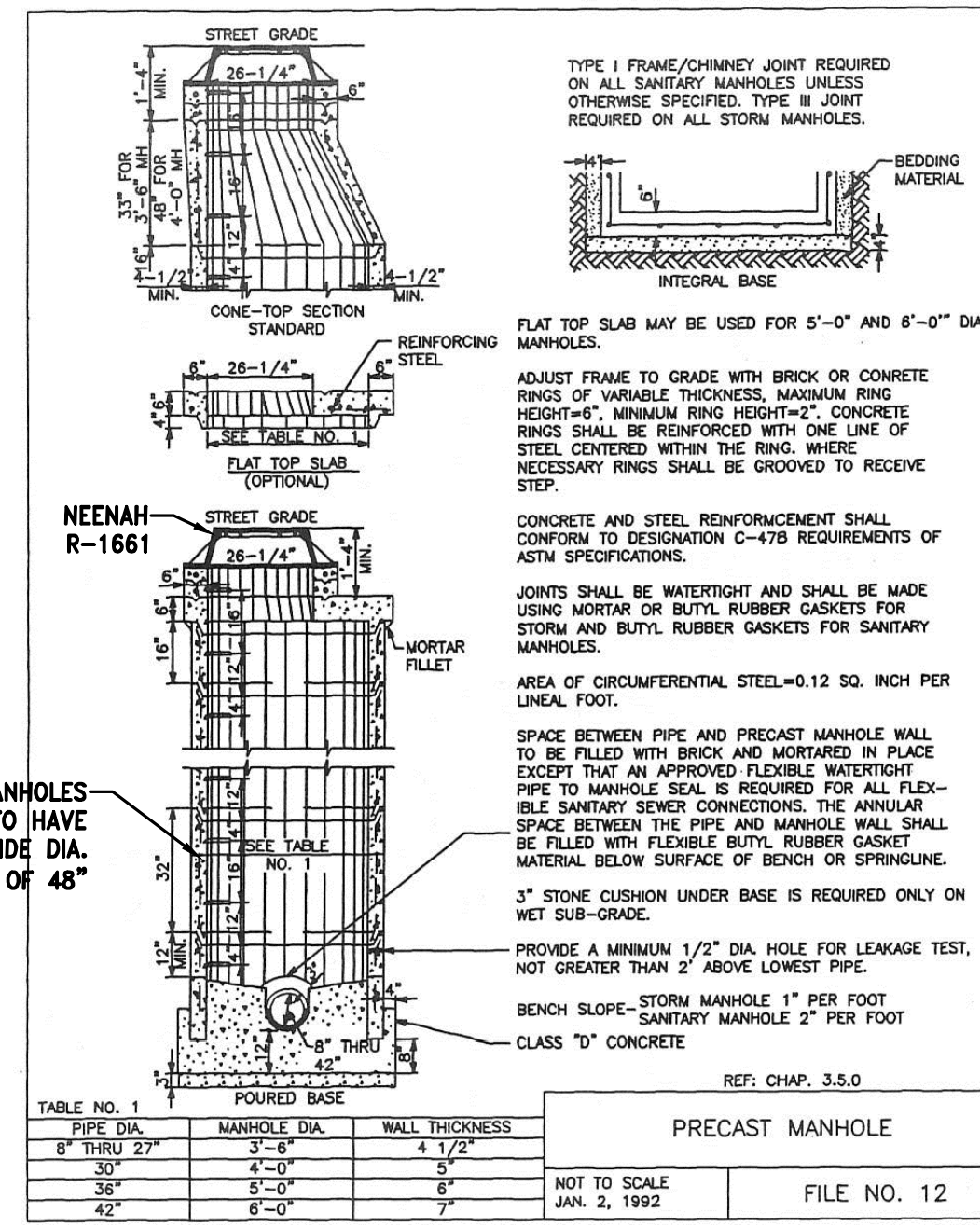
HYDRANT SETTING DETAIL NO SCALE



DETECTOR WIRE & LOCATION BOX (ON TERRACE) NO SCALE



STANDARD GATE VALVE BOX SETTING NO SCALE

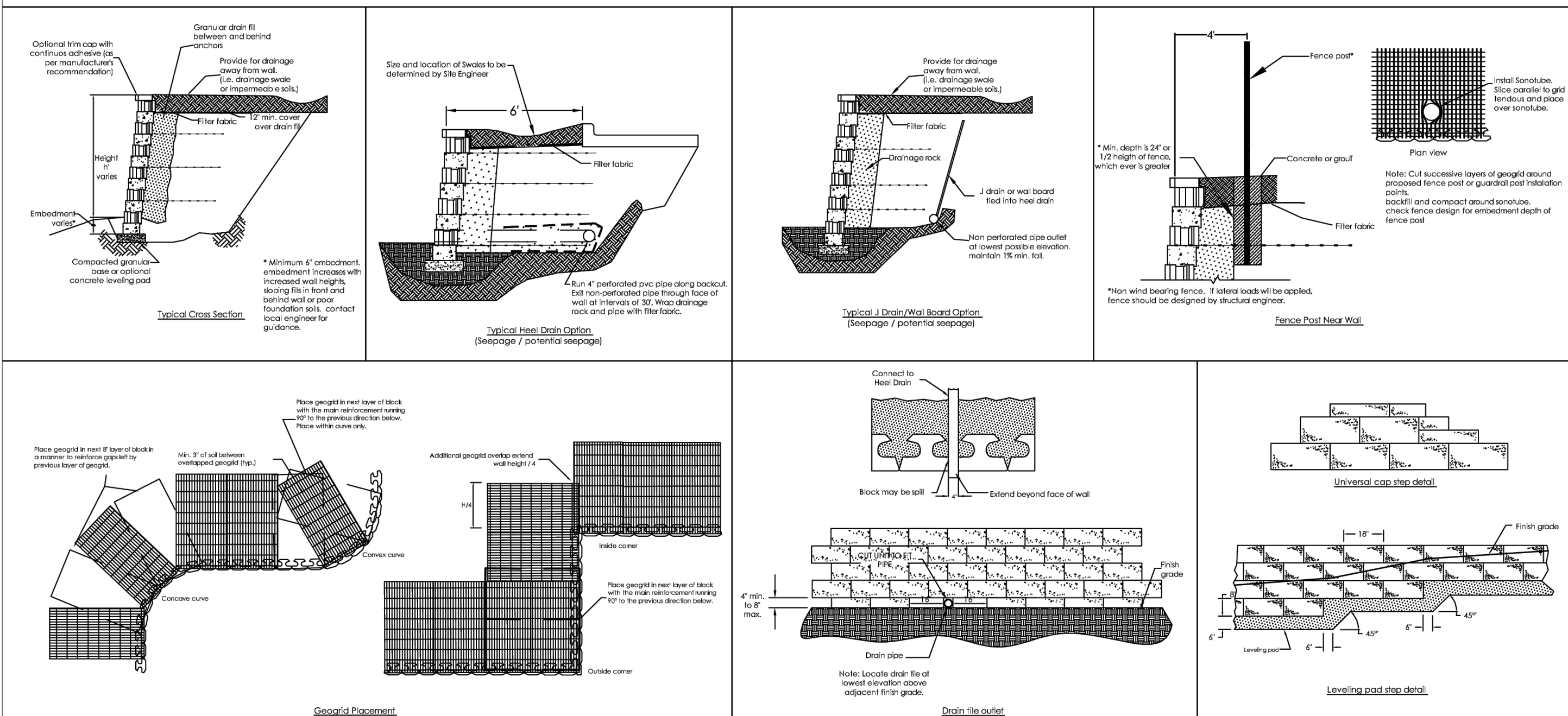
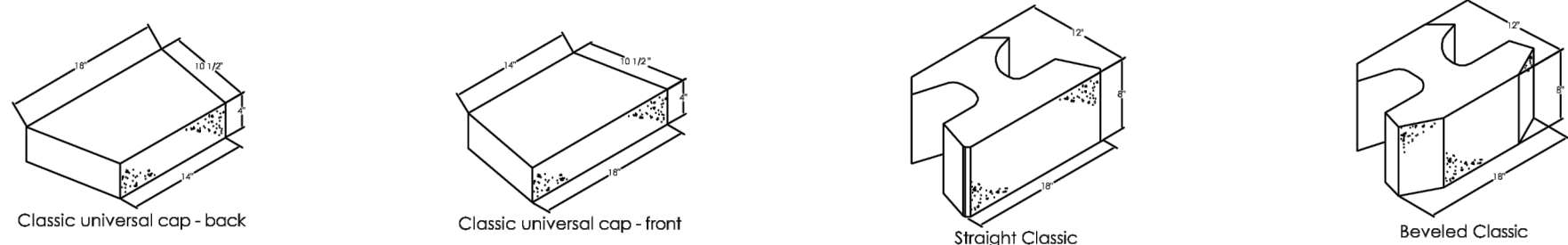


SANITARY MANHOLE DETAIL NO SCALE

NOTE: ALL SANITARY MANHOLES SHALL BE WATERPROOFED AND PROVIDED WITH INTERNAL/EXTERNAL SEALS AND MACWRAP JOINTS.

Typical Details Classic 8

(Dimensions may vary by region)



This drawing is furnished for preliminary design purposes only, and should not be used for final design drawings or construction drawings without the certification of a professional engineer registered in the state in which the wall will be constructed.

No.	Date	Revision	By	Prepared

ROCKWOOD RETAINING WALLS
A better way!

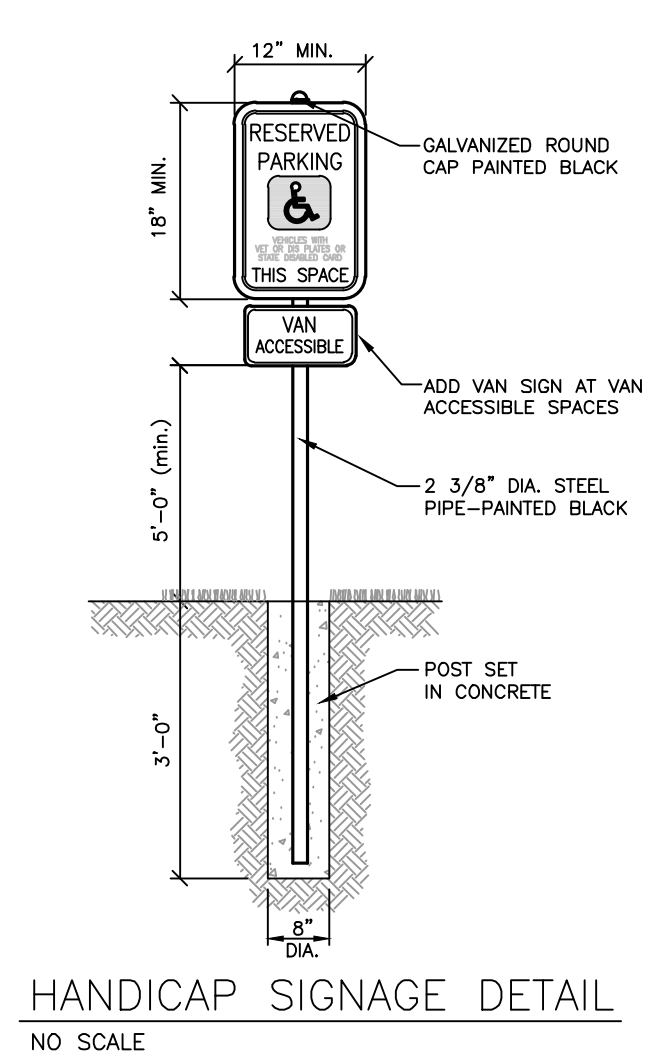
Legend

- Compacted Fill
- 3/4" Crushed Stone
- Leveling Pad
- Active Soil
- Geogrid

Project Name: XX
Project Location: YY
Drawing Description: Classic 8 Typical Details
Prepared by: CCC
Checked by: ODD
Date: MM/DD/YYYY
Project Number: WWWPRO#

RETAINING WALL NOTES:

- CONTRACTOR MAY USE ANOTHER RETAINING WALL MANUFACTURER IF DESIRED BASED ON AVAILABILITY AND COST OF MATERIAL. IN THIS EVENT, THE CONTRACTOR SHALL NOTIFY THE CITY OF NEW BERLIN ENGINEER AND PROVIDE ALL REQUIRED AND APPLICABLE DOCUMENTATION REQUESTED.
- RETAINING WALL DETAILS ARE PROVIDED FOR REFERENCE ONLY, CONTRACTOR SHALL FOLLOW ALL MANUFACTURE DETAILS AND SPECIFICATIONS.



HANDICAP SIGNAGE DETAIL NO SCALE



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BROOKFIELD, WI 53045
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DESCRIPTION:
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NOTES &
DETAILS

SHEET

C5.1



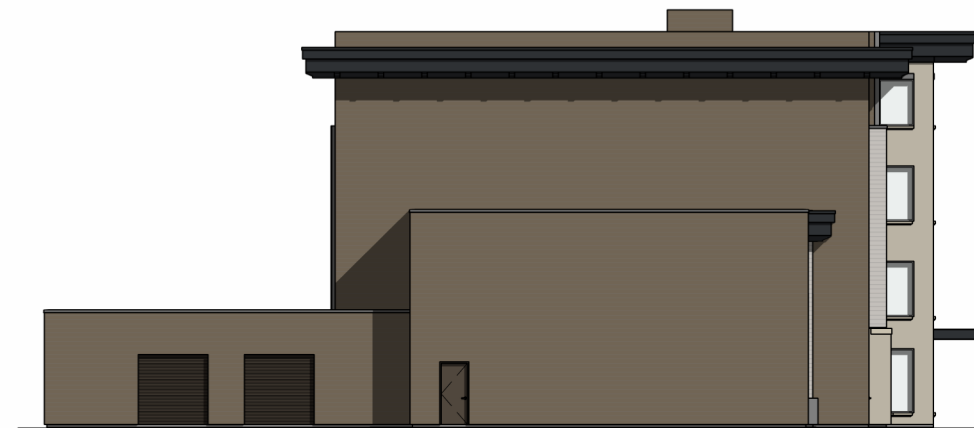
SOUTH ELEVATION
1" = 20'-0"



NORTH ELEVATION
1" = 20'-0"



EAST ELEVATION
1" = 20'-0"



WEST ELEVATION
1" = 20'-0"



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MILWAUKEE RESCUE MISSION
3RD CAMPUS

EXTERIOR ELEVATIONS - COLORED

25-073
10/24/2025



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MILWAUKEE RESCUE MISSION
3RD CAMPUS

RENDERED VIEW 01

25-073
10/24/2025





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MILWAUKEE RESCUE MISSION
3RD CAMPUS

RENDERED VIEW 03

25-073
10/24/2025



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MILWAUKEE RESCUE MISSION
3RD CAMPUS

RENDERED VIEW 04

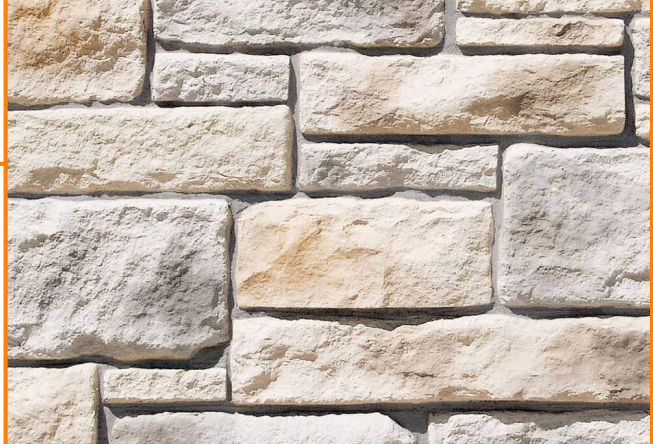
25-073
10/24/2025



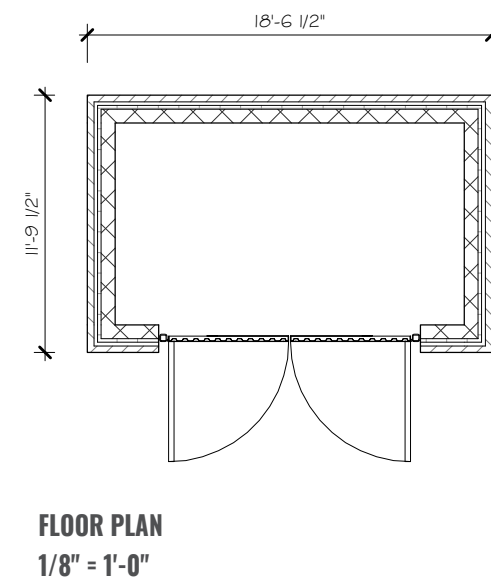
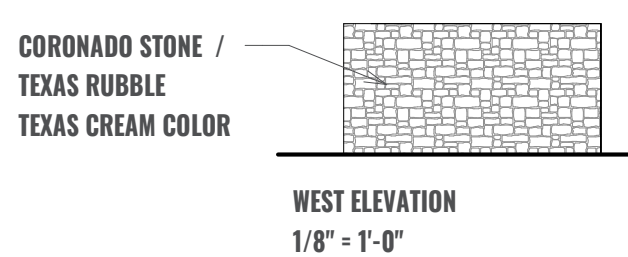
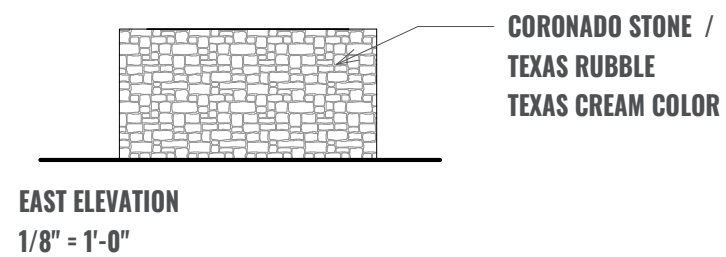
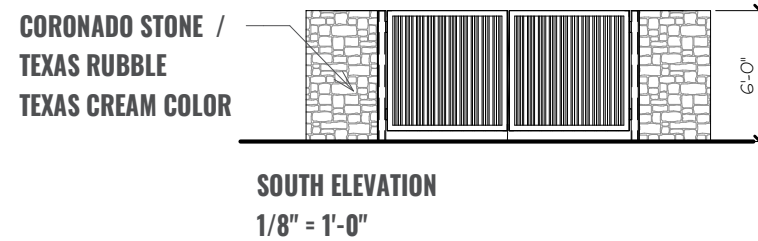
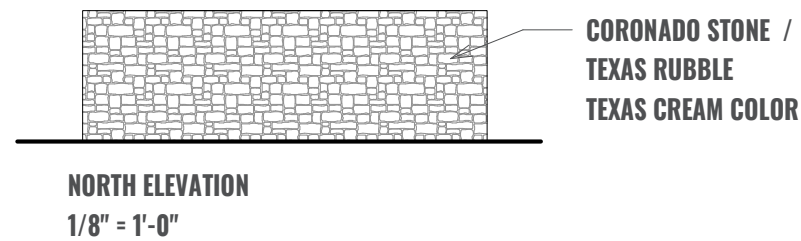
**HARDIE PLANK LAP SIDING
SELECT CEDARMILL / TIMBER BARK COLOR**



**CERACLAD FIBER CEMENT PANEL
WOOD SERIES / URBAN CEDAR / ASH COLOR**



**CORONADO STONE / TEXAS RUBBLE
TEXAS CREAM COLOR**





Building Square Footages
 Floor 1 - 20,800 SF
 Floor 2 - 12,130 SF
 Floor 3 - 12,130 SF
 Floor 4 - 11,950 SF
 Total SF- 57,010 SF
 Total Parking
 72 Spaces + 3 Accessible Spaces

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND + THIRD FLOOR PLANS

SCALE: 1/8" = 1'-0"



FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"