

# Board of Public Works Meeting Agenda

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June 16, 2025 - 4:30 PM  
Council Chambers  
3805 S. Casper Dr.

*Published: June 12, 2025*

## AGENDA

**1. PRIVILEGE OF THE FLOOR**

*Each speaker is limited to 3 minutes. The session will conclude at 6:30 PM.*

**2. CALL TO ORDER**

**3. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE**

**4. APPROVAL OF MINUTES**

A. April 21, 2025 Meeting Minutes

**5. OLD BUSINESS**

**6. NEW BUSINESS**

A. ITEM 06-25 Discussion and possible action to recommend to Common Council approval of the Development Agreement for Public Improvements at the DIL Partners, LLC. (NB Fabrication) property located at 16230 W. Beloit Road.

**7. UPDATES**

A. RD-25-01 Roadway Rehabilitation

B. RD-25-02 Roadway Maintenance

**8. ADJOURN**

### Additional Information

- The agenda packet, including supplemental information related to agenda items, is available online at [www.NewBerlinWI.gov](http://www.NewBerlinWI.gov). Once finalized by the governing body, approved meeting minutes will also be posted online.
- Agenda items may be taken out of order at the governing body's discretion.
- Members, and possibly a quorum, of other municipal governmental bodies may attend this meeting to gather information. However, no action will be taken by any governmental body other than the one referenced in this notice.
- Accommodations will be provided under the Americans with Disabilities Act (ADA) to meet the needs of individuals with disabilities. If you require assistance or appropriate aids and services, please contact the Office of the City Clerk at (262) 786-8610 with reasonable notice.

# Board of Public Works MEETING MINUTES

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April 21, 2025 - 4:30 PM  
Council Chambers  
3805 S. Casper Dr.

## MINUTES

### 1. PRIVILEGE OF THE FLOOR

*Each speaker is limited to 3 minutes. The session will conclude at 6:30 PM.*

None

### 2. CALL TO ORDER

Alderman Horbinski called the meeting to order at 4:30PM

### 3. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Joelle Erickson took the roll call as follows:

Present: Board Member Seidl, Alderperson Maxey, Alderperson Horbinski, Alderperson Hopkins

Excused: Mayor Dave Ament

Staff Present: City Engineer - Tammy Simonson, Community Relations Specialist - Joelle Erickson

It was confirmed that a quorum was present and that the meeting was properly posted in compliance with open meetings law.

### 4. APPROVAL OF MINUTES

#### A. March 17, 2025 Meeting Minutes

**MOTION:** Motion to Approve Minutes

**VOTE:** Motion by: Alderman Maxey  
Second by: Commissioner Seidl  
Motion Passes 4-0

### 5. OLD BUSINESS

None

### 6. NEW BUSINESS

- A. Discussion and possible action to recommend to Common Council approval of the revised Relocation Order for Sunny Slope Road by resolution and place on file with the County Clerk.

**MOTION:** Motion to Approve As Presented

**VOTE:** Motion by: Alderman Maxey  
Second by: Alderman Hopkins  
Motion Passes 4-0

## 7. UPDATES

- A. RD-25-01 Roadway Rehabilitation

- B. RD-25-02 Roadway Maintenance

- C. Moorland Road Reconstruction

## 8. ADJOURN

**MOTION:** Motion to Adjourn at 4:36PM

**VOTE:** Motion by: Commissioner Seidl  
Second by: Alderman Hopkins  
Motion Passes 4-0

**Respectfully Submitted,**  
**Joelle Erickson, Community Relations Specialist**

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# STAFF REPORT EXECUTIVE SUMMARY

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**APPLICANT:** David Merrick with Luther Group on behalf of DIL Partners, LLC. (NB Fabrication)

**PROJECT:** Development Agreement for Public Improvements for the DIL Partners, LLC. (NB Fabrication) at 16230 W. Beloit Road

**LOCATION:** 16230 W. Beloit Road

**REQUEST:** Approval of the Development Agreement for Public Improvements at the DIL Partners, LLC. (NB Fabrication) property located at 16230 W. Beloit Road.

**DRC RECOMMENDATION:** Recommend to the Common Council the Approval of the Development Agreement for Public Improvements at DIL Partners, LLC. (NB Fabrication) building located at 16230 W. Beloit Road.

1. The Developer is proposing to construct a new 84,400 sq. ft. industrial building. The proposal was approved by the CDA on 6/2/25.
2. The Developer is proposing to construct the following public improvements:
  - Sanitary sewer main along the proposed northern right-of-way line at 16230 W. Beloit Road.
  - Grading work within the public right-of-way for Beloit Road shall be permitted through Waukesha County.
3. The Developer will connect a sanitary lateral to the sanitary sewer.
4. The Developer will provide a surety instrument for 105% of the cost to construct the public utility.

DETAILS IN ATTACHED STAFF REPORT

**CITY OF NEW BERLIN  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
BOARD OF PUBLIC WORKS STAFF REPORT**

Meeting of June 16, 2025

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**Development Agreement for Public Improvements at Standex (Spincraft)**

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**DATE STAFF REPORT PREPARED:** June 12, 2025

**APPLICANT / OWNER(S):** David Merrick with Luther Group on behalf of DIL Partners, LLC. (NB Fabrication)

**NAME OF DEVELOPMENT:** DIL Partners, LLC. (NB Fabrication)

**TYPE OF DEVELOPMENT:** Construction of a new 84,400 sq. ft. industrial building. Public improvements include sanitary sewer main extension and associated appurtenances.

**NUMBER OF ACRES:** 12.8241 acres

**CURRENT ZONING:** O-2 (Business Park Development District)

**CDA APPROVAL DATE:** 6/2/25

**SUMMARY OF INFRASTRUCTURE:**

Off-Site Sanitary Sewer Main Installation	362.5 LF
Manholes	2 EA
Landscape Restoration	1 LS

**ESTIMATED AMOUNT OF SURETY INSTRUMENT:** 105% of project cost

**DCD RECOMMENDATION:** Recommend to the Common Council the Approval of the Development Agreement for Public Improvements at DIL Partners, LLC. (NB Fabrication) building located at 16230 W. Beloit Road.

**ATTACHMENT:**

Development Agreement  
Sanitary Sewer Plans

## Development Agreement

This Development Agreement (this "AGREEMENT") is entered into this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by and between [DIL Partners, LLC](#), its successors, assigns and future owners of the PROPERTY, hereinafter referred to as (the "DEVELOPER") and the CITY OF NEW BERLIN, a Wisconsin municipal corporation (the "CITY").

### RECITALS

**WHEREAS**, DEVELOPER is the owner of approximately [12.8241](#) acres of land in the CITY, said land described on [Exhibit A](#) attached hereto (the "PROPERTY");

**AND, WHEREAS**, DEVELOPER desires to develop the PROPERTY for [business park or industrial purposes](#) under the [New Berlin Fabrication Building](#) (the "DEVELOPMENT"), which includes certain public improvements described on [Exhibit B](#) attached hereto (the "PUBLIC IMPROVEMENTS");

**AND, WHEREAS**, said land is currently zoned [O-2](#), and the proposed DEVELOPMENT conforms to said zoning classification,

**AND, WHEREAS**, the CITY [Plan Commission](#) on [June 2, 2025](#) has approved of the DEVELOPMENT with conditions;

**AND, WHEREAS**, the CITY Board of Public Works on [June 16, 2025](#) recommended approval of the AGREEMENT and the CITY Common Council on [June 24, 2025](#) approved the AGREEMENT.

**AND, WHEREAS**, it is now necessary that DEVELOPER and CITY enter into an AGREEMENT relative to the manner and method by which the PUBLIC IMPROVEMENTS will be developed;

**NOW, THEREFORE**, DEVELOPER and CITY agree as follows:

### I. GENERAL

- A. DEVELOPER has prepared plans for the PUBLIC IMPROVEMENTS, which plans have been presented to and approved by the CITY.
- B. [A Certified Survey Map \(CSM\)](#), constituting the DEVELOPMENT, has been or shall be recorded at DEVELOPER's sole expense.

City of New Berlin  
Tamara Simonson  
3805 S Casper Dr  
New Berlin, WI 53151

Tax Key No. NBC 1257.997

- C. Prior to start of construction of the PUBLIC IMPROVEMENTS, DEVELOPER shall provide insurance policy endorsements to the CITY naming the CITY as additional insured on a primary and noncontributory basis with respect to Comprehensive General Liability coverage for the PUBLIC IMPROVEMENTS work performed by DEVELOPER. The comprehensive general liability coverage will carry limits of not less than \$1M per occurrence and \$2M in the aggregate. The coverage shall be issued on an occurrence basis for this project. In addition, the DEVELOPER shall carry liability coverage for all vehicles and hired and non-owned vehicles with limits acceptable to the CITY. The DEVELOPER shall all carry Workers Compensation coverage with statutory limits. The policies shall be written by an insurance company licensed to do business in Wisconsin. DEVELOPER shall provide not less than 30 days written notice to the CITY prior to change, modification or termination of said policy. Such notice provisions shall be in the unconditional affirmative, phrases such as “shall endeavor to notify” are unacceptable and shall be rejected.

## **II. SEQUENCE OF DEVELOPMENT**

- A. CONSTRUCTION PLAN APPROVALS
- B. DEVELOPMENT AGREEMENT APPROVALS AND SURETIES
- C. PRE-CONSTRUCTION MEETING
- D. EROSION CONTROL AND STORMWATER BEST MANAGEMENT PRACTICES
- E. GRADING
- F. SANITARY SYSTEM
- G. WATER SYSTEM – N/A
- H. STORM DRAINAGE SYSTEM
- I. ROAD SYSTEM – N/A
- J. PRIVATE UTILITIES (Electric, Gas, Telephone, CATV, etc.)
- K. RESTORATION
- L. RECORD DRAWINGS AND CERTIFICATIONS
- M. EASEMENT RECORDING

## **III. GRADING AND EROSION CONTROL**

- A. COMPLIANCE
  - 1. DEVELOPER shall secure proper Erosion Control Permits to implement the approved Erosion Control Plan.
  - 2. Erosion Control Methods shall be those required by the erosion control ordinances as adopted by the CITY, County, or State. The Primary Contractor shall be responsible for maintaining erosion control in accordance with the Erosion Control Permit during construction.
  - 3. DEVELOPER shall be responsible for pre-grading and maintaining grades within the DEVELOPMENT in accordance with the approved DEVELOPER's Grading Plan.

## B. INSPECTION and MAINTENANCE

1. Oversight of all construction and maintenance shall be performed under the direction of the Department of Community Development (DCD), at the DEVELOPER's sole expense.
2. All erosion control measures shall be maintained in accordance with the Erosion Control Permits.
3. DEVELOPER, at his/her sole expense, shall be responsible for removing erosion control measures as directed by the DCD.

## IV. SANITARY SYSTEM

### A. AVAILABILITY

1. Each and every building in the DEVELOPMENT shall be served by a sanitary sewer main and lateral at DEVELOPER's sole expense and connected to the CITY Wastewater Utility in accordance with plans and specifications approved by the City Engineer, the Utility Department and all other regulatory agencies.
2. All buildings or units in the DEVELOPMENT will be individually served with private laterals. In the event it is later determined that the locations or size of such laterals are insufficient to service certain parcels or units of land within the project, the owner(s) of such parcel(s) may install laterals subject to CITY approval which will be paid for by the property owner.
3. DEVELOPER shall provide for the extension of the sanitary sewer system in accordance with the Site Development Plan approved by the DCD and the Utility Department by laying sanitary sewer mains in public right-of-way and/or public easement as directed by the City Engineer and the Utility Department.

### B. CAPACITY OF THE SYSTEM

1. The system shall conform to the Sanitary Sewer Plan of the CITY and have a capacity sufficient to meet the needs of the DEVELOPMENT and each building therein, and as directed by the City Engineer and the Utility Department.

### C. INSPECTION OF THE SYSTEM

1. Oversight of all construction shall be performed under the direction of the DCD, at the DEVELOPER's sole expense.

### D. OWNERSHIP OF SANITARY SEWER SYSTEM

1. Upon CITY's final acceptance of the sanitary sewer system, those portions of the sanitary sewer system located in the public right-of-way and/or public easement shall be dedicated by the DEVELOPER to the CITY and shall thereafter be maintained and serviced by the CITY.

### E. SANITARY SEWER SERVICE CHARGES

1. Upon issuance of the Occupancy Permit by the CITY, all building sites, and all buildings in the DEVELOPMENT shall be subject to all sanitary sewer service charges and/or assessments in the same amount and collected in the same manner as are sanitary sewer service charges and/or assessments for all other parts of the CITY served by the same wastewater treatment facilities.

## V. WATER SYSTEM

#### A. AVAILABILITY

1. The DEVELOPMENT shall be served by a lateral installed at DEVELOPER's sole expense and connected to the New Berlin Water Utility in accordance with plans and specifications approved by the DCD, the Utility Department and all other agencies.
2. The DEVELOPMENT will be individually served by a private lateral. In the event it is later determined that the location, pressure or size of such lateral is insufficient to service the parcel, the owner(s) of such parcel may install a lateral subject to CITY approval which will be paid for by the property owner.

#### B. WATER UTILITY CHARGES

1. Upon issuance of the Occupancy Permit by the CITY, all buildings, or building sites in the DEVELOPMENT shall be subject to all water service charges and/or assessments in the same amount and collected in the same manner as are water service charges and/or assessments for all other parts of the CITY served by CITY water.

### VI. **STORM DRAINAGE SYSTEM**

#### A. COMPONENTS

1. Storm drainage shall be provided by means of storm sewers, culverts, ditches, Stormwater Best Management Practices (BMP's), and appurtenances in the public right-of-way and/or in drainage easements where required and/or within natural areas (where applicable and permitted), all in accordance with storm drainage plans prepared by DEVELOPER and approved by the DCD and entirely at the DEVELOPER's sole expense. All storm drainage shall be in conformance with the approved Stormwater Management Plan.

#### B. CONSTRUCTION

1. The DEVELOPER shall be responsible for the planning, design and construction of facilities for storm drainage (the Storm Drainage System) until such stormwater exits the exterior perimeter line of the DEVELOPMENT or until it reaches a point, outside of and adjacent to the PROPERTY from which point such stormwater passes into, or through specified conduits or channels. Such design shall be reviewed and approved by the DCD prior to construction.
2. The design and construction plan for the Storm Drainage System shall be reviewed and approved by DCD prior to construction.
3. Nothing in this paragraph shall be deemed to limit the DEVELOPER's responsibility to adjacent owners for discharged water. Should any claim be made against the CITY for increased water discharge or altered drainage patterns from the project, DEVELOPER shall indemnify, defend and hold harmless the CITY paying all costs thereof (including but not limited to actual attorney fees) and further indemnify the CITY from any loss or damage based upon a claim arising from water allegedly discharged within or from the site, except if the loss or damage was caused by the negligence or willful misconduct of the CITY.
4. Major drainage improvements shall be constructed during the first phase of the DEVELOPMENT including, but not limited to the BMP's and necessary downstream improvements.

5. All normal maintenance and/or repair of the Storm Drainage System shall be the obligation of the DEVELOPER. The DCD, at its sole discretion, may require the DEVELOPER to restore the Storm Drainage System to its original condition should its function diminish through disrepair or other causes.
6. The DCD may periodically inspect the Storm Drainage System upon reasonable notice. Should maintenance and/or repair work not be completed in a timely manner to the CITY's reasonable satisfaction, the CITY shall have the authority to complete said work and charge all reasonable costs, including but not limited to engineering, administration costs and legal costs, to the DEVELOPER of the land set forth in the legal description on Exhibit A with each owner assessed an undivided fractional ownership of the expense as a lien against their property.

#### C. OWNERSHIP

1. The components of the Storm Drainage System in public rights of way and public easements shall be dedicated to the COUNTY. When dedicated to the COUNTY upon approval and final acceptance by the COUNTY, system components shall become the property of the COUNTY and thereafter be maintained by the COUNTY.
2. The Storm Drainage System and private drainage easements shall remain in the sole ownership and responsibility of DEVELOPER even if they are located within easements for access or maintenance.
3. Development of this parcel is subject to the Stormwater Management Plan established for the DEVELOPMENT. All landowners and/or owners of land within the DEVELOPMENT are and shall be jointly and severally responsible for the Storm Drainage System within the DEVELOPMENT. In the event the DEVELOPER default(s) in its duty to maintain the Storm Drainage System, as reasonably determined by the CITY, each of the property owners will be responsible for a pro-rata share of the costs of the maintenance and/or repair of the Storm Drainage System. Should the CITY have to perform repairs and/or maintenance, all of the direct and indirect costs thereof shall become a lien against the DEVELOPER with each owner assessed an undivided fractional ownership of the expense.

#### D. INSPECTION

1. Oversight of all construction shall be performed under the direction of the DCD, at the DEVELOPER's sole expense.

#### E. STORMWATER CHARGES

1. Upon issuance of the Occupancy Permit by the CITY, each building site or building in the DEVELOPMENT shall be subject to the Stormwater Utility fee in the same amount and collected in the same manner as are Stormwater Utility fees for all other parts of the CITY.

### VII. **PUBLIC ROADWAYS**

A. [There are no Public Roadways being constructed as part of the DEVELOPMENT.](#)

### VIII. **SURETY INSTRUMENTS**

A. Prior to signing of this AGREEMENT by the CITY, DEVELOPER shall deposit with the

CITY a surety instrument in accordance with §235-22 of the Municipal Code in the amount of 105% of the estimated cost of all the PUBLIC IMPROVEMENTS as approved by the CITY in a form approved by the City Attorney.

1. **Public Sanitary System**

B. FORFEITURE OF SURETY

1. Interim Reduction (Utilities)

- a. Upon request, an interim surety reduction to 50% per Utility may be made once the utility is fully installed and operable.

2. **Preliminary Acceptance Reduction (Non-Subdivision)**

- a. The surety may be reduced to 10%, by the itemized amount of each of the Utilities (Sanitary System, Water System, and Storm Drainage System), as the PUBLIC IMPROVEMENTS receive preliminary acceptance by the CITY.

3. **Return of Surety (Non-Subdivision).**

- a. 12-months after preliminary acceptance, the CITY will conduct a final inspection. The DEVELOPER shall make all necessary repairs. After repairs are made and approved, the CITY will issue final acceptance and return the surety to the DEVELOPER'S financial institution.

C. CASH PAYMENTS FOR:

1. Reasonable administrative fees including but not limited to engineering, inspection, and legal fees incurred to date of approval as billed by an itemized statement and to be paid within fourteen (14) days of receipt of invoice.

D. PUBLIC SITES AND OPEN SPACES

1. In order to conform to the provisions of Section 235-34 C (3) of the Municipal Code, DEVELOPER agrees to pay Public Site and Open Space Fees, required prior to the CITY signing the CSM. These fees are in addition to any connection fees required by the CITY prior to individual building permits being granted.

E. MISCELLANEOUS

1. DEVELOPER shall be responsible for any other items, as reasonably required in writing by the CITY, necessary to accomplish the intent of this AGREEMENT.

**IX. DEED RESTRICTIONS**

A. This AGREEMENT shall be recorded in the office of the Registrar of Deeds of Waukesha County, Wisconsin by the DEVELOPER at the expense of the DEVELOPER and the use and occupancy of all lots therein shall be subject to the terms and provisions of this AGREEMENT. A copy shall be provided to the CITY.

B. Any other restrictions desired by the DEVELOPER, but not required by the CITY may be recorded at the DEVELOPER's option. The CITY will not be responsible for the enforcement of those restrictions.

**X. ACCEPTANCE OF PUBLIC IMPROVEMENTS**

A. All PUBLIC IMPROVEMENTS required by the CITY within the DEVELOPMENT are

the DEVELOPER's sole responsibility.

- B. The DEVELOPER shall take all necessary action so as to have all PUBLIC IMPROVEMENTS of the DEVELOPMENT specified in the AGREEMENT installed and approved within two years following the date of commencing construction for each of the PUBLIC IMPROVEMENTS.
- C. After completing the required PUBLIC IMPROVEMENTS, the DEVELOPER shall provide a complete itemized accounting of expenditures to the CITY.
- D. PUBLIC IMPROVEMENTS shall be accepted by the CITY when the DEVELOPER has met and satisfied each of the terms and conditions of this AGREEMENT, permits, applicable ordinances of the CITY, and the requirements of the CITY's Development Handbook.
- E. Preliminary Acceptance:
  - 1. When the Sanitary system has been installed per the CITY's Development Handbook and to finish grade and tested and all punch list items have been corrected and all requirements have been satisfied by the DEVELOPER and approved by the CITY.
  - 2. Required Documentation: The following list shall not be considered all-inclusive, but rather a guide to what is typically required.
    - a. [As-builts for Stormwater Best Management Practices](#)
    - b. [Itemized as-built construction cost list for Public Infrastructure](#)
    - c. [Easement Documents recorded](#)
    - d. [All Inspection invoices are paid to date](#)
- F. Final Acceptance:
  - 1. 12-months after preliminary acceptance, the CITY will conduct an inspection of the systems and prepare a punch list of items that need correction.
  - 2. Final Acceptance will be granted after all punch list items have been corrected by the DEVELOPER and approved by the CITY, and paragraph D above has been satisfied.
  - 3. Required Documentation: The following list shall not be considered all-inclusive, but rather a guide to what is typically required.
    - a. [Erosion Control Removed](#)
    - b. [As-builts for Utilities](#)
    - c. [All Inspection invoices are paid](#)
    - d. [Lien waivers submitted](#)

**XI. GENERAL CONDITIONS**

- A. DEVELOPER further agrees to abide by such further orders or directions as may be reasonably given by the CITY and/or its Boards and Commissions, as may be necessary to implement and carry out the terms and intent of this AGREEMENT, provided such further orders or directions are usually and customarily required of like developments similarly stated.

- B. It is expressly understood and agreed that the terms of this AGREEMENT are covenants running with the land and binding on DEVELOPER and CITY. The terms of the AGREEMENT regarding insurance, warranty and surety obligations shall survive the expiration of this AGREEMENT.
- C. The signatory DEVELOPER shall not dissolve its Corporation, LLC, or other business group designation, without written notification to the CITY, more specifically the CITY Engineer, a minimum of 15 days prior to the dissolution. The written notification shall include a plan for meeting the requirements of the AGREEMENT and the identity and contact information for the person(s)/entity that will be the subsequent responsible party.
- D. DEVELOPER shall be responsible for the repair to existing roadways and infrastructure for damage caused as a result of its construction activities.
- E. DEVELOPER is required to have the public utilities (sanitary system, water system, & storm drainage system) located and marked in the field until the final as-built drawings for the utilities are approved by the CITY. As a courtesy, the New Berlin Utility Department will forward by FAX any locates requests that are received for the DEVELOPMENT. DEVELOPER shall provide the New Berlin Utility Department with a regular business hours phone number, FAX number, and an after business hours phone or pager number, so Emergency Locate requests can be forwarded, as necessary.
- F. DEVELOPER and subsequent owners of lots shall promptly remove all construction debris including, but not limited to, paper, plastic, insulation, packaging, etc. and will take adequate measures to keep all debris on the lot site to prevent littering adjoining properties.
- G. Streets shall be swept daily as needed to remove silt, stone, ground or other materials which have been tracked or eroded onto the streets. The DCD may periodically inspect the streets for debris and determine if street sweeping is required. Reasonable efforts will be made to contact the responsible party to get the impacted streets swept. Should street sweeping not be completed in a timely manner to the DCD's reasonable satisfaction, the CITY shall have the authority to complete said work and charge all reasonable costs for the street sweeping to the responsible party. In the event that said costs are not promptly paid, the CITY may assess those charges against the property within this DEVELOPMENT as a special charge for current services pursuant to Wis Stat Sec. 66.0627.
- H. DEVELOPER agrees, to the fullest extent permitted by law, to indemnify and hold the CITY harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) to the extent caused by the DEVELOPER's negligent or intentional acts, errors or omissions in the performance of its obligations under this AGREEMENT and those of its contractors/subcontractors or anyone for whom the DEVELOPER is legally liable. Neither party will be responsible to the other for consequential damages including, but not limited to, loss of profit, loss of investment or business interruption.
- I. DEVELOPER or its successor or assignee shall be responsible for maintenance of rights-of-way up to the edge of the roadways adjoining the DEVELOPMENT to include grass cutting and any litter removal consistent with the landscaping of the DEVELOPMENT. Failure to maintain this area shall subject the DEVELOPMENT to charges by the CITY.

- J. Setbacks, height restrictions, and locations of all structures shall be as regulated by the zoning ordinances of the CITY.
- K. All conditions of approval for the DEVELOPMENT by the [Plan Commission](#) and/or Common Council shall be followed.
- L. Except for the specific responsibilities and obligations retained by the DEVELOPMENT hereunder, CITY shall provide to the DEVELOPMENT and its occupants the same governmental services, as are generally provided to other residents, residences, and citizens of the CITY.
- M. Neither the CITY's own inspection nor the CITY's acceptance of DEVELOPER's dedication to the CITY shall be deemed a waiver of the DEVELOPER's obligation to construct the Water, Sanitary, Storm Drainage, and Road Systems according to the CITY's Development Handbook.

**XII. SPECIAL CONDITIONS**

- A. Fire or emergency protection services are available to the DEVELOPMENT.
- B. Snow and ice removal from private roadways, drives or parking lots shall not be placed in public roadways or rights-of-way.
- C. DEVELOPER shall be responsible for submitting a Stormwater Management Practice Maintenance Agreement in accordance with the requirements of the CITY Zoning Code. DEVELOPER shall also be responsible for recording the document, in a form that is acceptable to the CITY, at the Waukesha County Register of Deeds so that the Agreement is binding upon all subsequent owners of lands within the DEVELOPMENT.
- D. The Stormwater Management BMP's are to be maintained per the approved Stormwater Management Practice Maintenance Agreement referred to above.
- E. The DEVELOPER shall provide an open space maintenance plan satisfactory to the CITY as required under the Municipal Code Chapter 235-41. The DEVELOPER and ultimately the Condo/Homeowners Association shall be responsible for implementing said plan and maintaining said areas according to that plan. The DEVELOPER shall landscape and provide access to the open space as may be required by and in accordance with applicable CITY ordinance(s).

*[signature page(s) follow]*

**ACKNOWLEDGMENT**

IN WITNESS WHEREOF, the said DEVELOPER has caused this AGREEMENT to be signed.

In the presence of:

DIL PARTNERS, LLC.  
(DEVELOPER's Name)

\_\_\_\_\_  
(Authorized Signature)

DEVELOPER acknowledges that the person signing this AGREEMENT has the authority of [DIL Partners, LLC.](#) to do so and that the document has been approved by official action of the DEVELOPER.

(STATE OF WISCONSIN)  
(COUNTY OF WAUKESHA) SS.  
(CITY OF \_\_\_\_\_)

Personally came before me this \_\_\_ day of \_\_\_\_\_, 20\_\_, the above named [DIL Partners, LLC. came](#) to me and is known to be the person who executed the foregoing instrument.

\_\_\_\_\_  
Notary Public Waukesha County Wisconsin  
My commission expires:

Approved as to form:

\_\_\_\_\_  
Thomas Schmitzer - City Attorney

Accepted pursuant to the Authority of the Common Council:

CITY OF NEW BERLIN

\_\_\_\_\_  
David A. Ament - Mayor

\_\_\_\_\_  
Rubina Medina - City Clerk

Drafted by: Tamara M. Simonson, P.E. – City Engineer \_\_\_\_\_

**CERTIFICATION**

I, Rubina Medina , duly appointed as City Clerk for the City of New Berlin, do hereby certify that the attached plans and maps are true and correct copy of the original and if they are not legible or readable, a copy of the original is available at the City of New Berlin Engineering Department.

Document: 2025-05-09 2557.00 CIVIL & LANDSCAPE PLANS

File Number: UA-2500488

Date: \_\_\_\_\_

Name: Rubina Medina

Signature: \_\_\_\_\_

Title: City Clerk

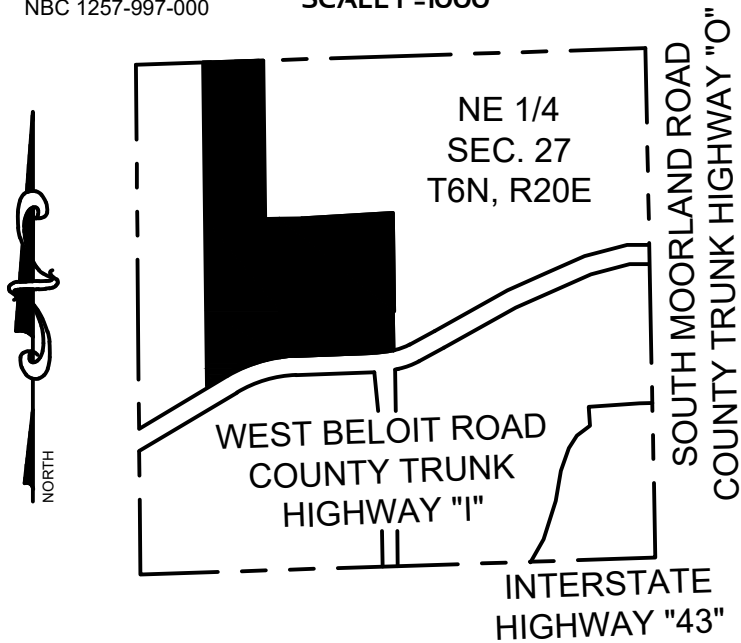
**EXHIBIT A**  
**LEGAL DESCRIPTION**

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands  
in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of  
Section 27, Township 6 North, Range 20 East,  
City of New Berlin, Waukesha County, Wisconsin

Subject Property  
Zoning: O2, R-4 & C-2  
Tax Key Number:  
NBC 1257-998-006  
NBC 1257-997-000

## VICINITY SKETCH SCALE 1"=1000'



MARCH 14, 2025

Prepared for:  
DIL PARTNERS LLC  
780 Elm Grove Road - Suite 120  
Elm Grove, WI 53122

### NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). Bearings referenced to the north line of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East which has a bearing of N88°09'00"E.
- Flood Zone Classification: The property lies within Zone "X", Zone "AE" and "FLOODWAY" of the Flood Insurance Rate Map Community Panel No. 55133C0353H with an effective date of OCTOBER 19, 2023. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain. Zone "AE" are Special Flood Hazard Areas with Base Flood Elevations determined. "Floodway" is the channel of the stream. Depicted by scaled map location and graphic plotting only, subject to map scale uncertainty.
- Vertical Datum: North American Vertical Datum of 1988(12), (NAVD88). Reference Benchmark: Concrete monument with brass cap at the northeast corner of the Northeast 1/4 Section 27, Town 6 North, Range 20 East, Elevation = 873.58.
- Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.
- Wetlands per Waukesha County Interactive Mapping System

Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

DRAFTED BY: ST  
PEG JOB#2557.00  
SHEET 1 OF 8

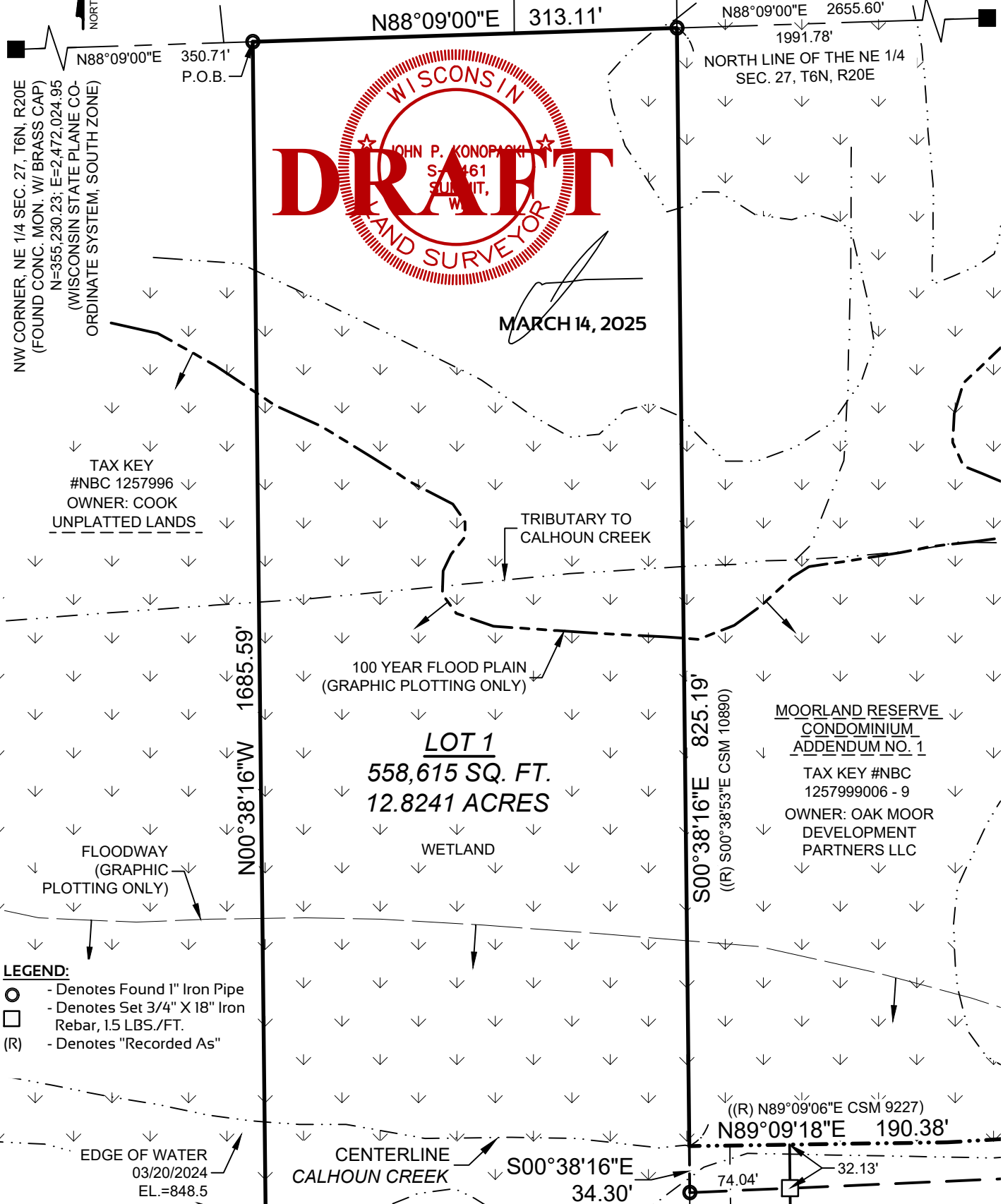
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin

TAX KEY #NBC 1239248001  
OWNER: PETRAUSKI FAMILY TRUST  
LOT 72  
HEARTH RIDGE  
ADDITION NO. 1

TAX KEY # NBC 1240985  
OWNER: CITY OF NEW BERLIN  
UNPLATTED LANDS

NE CORNER, NE 1/4 SEC. 27, T6N, R20E  
(FOUND CONC. MON. W/ BRASS CAP)



**WISCONSIN**  
★ JOHN P. KONOPACKI ★  
**DRAFT**  
S-2461  
SURVEYOR  
LAND SURVEYOR

MARCH 14, 2025

LOT 1  
558,615 SQ. FT.  
12.8241 ACRES

WETLAND

NW CORNER, NE 1/4 SEC. 27, T6N, R20E  
(FOUND CONC. MON. W/ BRASS CAP)  
N=355,230.23; E=2,472,024.95  
(WISCONSIN STATE PLANE CO-ORDINATE SYSTEM, SOUTH ZONE)

TAX KEY #NBC 1257996  
OWNER: COOK  
UNPLATTED LANDS

TRIBUTARY TO CALHOUN CREEK

100 YEAR FLOOD PLAIN  
(GRAPHIC PLOTTING ONLY)

MOORLAND RESERVE  
CONDOMINIUM  
ADDENDUM NO. 1

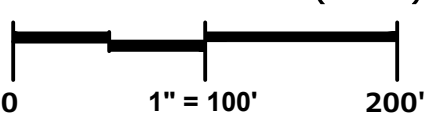
TAX KEY #NBC 1257999006 - 9  
OWNER: OAK MOOR DEVELOPMENT PARTNERS LLC

- LEGEND:**
- - Denotes Found 1" Iron Pipe
  - - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
  - (R) - Denotes "Recorded As"

EDGE OF WATER  
03/20/2024  
EL.=848.5

CENTERLINE  
CALHOUN CREEK

**GRAPHICAL SCALE (FEET)**



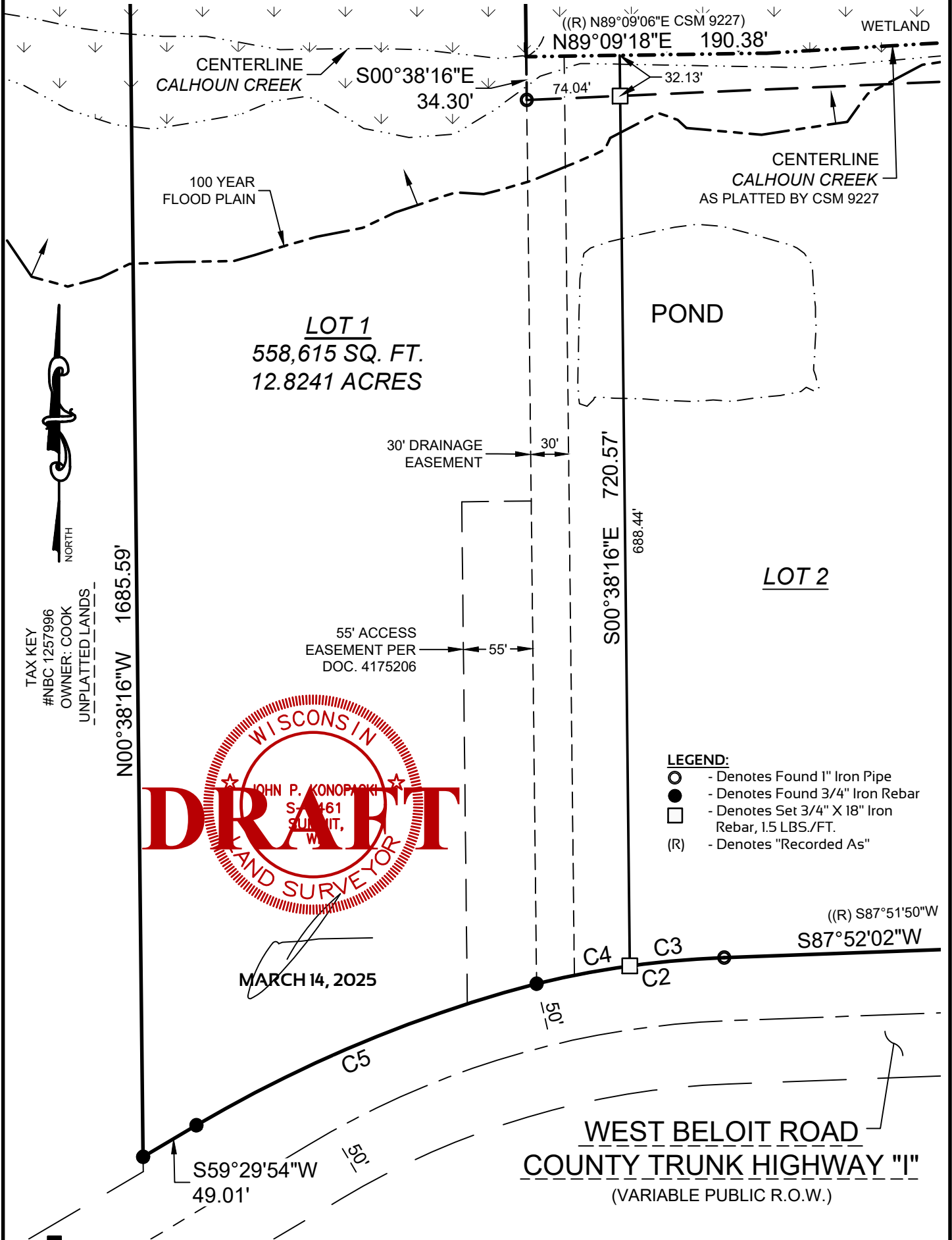
Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
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This instrument drafted by John P. Konopacki, PLS-License No. S-2461

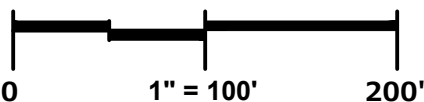
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**SHEET 2 OF 8**

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin



GRAPHICAL SCALE (FEET)



Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

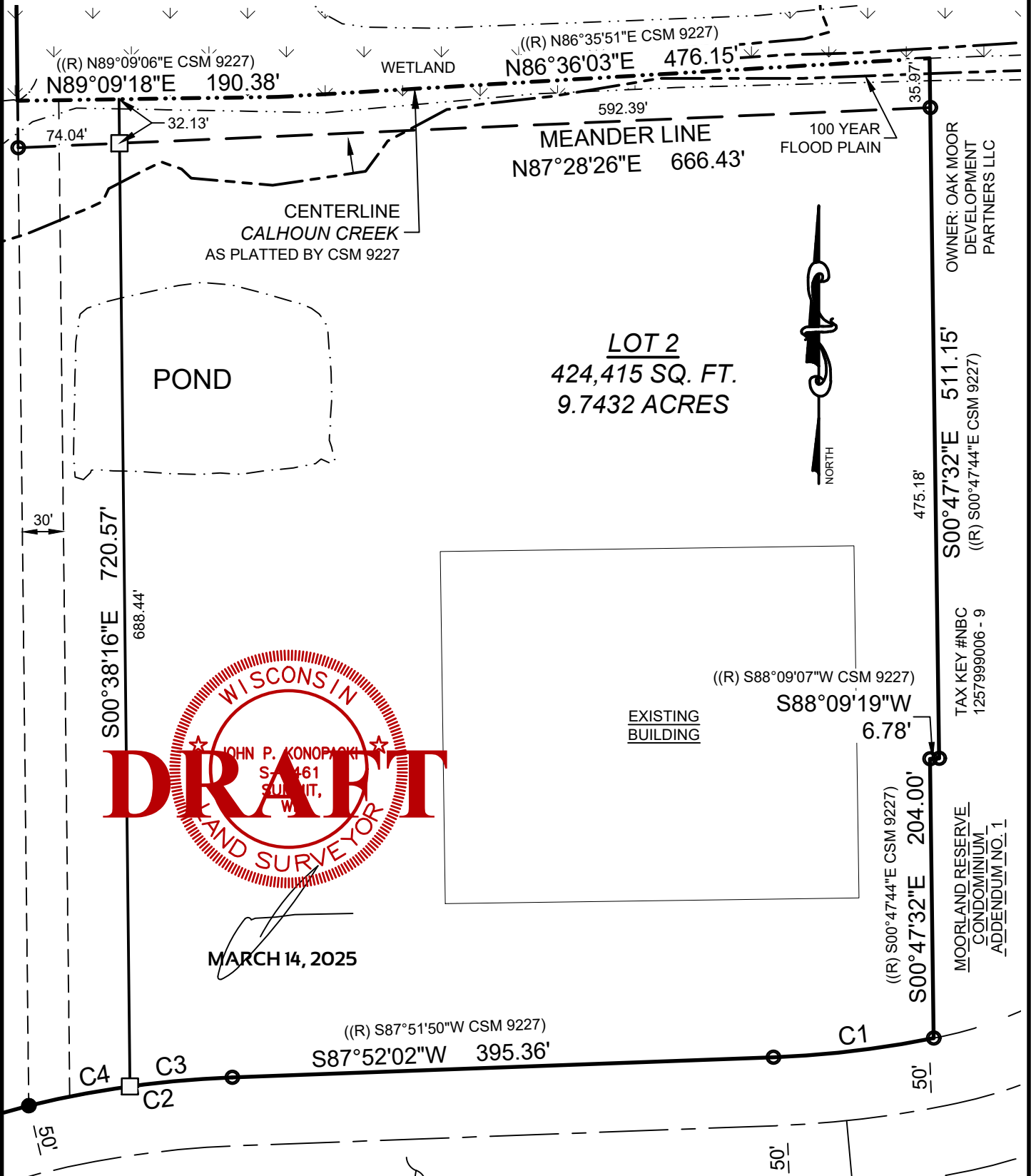
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2557.00

SHEET 3 OF 8

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin



DRAFT

WISCONSIN  
 JOHN P. KONOPACKI  
 S-2461  
 SURVEYOR  
 LAND SURVEYOR

MARCH 14, 2025

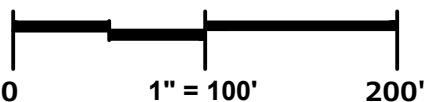
**WEST BELOIT ROAD**  
**COUNTY TRUNK HIGHWAY "I"**

**SOUTH TOWNE DRIVE**

**LEGEND:**

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rebar
- - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- (R) - Denotes "Recorded As"

**GRAPHICAL SCALE (FEET)**



Prepared By:  
**PINNACLE ENGINEERING GROUP**  
 20725 WATERTOWN ROAD | SUITE 100  
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 OFFICE: (262) 754-8888

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PEG JOB#2557.00  
**SHEET 4 OF 8**

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Northeast 1/4 of said Section 27; thence North 88°09'00" East along the north line of said Northeast 1/4, 350.71 feet to the Point of Beginning;

Thence continuing North 88°09'00" East along said north line, 313.11 feet to the west line of Certified Survey Map No. 10890;  
Thence South 00°38'16" East along said west line, 825.19 to the north line of Parcel 1 of Certified Survey Map No. 9227 and the platted centerline of Calhoun Creek;  
Thence North 89°09'18" East along said centerline, 190.38 feet;  
Thence North 86°36'03" East along said centerline, 476.15 feet to the east line of said Parcel 1;  
Thence South 00°47'32" East along said east line, 511.15 feet;  
Thence South 88°09'19" West along said east line, 6.78 feet;  
Thence South 00°47'32" East along said east line, 204.00 feet to the north right of way line of West Beloit Road - County Trunk Highway "I";  
Thence southwesterly 117.95 feet along said north right of way line and the arc of said curve to the left, whose radius is 727.50 feet and whose chord bears South 83°13'21" West, 117.82 feet;  
Thence South 87°52'02" West along said north right of way line, 395.36 feet to a point of curvature;  
Thence southwesterly 150.21 feet along said north right of way line and the arc of said curve to the left, whose radius is 745.00 feet and whose chord bears South 82°05'28" West, 149.95 feet to a point of compound curve;  
Thence southwesterly 292.62 feet along said north right of way line and the arc of said compound curve to the left, whose radius is 1060.00 feet and whose chord bears South 67°24'25" West, 291.69 feet;  
Thence South 59°29'54" West along said north right of way line, 49.01 feet;  
Thence North 00°38'16" West, 1685.59 feet to the Point of Beginning.

Containing 983,030 square feet (22.5673 acres) of land Gross, more or less.

That I have made such survey, land division and map by the direction of DIL PARTNERS LLC and NBB PARTNERS LLC, owners of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the City of New Berlin Land Division Ordinance in surveying, mapping and dividing the land within the certified survey map.

Date: MARCH 13, 2025



  
\_\_\_\_\_  
John P. Konopacki  
Professional Land Surveyor S-2461

CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT	TANGENT
C1	117.95'	727.50'	009°17'23"	S83°13'21"W	((R) S83°13'09.5"W) 117.82'	S87°52'02"W	S78°34'39"W
C2	150.21'	745.00'	011°33'08"	S82°05'28"W	((R) S82°05'16.5"W) 149.95'	S87°52'02"W	S76°18'54"W
C3	75.00'	745.00'	005°46'05"	S84°59'00"W	74.97'	S87°52'02"W	S82°05'57"W
C4	75.21'	745.00'	005°47'03"	S79°12'26"W	75.18'	S82°05'57"W	S76°18'54"W
C5	292.62'	1060.00'	015°49'01"	S67°24'25"W	291.69'	S75°18'55"W	S59°29'54"W

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2557.00  
SHEET 5 OF 8

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin

## OWNER'S CERTIFICATE

DIL PARTNERS LLC and NBB PARTNERS LLC, Limited Liability Companies duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owners, do hereby certify that said limited liability companies caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this certified survey map.

DIL PARTNERS LLC and NBB PARTNERS LLC, as owners, do further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

- 1. City of New Berlin

IN WITNESS WHEREOF, the said **DIL PARTNERS LLC** has caused these presents to be signed by (name - print)

\_\_\_\_\_, (title) \_\_\_\_\_, at (city) \_\_\_\_\_,  
\_\_\_\_\_ County, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

In the presence of: **DIL PARTNERS LLC**

\_\_\_\_\_  
Name (signature) - Title

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY ) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, (name) \_\_\_\_\_,  
(title) \_\_\_\_\_, of the above **DIL PARTNERS LLC**, to me known to be the person who executed the foregoing instrument, and to me known to be such \_\_\_\_\_ (title) of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

\_\_\_\_\_  
Notary Public  
Name: \_\_\_\_\_  
State of Wisconsin  
My Commission Expires: \_\_\_\_\_

IN WITNESS WHEREOF, the said **NBB PARTNERS LLC** has caused these presents to be signed by (name - print)

\_\_\_\_\_, (title) \_\_\_\_\_, at (city) \_\_\_\_\_,  
\_\_\_\_\_ County, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

In the presence of: **NBB PARTNERS LLC**

\_\_\_\_\_  
Name (signature) - Title

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY ) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, (name) \_\_\_\_\_,  
(title) \_\_\_\_\_, of the above **NBB PARTNERS LLC**, to me known to be the person who executed the foregoing instrument, and to me known to be such \_\_\_\_\_ (title) of said limited liability company, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

\_\_\_\_\_  
Notary Public  
Name: \_\_\_\_\_  
State of Wisconsin  
My Commission Expires: \_\_\_\_\_



*[Handwritten Signature]*  
MARCH 14, 2025

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2557.00  
SHEET 6 OF 8

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin

## CONSENT OF CORPORATE MORTGAGEE - DIL PARTNERS LLC

\_\_\_\_\_, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said \_\_\_\_\_, has caused these presents to be signed by \_\_\_\_\_, its \_\_\_\_\_, and its corporate seal to be hereunto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name - Title

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, \_\_\_\_\_, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

\_\_\_\_\_  
Notary Public  
Name: \_\_\_\_\_  
State of Wisconsin  
My Commission Expires: \_\_\_\_\_

## CONSENT OF CORPORATE MORTGAGEE - NBB PARTNERS LLC

\_\_\_\_\_, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said \_\_\_\_\_, has caused these presents to be signed by \_\_\_\_\_, its \_\_\_\_\_, and its corporate seal to be hereunto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name - Title

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025, \_\_\_\_\_, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

\_\_\_\_\_  
Notary Public  
Name: \_\_\_\_\_  
State of Wisconsin  
My Commission Expires: \_\_\_\_\_



*[Signature]*  
MARCH 14, 2025

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2557.00  
SHEET 7 OF 8

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Parcel 1 of Certified Survey Map No. 9227 and additional lands in the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 27, Township 6 North, Range 20 East, City of New Berlin, Waukesha County, Wisconsin

## PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of New Berlin on this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Date

\_\_\_\_\_  
David Ament, Chairman

\_\_\_\_\_  
Date

\_\_\_\_\_  
Nikki Jones, Secretary

## COMMON COUNCIL APPROVAL

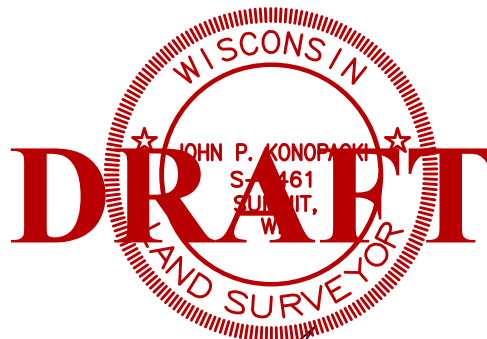
Approved by the Common Council of the City of New Berlin, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Date

\_\_\_\_\_  
David Ament, Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Rubina R. Medina, City Clerk



\_\_\_\_\_  
MARCH 14, 2025

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
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OFFICE: (262) 754-8888

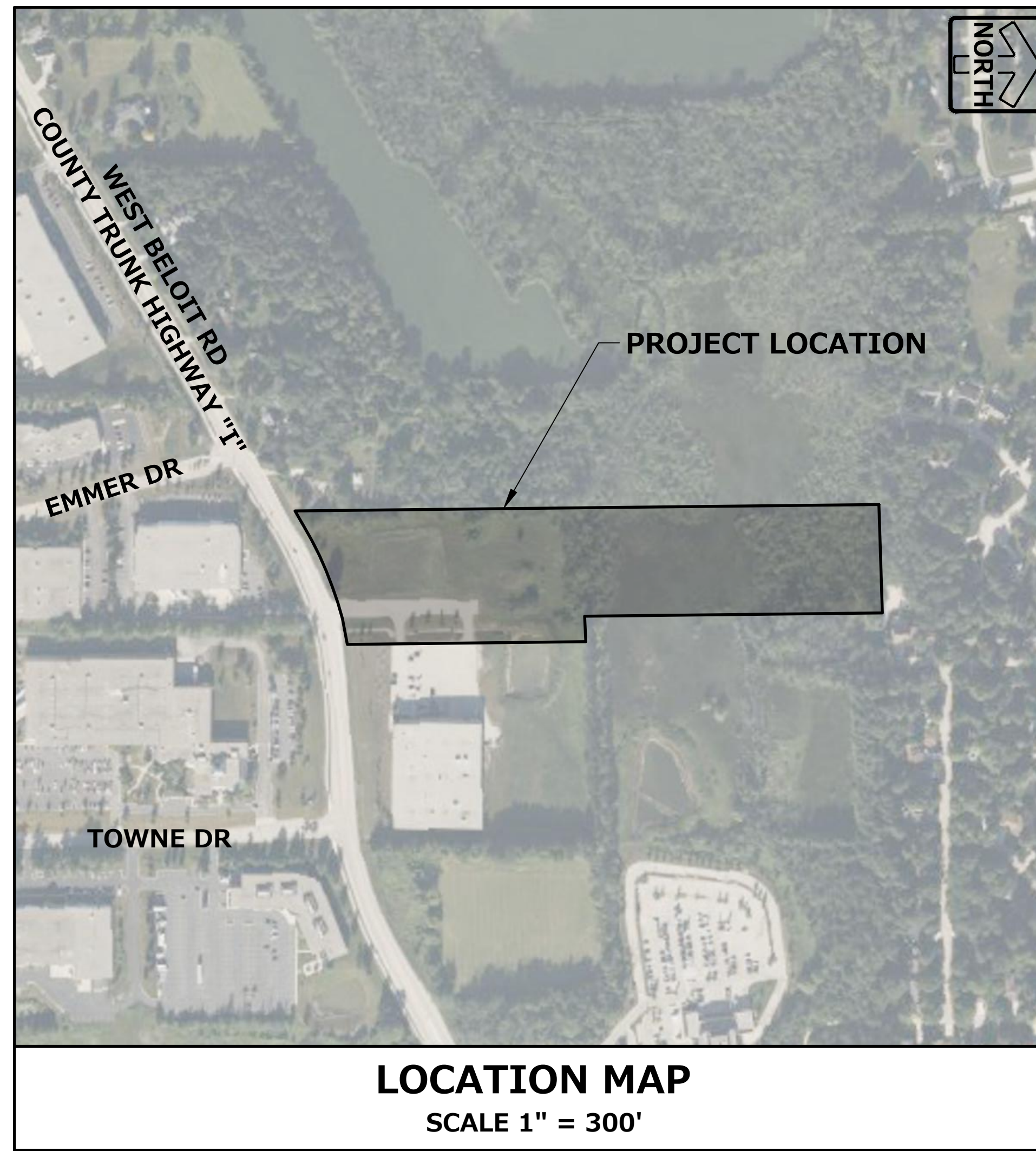
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PEG JOB#2557.00  
SHEET 8 OF 8

**EXHIBIT B**  
**DESCRIPTION OF PUBLIC IMPROVEMENTS**

# ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS FOR NEW BERLIN FABRICATION BUILDING

NEW BERLIN, WI  
PLANS PREPARED FOR  
LUTHER GROUP  
780 ELM GROVE ROAD, SUITE 120  
ELM GROVE, WISCONSIN 53122



LEGEND	
EXISTING	PROPOSED
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
CATCH BASIN	⊙
INLET	⊙
PRECAST FLARED END SECTION	⊙
CONCRETE HEADWALL	⊙
VALVE VAULT	⊙
VALVE BOX	⊙
FIRE HYDRANT	⊙
BUFFALO BOX	⊙
CLEANOUT	⊙
SANITARY SEWER	—
FORCE MAIN	—
STORM SEWER	—
WATER MAIN	—
UTILITY CROSSING	—
GRANULAR TRENCH BACKFILL	—
LIGHTING	—
ELECTRICAL CABLE	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—
POWER POLE	—
POWER POLE WITH LIGHT	—
GUY WIRE	—
STREET SIGN	—
GAS MAIN	—
TELEPHONE LINE	—
CONTOUR	—
SPOT ELEVATION	—
WETLANDS	—
FLOODWAY	—
FLOODPLAIN	—
HIGH WATER LEVEL (HWL)	—
NORMAL WATER LEVEL (NWL)	—
DIRECTION OF SURFACE FLOW	—
DITCH OR SWALE	—
DIVERSION SWALE	—
OVERFLOW RELIEF ROUTING	—
TREE WITH TRUNK SIZE	—
SOIL BORING	—
TOPSOIL PROBE	—
FENCE LINE, TEMPORARY SILT	—
FENCE LINE, WIRE	—
FENCE LINE, CHAIN LINK OR IRON	—
FENCE LINE, WOOD OR PLASTIC	—
CONCRETE SIDEWALK	—
CURB AND GUTTER	—
DEPRESSED CURB	—
REVERSE PITCH CURB & GUTTER	—
EASEMENT LINE	—
PROPERTY LINE	—

ABBREVIATIONS	
BL	BASE LINE
C	LONG CHORD OF CURVE
C & G	CURB AND GUTTER
CB	CATCH BASIN
CL	CENTERLINE
D	DEGREE OF CURVE
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
FP	FLOODPLAIN
FR	FRAME
FW	FLOODWAY
HWL	HIGH WATER LEVEL
INV	INVERT
L	LENGTH OF CURVE
MH	MANHOLE
NSI	NATIVE SOIL INTERFACE
NWL	NORMAL WATER LEVEL
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
ROW	RIGHT-OF-WAY
SAN	SANITARY SEWER
ST	STORM SEWER
T	TANGENCY OF CURVE
TB	TOP OF BANK
TC	TOP OF CURB
TF	TOP OF FOUNDATION
TS	TOP OF SIDEWALK
TW	TOP OF WALK
WM	WATER MAIN
Δ	INTERSECTION ANGLE

BENCHMARKS	
	<p><b>NOTE</b> NORTH AMERICAN VERTICAL DATUM OF 1988(12), (NAVD88)</p>
	<p><b>REFERENCE BENCHMARK</b> 1. CONCRETE MONUMENT WITH BRASS CAP AT NORTHEAST CORNER OF THE NE 1/4 S27, T6N, R20E, ELEV = 873.58</p>
	<p><b>SITE BENCHMARKS</b> 2. NW FLANGE BOLT ON HYDRANT, ELEV = 875.65</p>

GENERAL NOTES	
1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.	8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
2. A GEOTECHNICAL REPORT FOR THIS SITE HAS NOT BEEN PREPARED AT THIS TIME. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.	9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.	10. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.	11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.	12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.	13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.	14. THE CONTRACTOR SHALL INDEMNIFY THE CITY, CITY ENGINEER, CITY BUILDING INSPECTOR, OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
	15. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE CITY OFFICES. THE PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS & DEMOLITION PLAN
C-4	SITE DIMENSIONAL & PAVING PLAN
C-5	GRADING PLAN
C-6	EROSION CONTROL PLAN
C-7	UTILITY PLAN
C-8	PUBLIC UTILITY PLAN & PROFILE
C-9 - C-11	CONSTRUCTION DETAILS
L-2	LANDSCAPE OVERVIEW & TREE PLAN
L-3	LANDSCAPE ENLARGEMENT
L-5	LANDSCAPE GENERAL NOTES & DETAILS

REQUIRED SUBMITTALS FOR APPROVAL	
1.	ASPHALT PAVEMENTS
2.	CONCRETE PAVEMENTS (EXTERIOR)
3.	STONE BASE COURSE
4.	TRENCH BACKFILL
5.	PIPE BEDDING
6.	TIE BARS
7.	DOWEL BARS
8.	DOWEL BAR BASKETS

REQUIRED SUBMITTALS FOR RECORDS	
1.	WATER MAIN PIPE FITTINGS
2.	SANITARY SEWER
3.	STORM SEWER
4.	SUBGRADE STABILIZATION (IF APPLICABLE)

PROJECT TEAM CONTACTS	
<p><b>CIVIL ENGINEER:</b> TODD MUELLER, P.E., PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 Todd.Mueller@pinnacle-engr.com</p>	<p><b>ARCHITECT:</b> CHRIS JOHNS, AIA EPPSTEIN UHEN ARCHITECTS 333 EAST CHICAGO STREET MILWAUKEE, WI 53202 (414) 271-5350 chris@eua.com</p>
<p><b>SURVEYOR:</b> JOHN KONOPACKI, P.L.S., PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 John.Konopacki@pinnacle-engr.com</p>	<p><b>APPLICANT:</b> DAVE HERRICK LUTHER GROUP 780 ELM GROVE ROAD ELM GROVE, WI 53122 (414)-315-8767 dherrick@luthergrp.com</p>

**DIGGERS HOTLINE**

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Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2026

**PINNACLE ENGINEERING GROUP, LLC  
ENGINEER'S LIMITATION**

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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**NEW BERLIN FABRICATION BUILDING**  
16230 BELOIT ROAD  
NEW BERLIN, WI

**COVER SHEET**

REVISIONS	
1. CITY COMMENTS	05/09/25

REG. JOB NO. 2557-00-WI	TITLE	SHEET
START DATE: 03/20/25	DATE	C-1
SCALE	NTS	OF
		C-11

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COVER SHEET



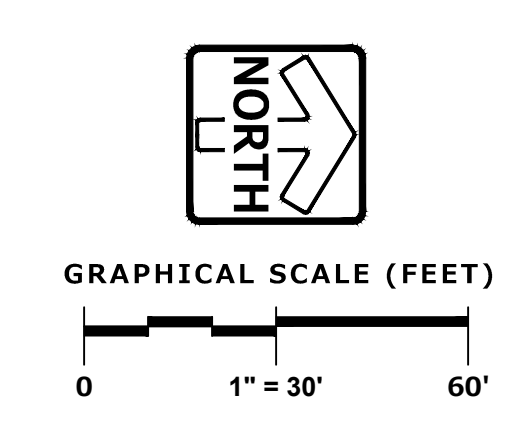
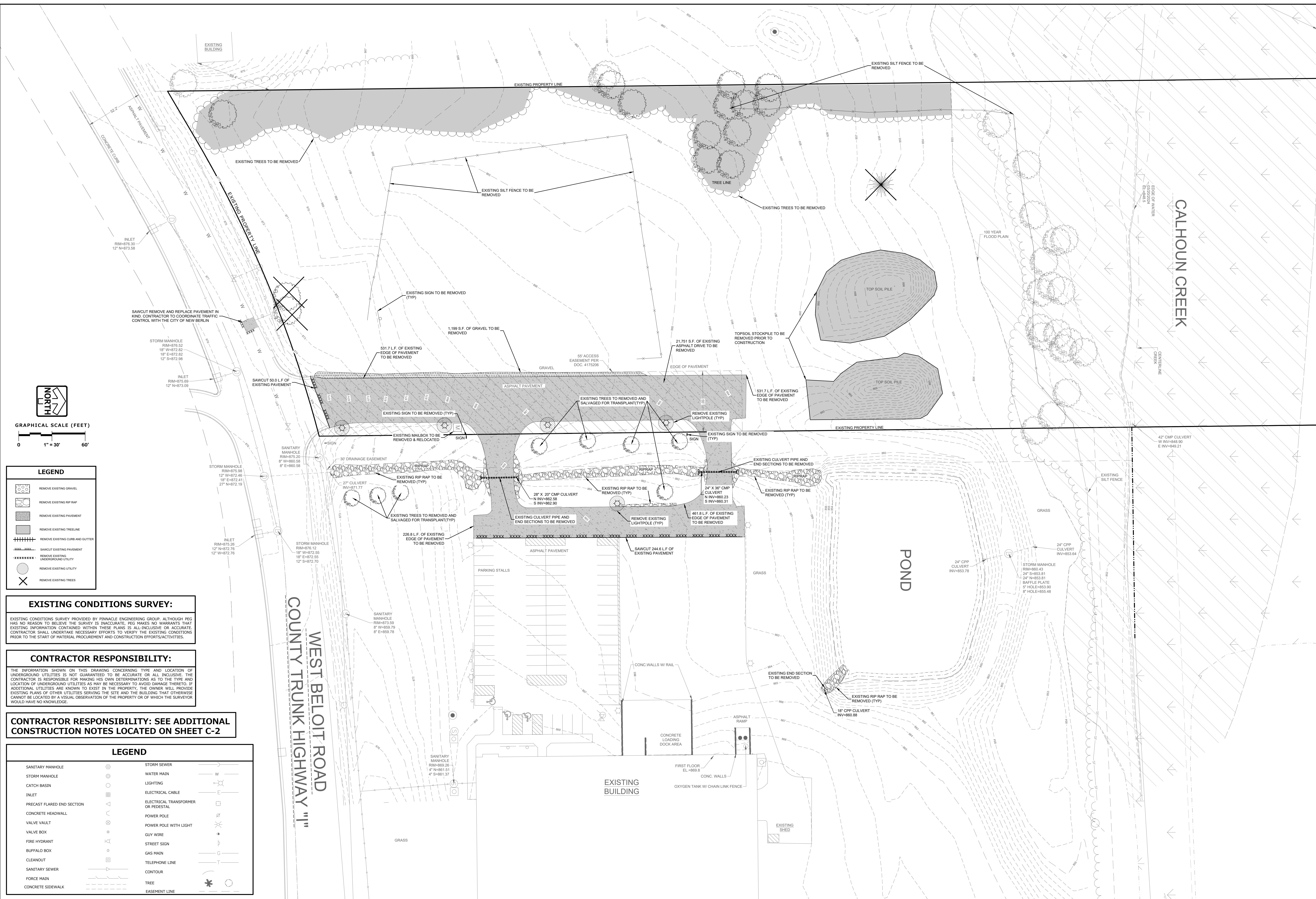
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DRAWN: DWT  
DESIGNED: AEM  
REVIEWED: TOM

Z:\PROJECTS\2021\2557-00-WI\CAD\2557.00 EXISTING CONDITIONS & DEMOLITION PLAN.DWG

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EXISTING CONDITIONS & DEMOLITION PLAN



**LEGEND**

- REMOVE EXISTING GRAVEL
- REMOVE EXISTING RIP RAP
- REMOVE EXISTING PAVEMENT
- REMOVE EXISTING TREE LINE
- REMOVE EXISTING CURB AND GUTTER
- SAWCUT EXISTING PAVEMENT
- REMOVE EXISTING UNDERGROUND UTILITY
- REMOVE EXISTING UTILITY
- REMOVE EXISTING TREES

**EXISTING CONDITIONS SURVEY:**  
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

**CONTRACTOR RESPONSIBILITY:**  
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**LEGEND**

SANITARY MANHOLE	STORM SEWER	WATER MAIN	W
STORM MANHOLE	WATER MAIN	LIGHTING	L
CATCH BASIN	ELECTRICAL CABLE	ELECTRICAL TRANSFORMER OR PEDESTAL	E
INLET	POWER POLE	POWER POLE WITH LIGHT	P
PRECAST FLARED END SECTION	GUY WIRE	STREET SIGN	S
CONCRETE HEADWALL	FIRE HYDRANT	GAS MAIN	G
VALVE VAULT	BUFFALO BOX	TELEPHONE LINE	T
VALVE BOX	CLEANOUT	SANITARY SEWER	SS
FORCE MAIN	SANITARY SEWER	FORCE MAIN	FM
CONCRETE SIDEWALK	CONTOUR	TREE	T
	EASEMENT LINE	EASEMENT LINE	*

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CHICAGO | MILWAUKEE | RATIONSHIRE

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16230 BELOIT ROAD  
NEW BERLIN, WI

**EXISTING CONDITIONS & DEMOLITION PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	05/09/23

REG. JOB NO. 2557-00-WI  
SHEET C-3 of C-11  
START DATE: 03/20/23  
SCALE: 1" = 30'

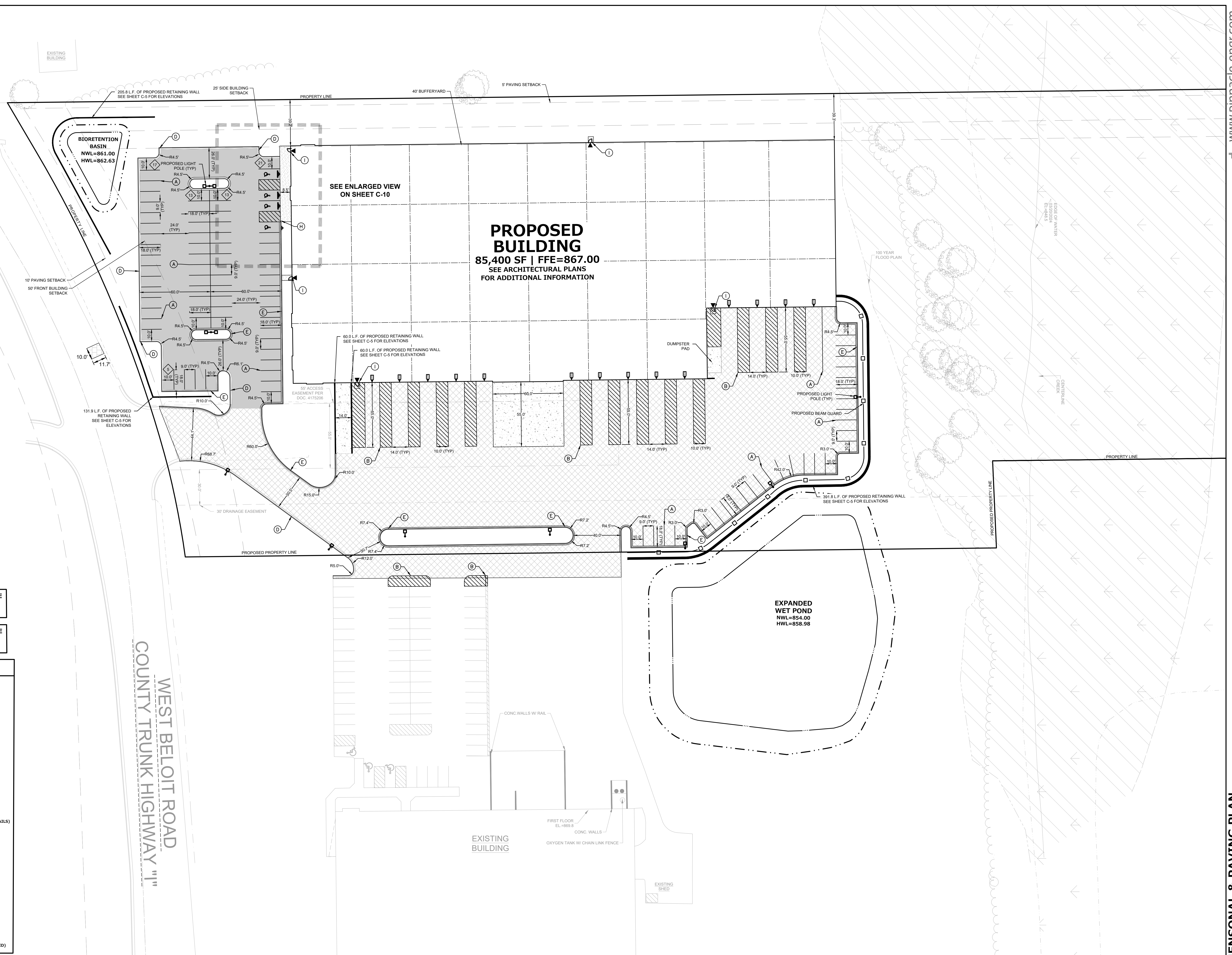
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DESIGNED: AEM  
DRAWN: DML  
REVIEWED: TOM

Z:\PROJECTS\2021\2557.00-W\CAD\2557.00 SITE DIMENSIONAL & PAVING PLAN.DWG

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SITE DIMENSIONAL & PAVING PLAN



**PROPOSED BUILDING**  
 85,400 SF | FFE=867.00  
 SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

SEE ENLARGED VIEW ON SHEET C-10

**SITE DATA**

SITE AREA:	11.58 AC (504,860 S.F.)
DISTURBANCE LIMITS:	1.59 AC (69,412 S.F.)
PARKING STALLS:	100 STALLS (4 ADA)
BUILDING AREA:	1.96 AC (85,400 S.F.)
GRASS AREA:	8.51 AC (370,173 S.F.)
TOTAL IMPERVIOUS AREA:	3.07 AC (134,147 S.F.)
GREEN SPACE (%)	73.3%

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

ALL RETAINING WALLS EXCEEDING 4' IN HEIGHT ARE REQUIRED TO BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER

ALL RETAINING WALLS EXCEEDING 7' IN HEIGHT ARE REQUIRED TO HAVE A PROFESSIONAL STRUCTURAL ENGINEER ON-SITE OVERSEEING INSTALLATION

**LEGEND**

	<b>LIGHT DUTY ASPHALT PAVING</b> - 9" - 1" CRUSHED AGGREGATE BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OR WISDOT STANDARD SPECIFICATIONS, SECTION 301 AND 305. - 4" HMA PAVEMENT (2 LIFTS) - 2" BINDER COURSE - 4 LT SR-28.5 - 2" SURFACE COURSE - 5 LT SR-28.5
	<b>HEAVY DUTY ASPHALT PAVING</b> - 12" - 1" CRUSHED AGGREGATE BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OR WISDOT STANDARD SPECIFICATIONS, SECTION 301 AND 305. - 4" HMA PAVEMENT (2 LIFTS) - 2" BINDER COURSE - 4 LT SR-28.5 - 2" SURFACE COURSE - 5 LT SR-28.5
	<b>CONCRETE BUILDING SIDEWALK</b> - 4" CRUSHED AGGREGATE BASE COURSE (1" DENSE GRADED Limestone) - 5" PCC
	<b>HEAVY DUTY CONCRETE PAVING</b> - 4" CRUSHED AGGREGATE BASE COURSE (1 1/4" DENSE GRADED Limestone) - 6" AVERAGE THICKNESS PCC (4000 PSI)
	<b>PAVEMENT IN PUBLIC R.O.W.</b> - MATCH CITY OF NEW BERLIN SPECIFICATIONS
	<b>4" SOLID STRIPE (REFER TO C-10 FOR DETAILS)</b>
	<b>4" DIAGONAL AT 45° SPACED 2' O.C. (REFER TO C-10 FOR DETAILS)</b>
	<b>30" CURB &amp; GUTTER (REFER TO C-9 FOR DETAILS)</b>
	<b>18" CURB &amp; GUTTER (REFER TO C-10 FOR DETAILS)</b>
	<b>18" REVERSE CURB &amp; GUTTER (REFER TO C-10 FOR DETAILS)</b>
	<b>ADA STALL INSIGNIA (REFER TO C-10 FOR DETAILS)</b>
	<b>TAPER CURB HEAD (REFER TO C-9 FOR DETAILS)</b>
	<b>INTEGRAL CURB AND GUTTER REFER TO C-10 FOR DETAILS)</b>
	<b>BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)</b>
	<b>ADA PARKING STALL SIGNAGE WITH BOLLARD</b>
	<b>DRIVE IN DOOR</b>
	<b>MAN DOOR</b>
	<b>PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)</b>

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**NEW BERLIN FABRICATION BUILDING**  
 16230 BELOIT ROAD  
 NEW BERLIN, WI

**SITE DIMENSIONAL & PAVING PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	05/09/23

REG. JOB NO. 2557.00-WI  
 REG. NO. 2557.00-WI  
 REG. EX. 2557.00-WI  
 REG. EX. 2557.00-WI

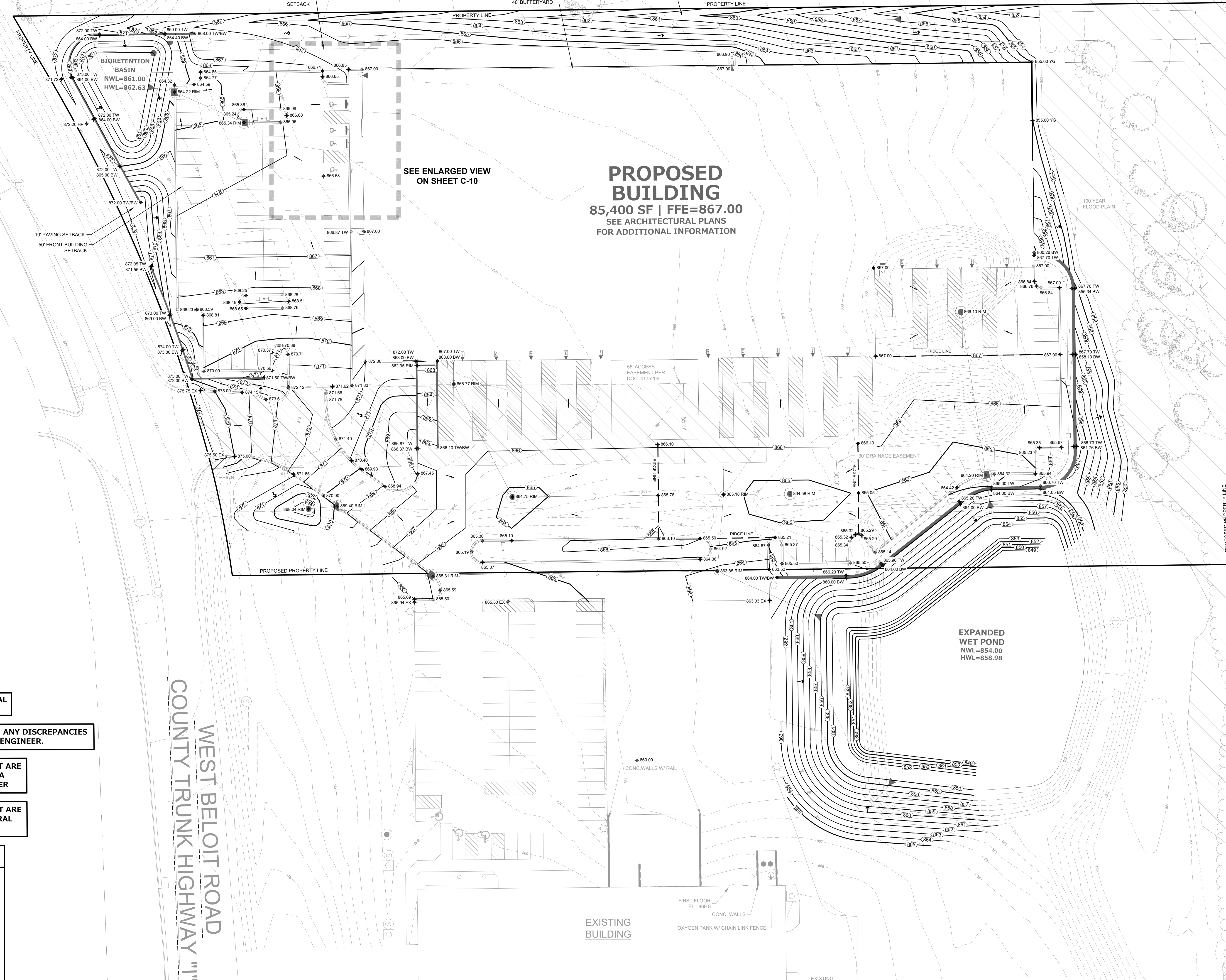
DATE: 03/20/23  
 SCALE: 1" = 30'

SHEET C-4 of C-11

**PINNACLE ENGINEERING GROUP**  
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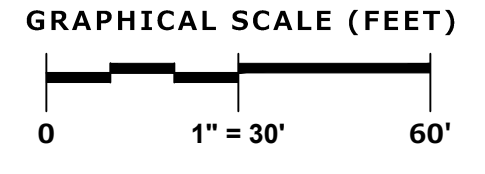
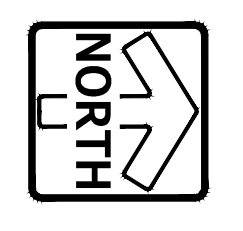


**PROPOSED BUILDING**  
85,400 SF | FFE=867.00  
SEE ARCHITECTURAL PLANS  
FOR ADDITIONAL INFORMATION

SEE ENLARGED VIEW  
ON SHEET C-10

**EXPANDED WET POND**  
NWL=854.00  
HWL=858.98

**BIORETENTION BASIN**  
NWL=851.00  
HWL=852.63



**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**ALL GRADING SHALL MEET ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.**

**ALL RETAINING WALLS EXCEEDING 4' IN HEIGHT ARE REQUIRED TO BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER**

**ALL RETAINING WALLS EXCEEDING 7' IN HEIGHT ARE REQUIRED TO HAVE A PROFESSIONAL STRUCTURAL ENGINEER ON-SITE OVERSEEING INSTALLATION**

**LEGEND**

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM CATCH BASIN (ROUND CASTING)
- STORM CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- ◆ PROPOSED SPOT ELEVATION
- WETLANDS
- FLOODPLAIN
- HIGH WATER LEVEL (HWL)
- DIRECTION OF SURFACE FLOW
- NORMAL WATER LEVEL (NWL)
- DITCH OR SWALE
- DIVERSION SWALE

COUNTY TRUNK HIGHWAY "H"  
WEST BELOIT ROAD

EXISTING BUILDING

FIRST FLOOR  
EL. +860.0  
CONC. WALLS  
OXYGEN TANK W/ CHAIN LINK FENCE

EXISTING SHED

**NEW BERLIN FABRICATION BUILDING**  
16230 BELOIT ROAD  
NEW BERLIN, WI

**GRADING PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	05/09/23

REG. JOB NO. 2557.00-WI  
TOM  
START DATE 03/20/23  
SCALE 1" = 30'

SHEET  
C-5  
of  
C-11

GRADING PLAN

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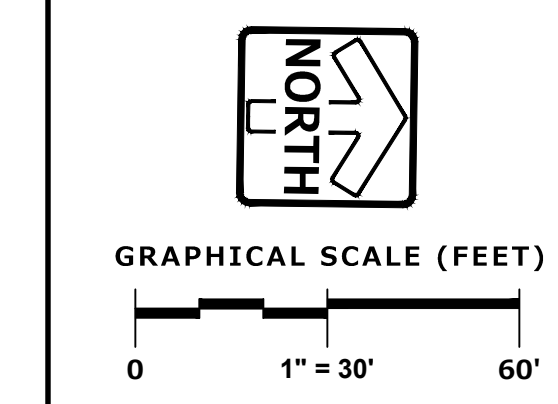
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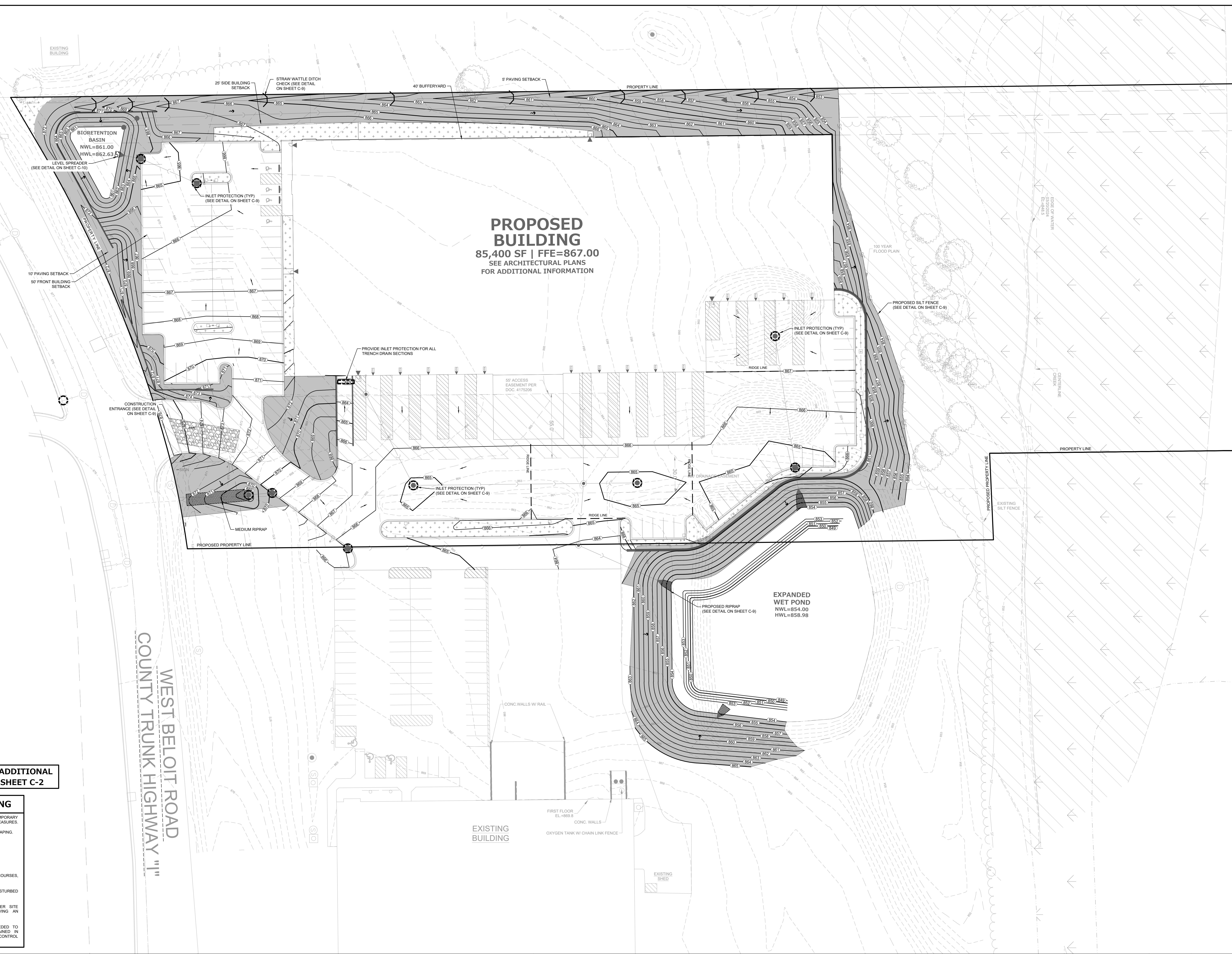


**LEGEND**

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM CATCH BASIN (ROUND CASTING)
- STORM CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- WETLANDS FLOODPLAIN
- HIGH WATER LEVEL (HWL)
- DIRECTION OF SURFACE FLOW
- NORMAL WATER LEVEL (NWL)
- DITCH OR SWALE
- DIVERSION SWALE
- SILT FENCE
- TYPE D INLET PROTECTION
- STRAW WATTLE DITCH CHECK
- LEVEL SPREADER
- CONSTRUCTION ENTRANCE
- HYDROSEED
- EROSION CONTROL BLANKET

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

- CONSTRUCTION SITE SEQCING**
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES.
  2. DEMOLITION AND REMOVALS OF BUILDING(S), PAVEMENTS, AND LANDSCAPING.
  3. CONDUCT ROUGH GRADING EFFORTS.
  4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
  5. INSTALL UTILITY PIPING & STRUCTURES.
  6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  7. INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL.
  8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



**PROPOSED BUILDING**  
85,400 SF | FFE=867.00  
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

**EXPANDED WET POND**  
NWL=854.00  
HWL=858.98

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**NEW BERLIN FABRICATION BUILDING**  
16230 BELOIT ROAD  
NEW BERLIN, WI

**EROSION CONTROL PLAN**

REVISIONS	
1	CITY COMMENTS 05/09/23

REG. JOB NO. 2557.00-WT	TJM
REG. NO.	START DATE 03/20/23
SCALE 1" = 30'	

SHEET **C-6** of **C-11**

EROSION CONTROL PLAN

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# PROPOSED BUILDING

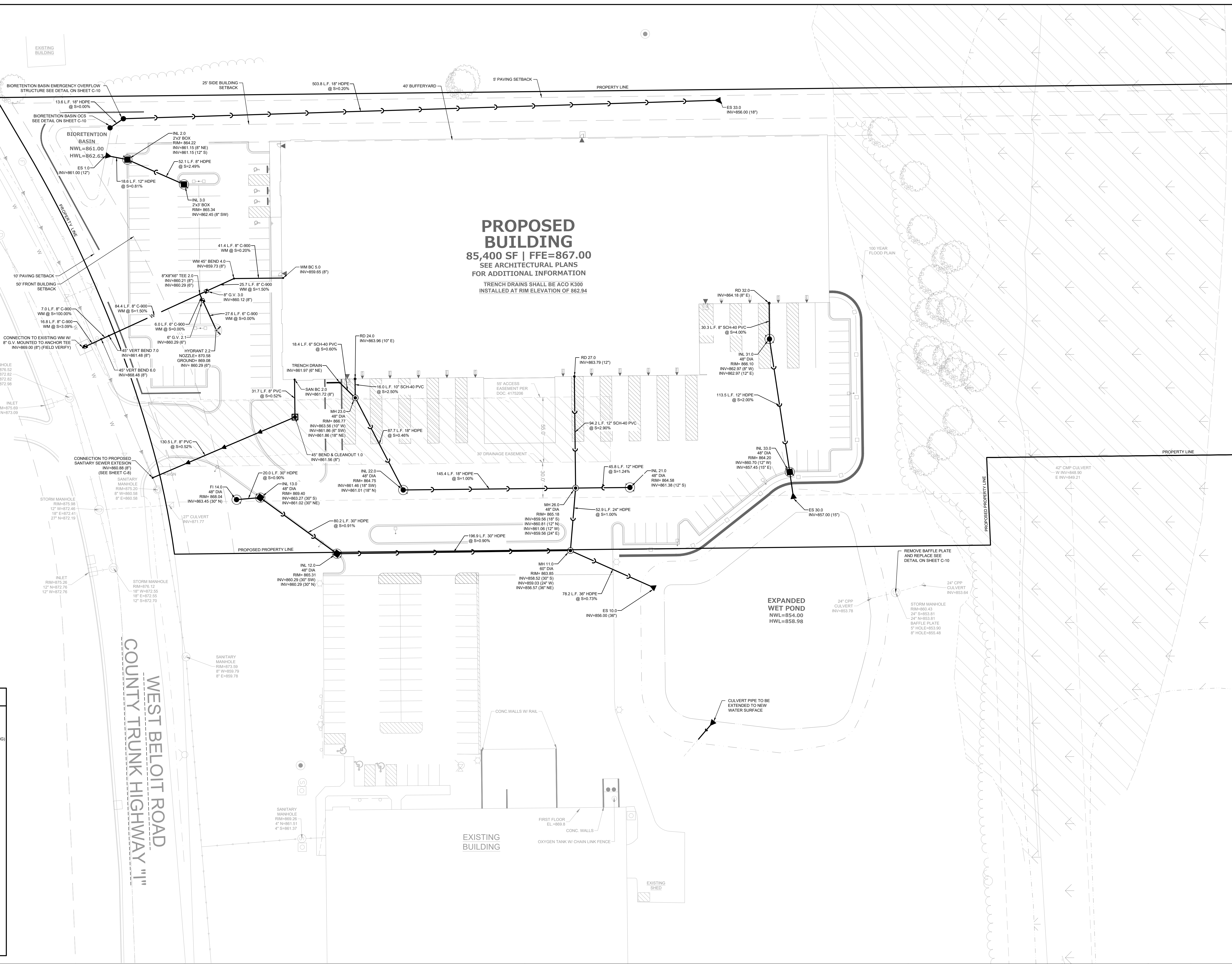
85,400 SF | FFE=867.00  
SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION  
TRENCH DRAINS SHALL BE ACO K300  
INSTALLED AT RIM ELEVATION OF 862.94

**GRAPHICAL SCALE (FEET)**  
0 1" = 30' 60'

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET ###**

**LEGEND**

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- WATER MAIN
- FP
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE
- POWER POLE WITH LIGHTS
- STREET SIGN



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## NEW BERLIN FABRICATION BUILDING

16230 BELOIT ROAD  
NEW BERLIN, WI

## UTILITY PLAN

REVISIONS	
NO.	DESCRIPTION
1	CITY COMMENTS 05/09/23

REG. JOB NO. 2557.00-WT  
TGM  
SCALE 1" = 30'  
START DATE 03/20/23  
SHEET C-7 of C-11

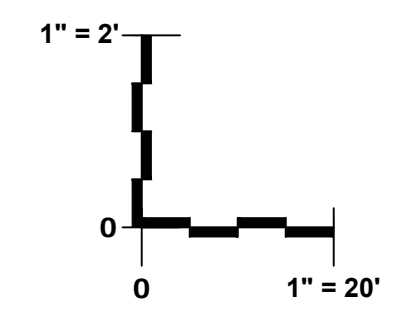
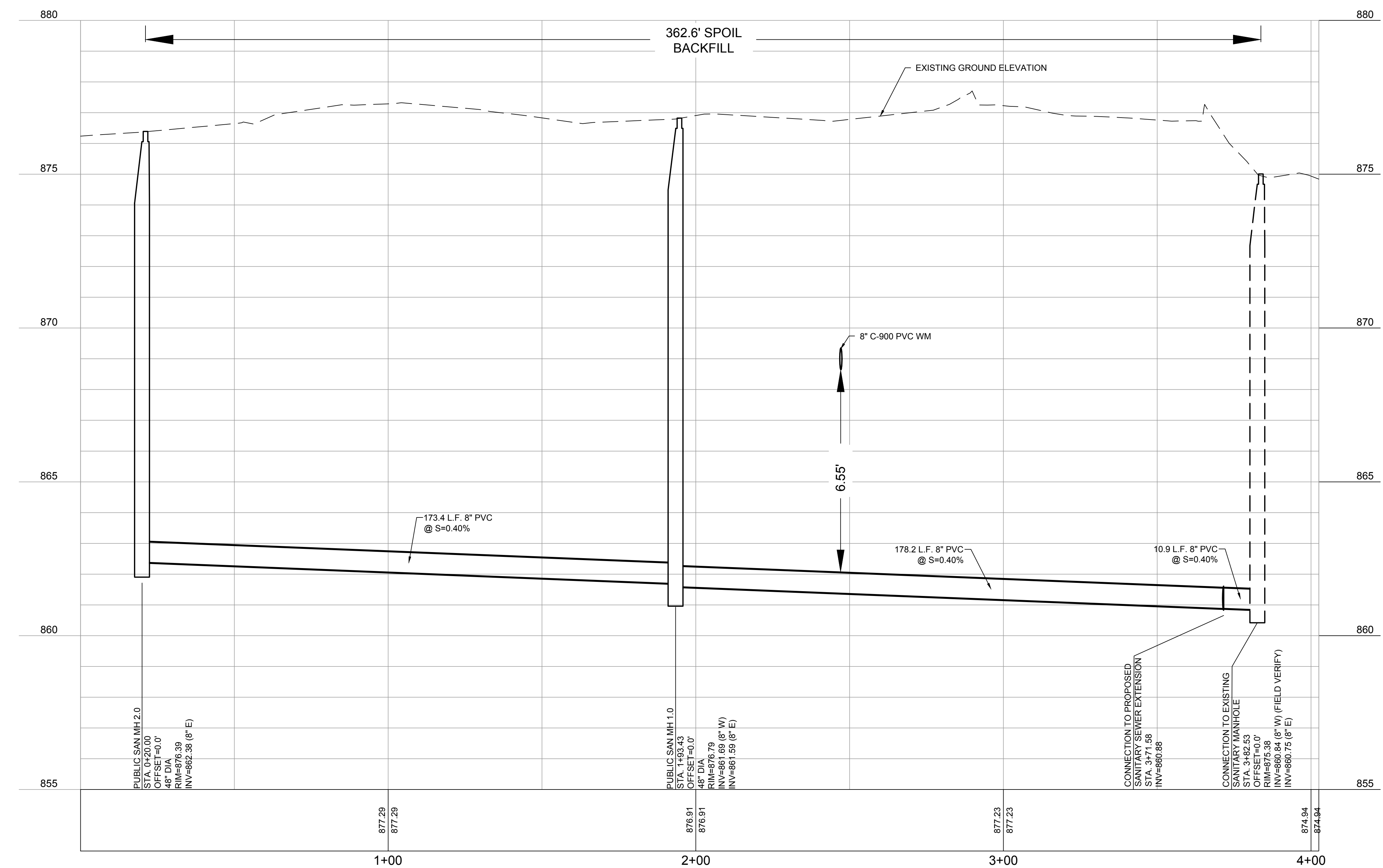
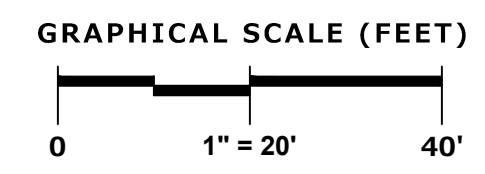
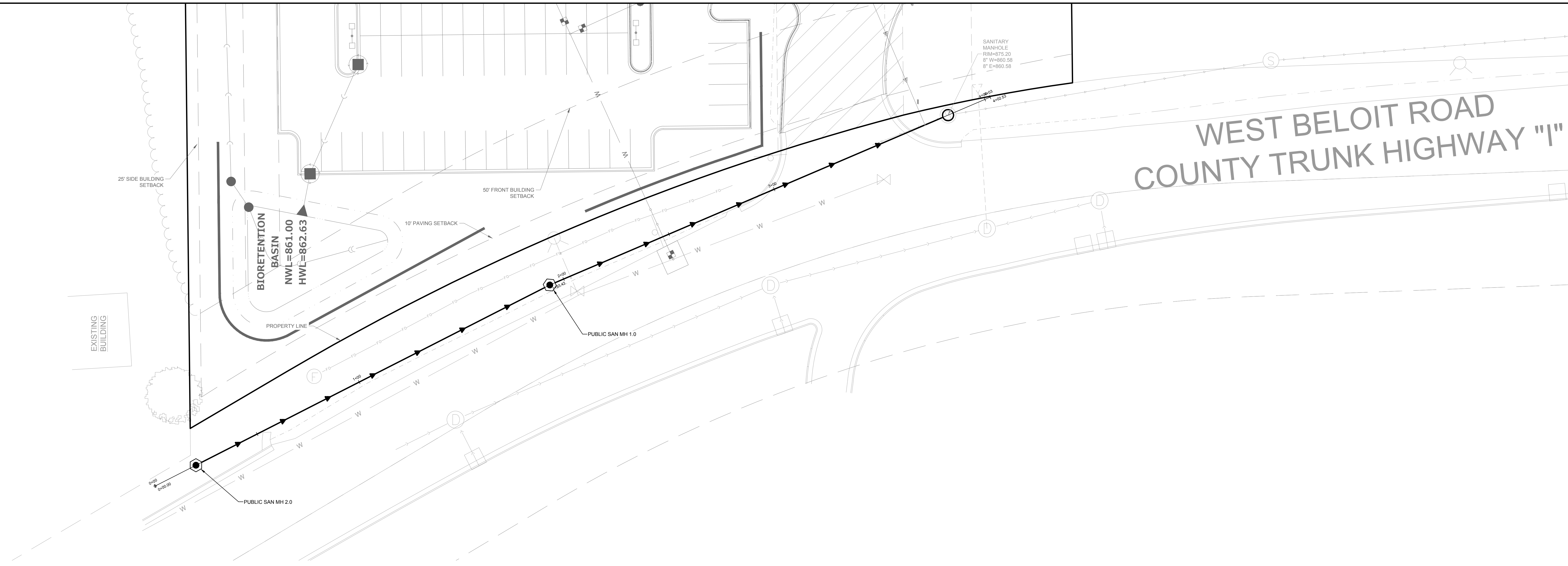
UTILITY PLAN

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DRAFTED: DJL  
DESIGNED: AJH  
REVIEWED: TOM

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PUBLIC UTILITY PLAN & PROFILE



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NEW BERLIN, WI

**PUBLIC UTILITY PLAN & PROFILE**

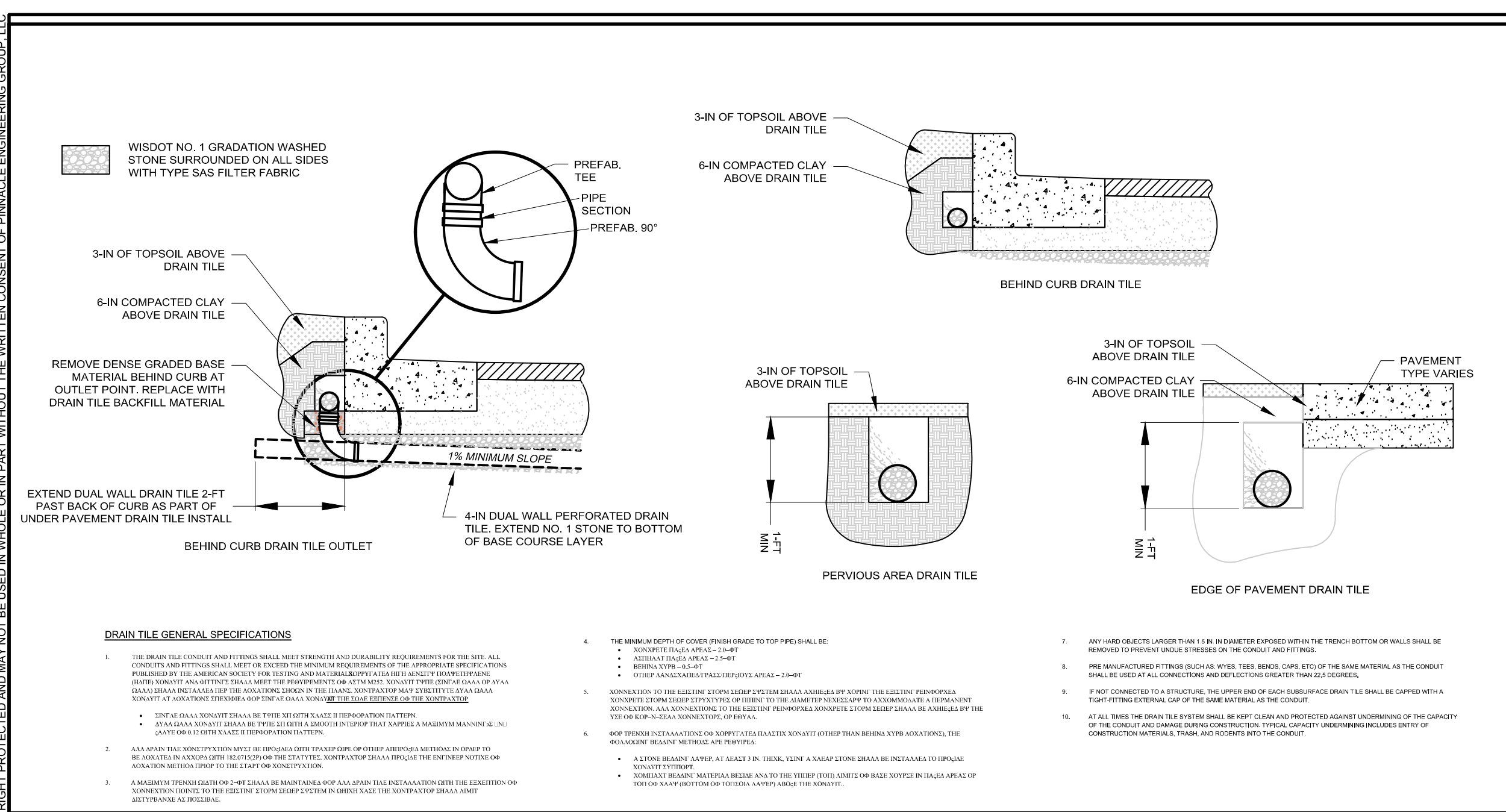
REVISIONS	
1. CITY COMMENTS	05/09/23

REG. JOB NO. 2557.00-WI  
REG. NO. 2557.00-WI  
TGM  
START DATE 03/20/23  
SCALE 1" = 20'

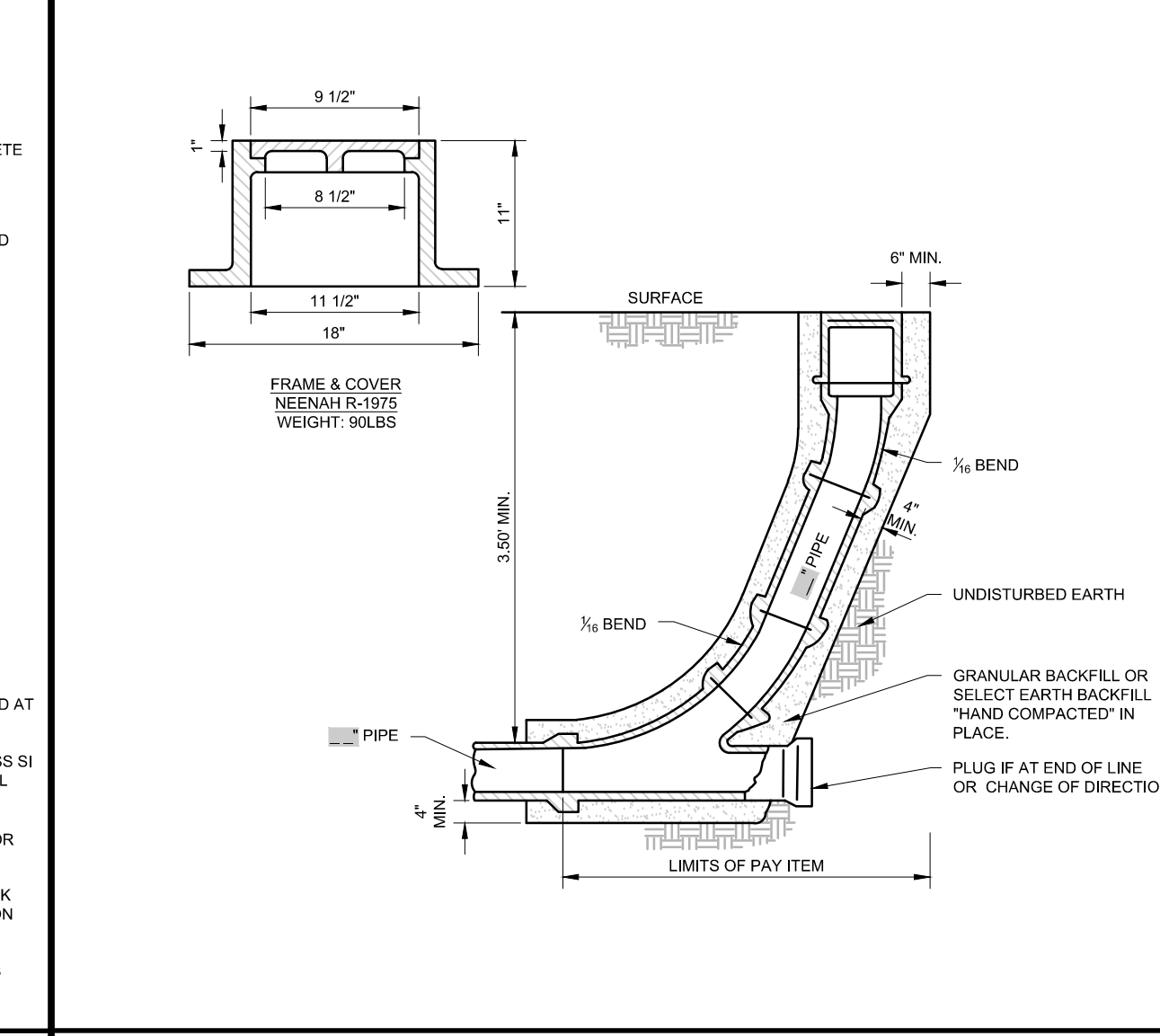
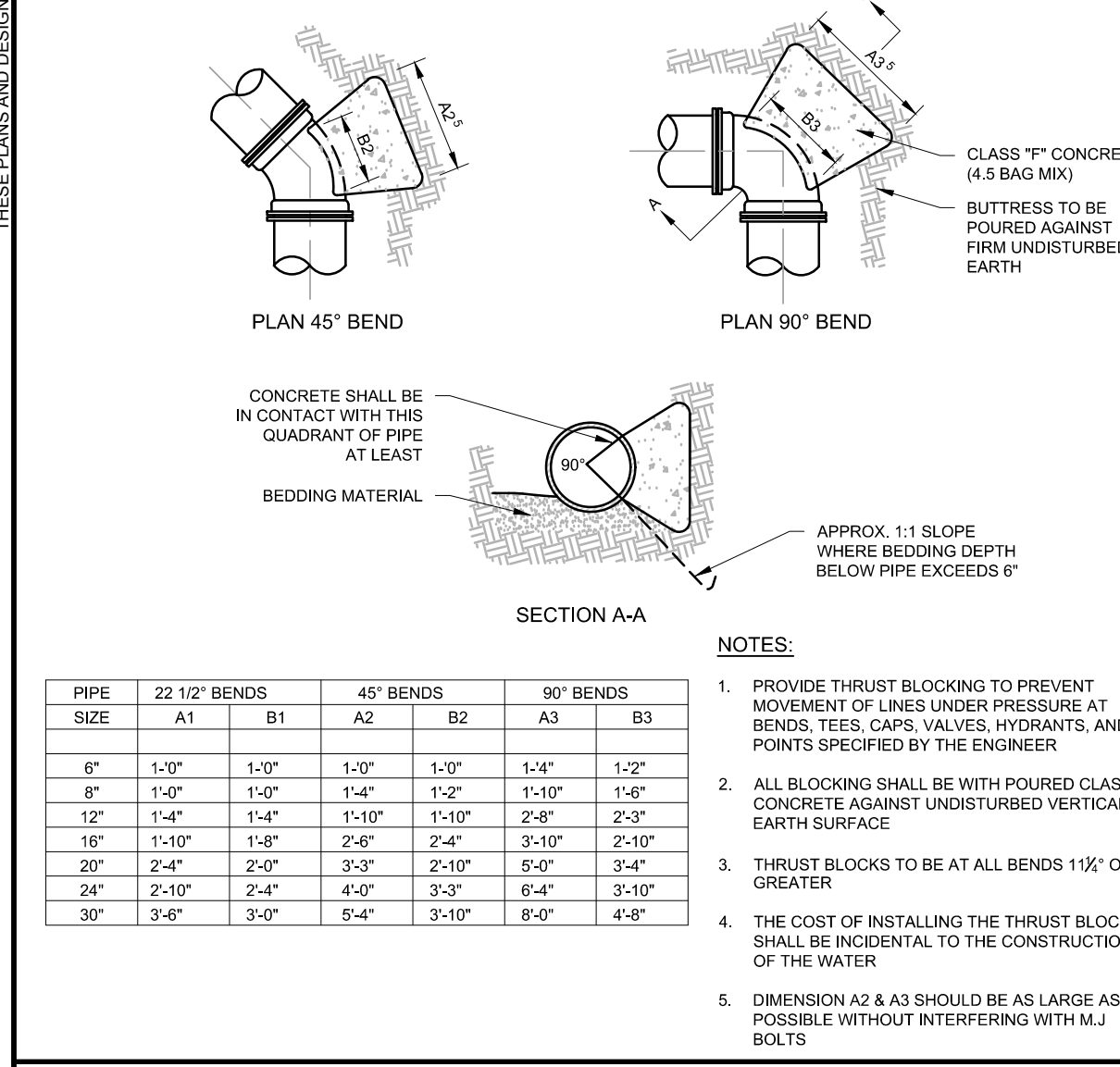
SHEET  
**C-8**  
of  
**C-11**



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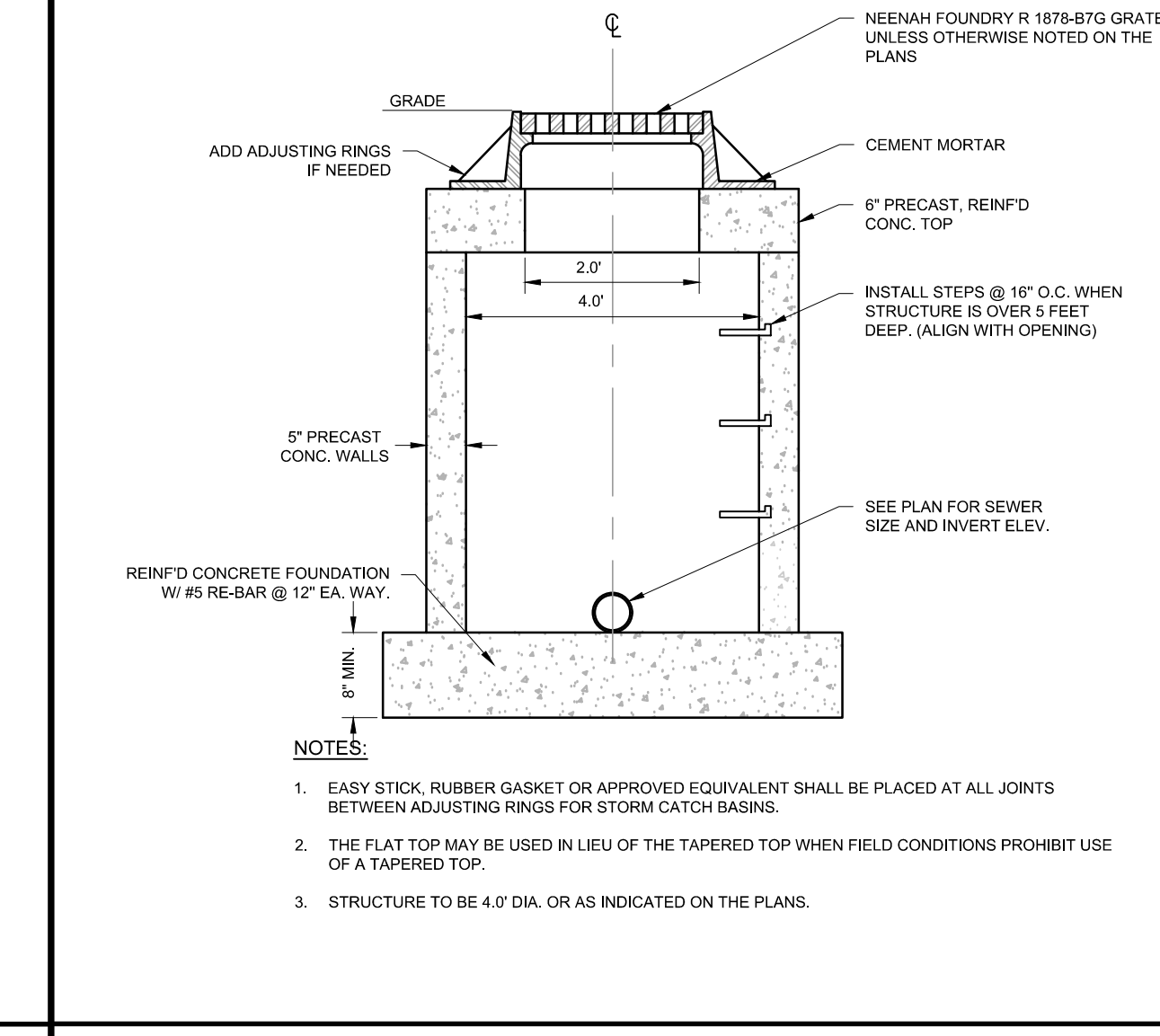
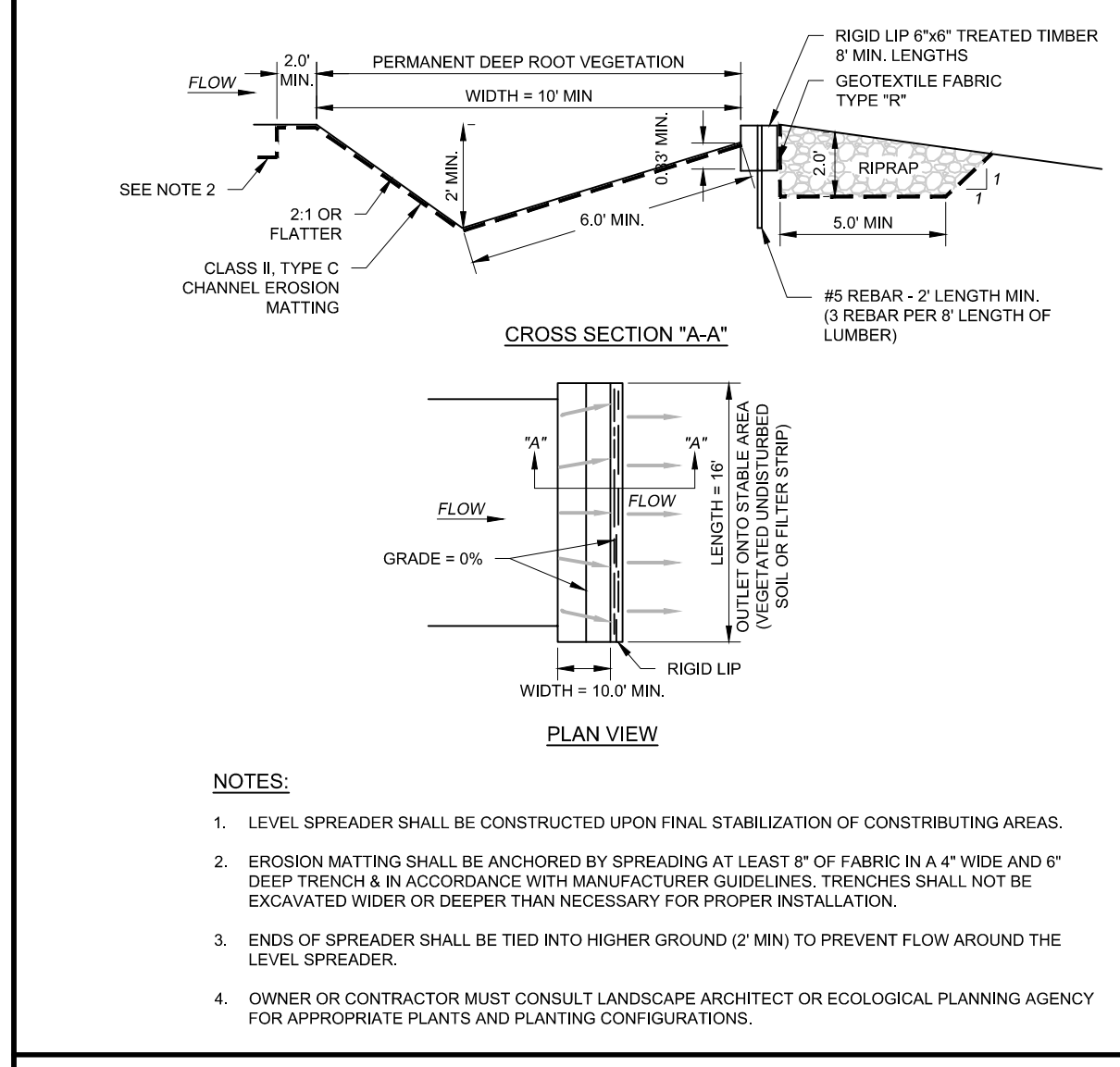


Drain tile general specifications



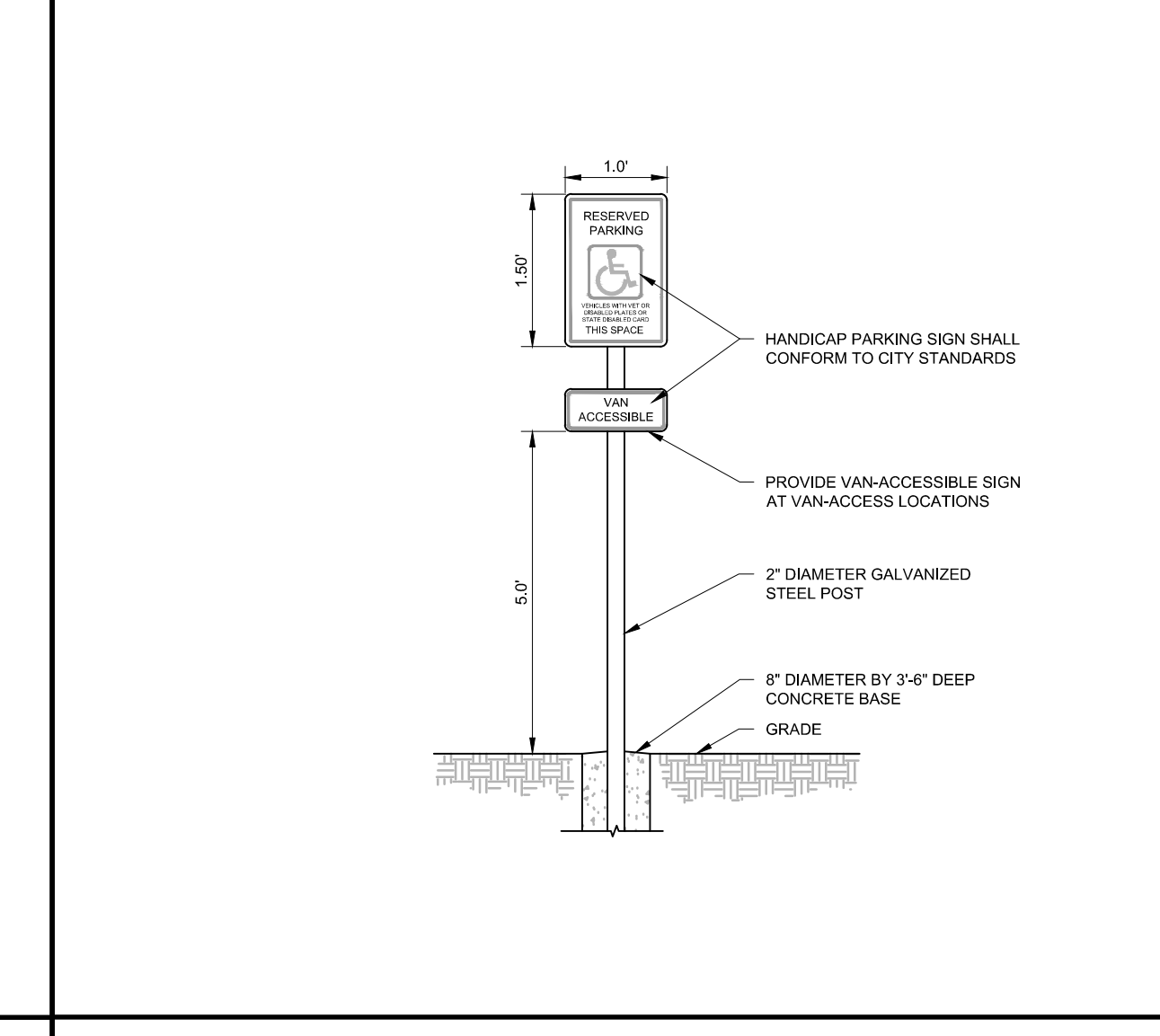
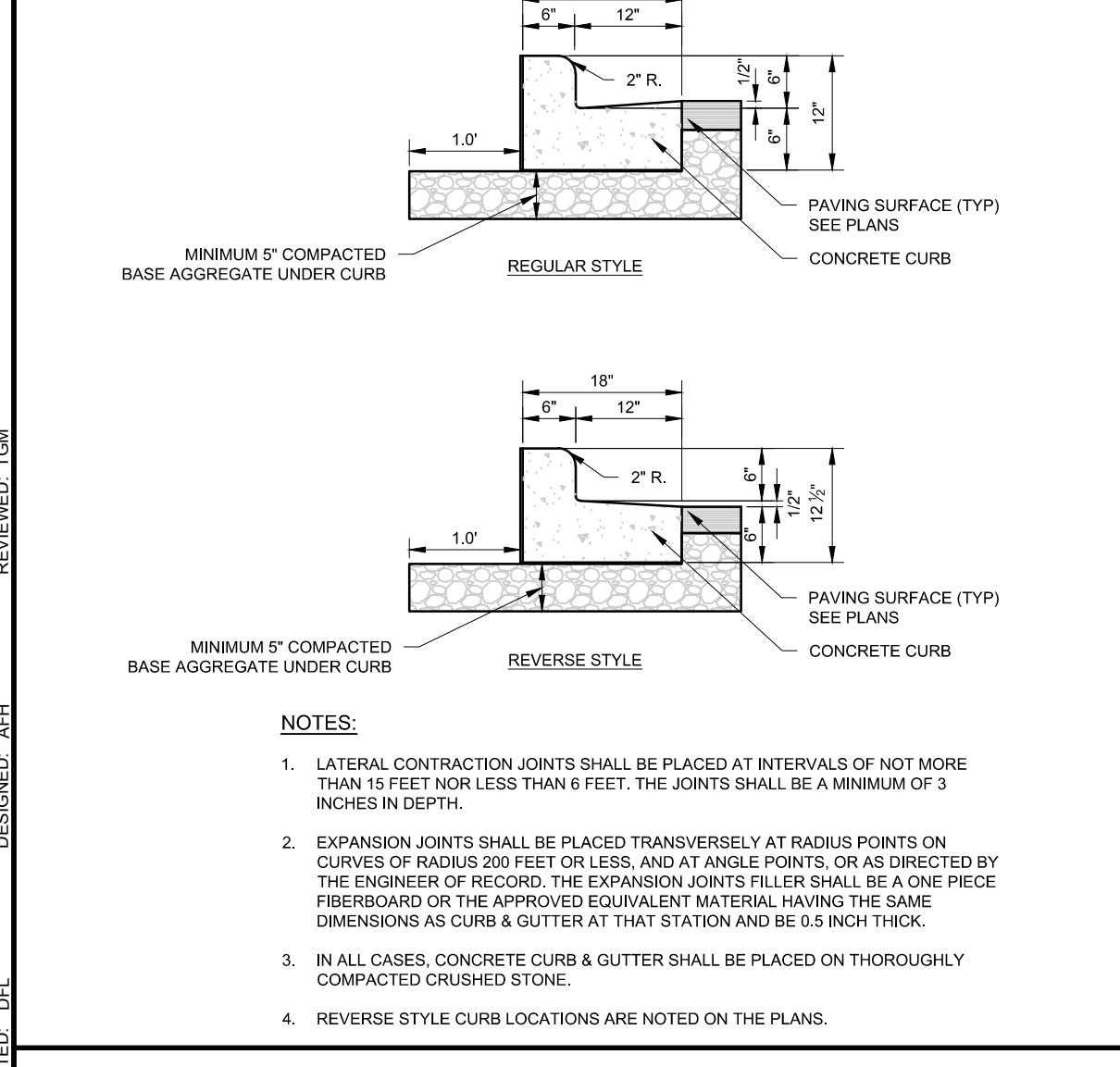
Drain tile bend

Trench drain section



Thrust block

Sanitary sewer cleanout structure



Level spreader

Field inlet



18" vertical face curb

ADA sign

Drain tile

Trench drain section

Thrust block

Sanitary sewer cleanout structure

Level spreader

Inlet

18" vertical face curb

ADA sign

Trench drain section

Field inlet

Sanitary sewer cleanout structure

Field inlet

2' x 3' inlet

Integral curb and sidewalk

Protection fence

ADA parking striping

Protection fence

ADA parking striping

Field inlet

Integral curb and sidewalk

2' x 3' inlet

Integral curb and sidewalk

2' x 3' inlet

Integral curb and sidewalk

Protection fence

ADA parking striping

Protection fence

ADA parking striping

Integral curb and sidewalk

ADA parking striping

2' x 3' inlet

Integral curb and sidewalk

2' x 3' inlet

Integral curb and sidewalk

Protection fence

ADA parking striping

Protection fence

ADA parking striping

Integral curb and sidewalk

ADA parking striping

2' x 3' inlet

Integral curb and sidewalk

2' x 3' inlet

Integral curb and sidewalk

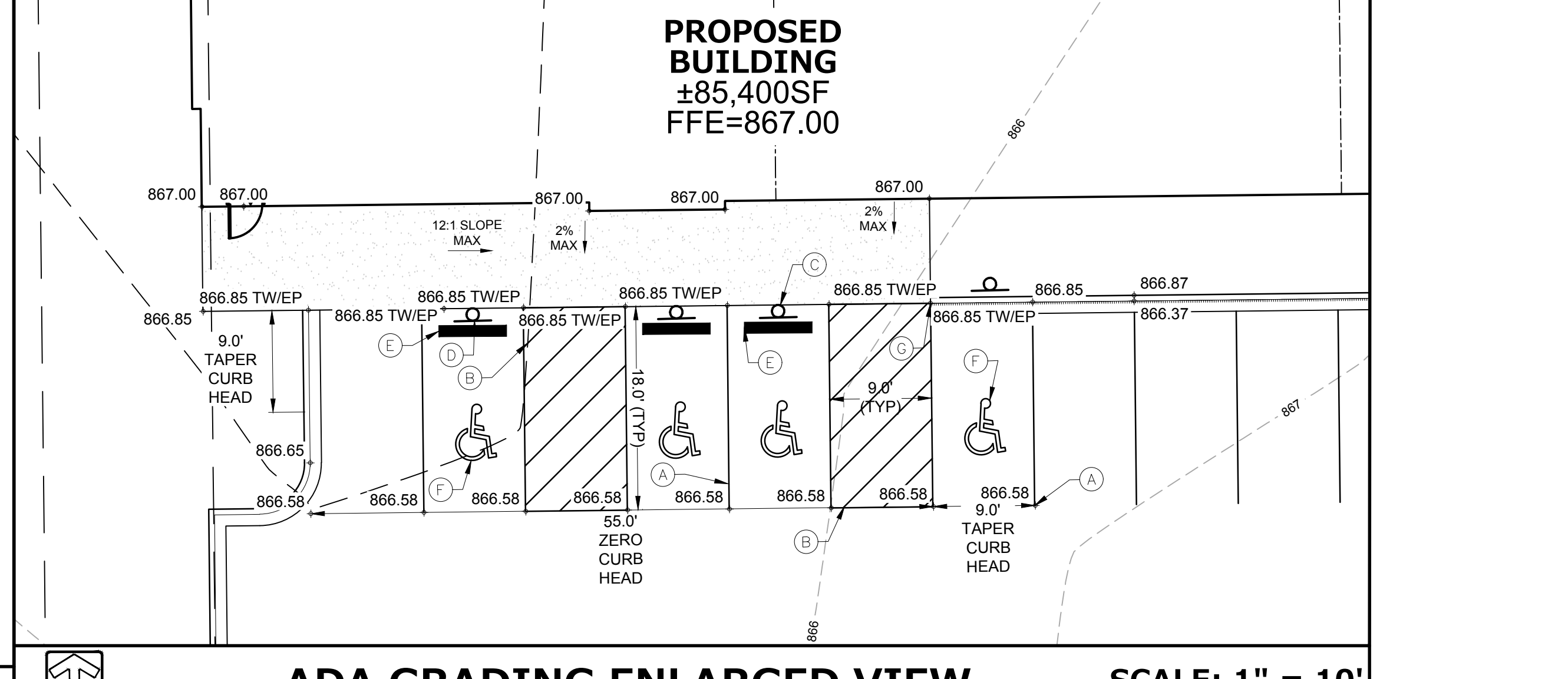
Protection fence

ADA parking striping

Protection fence

ADA parking striping

Legend table with symbols and descriptions: 4" solid white stripe, 4" diagonal at 45 degrees spaced 2' o.c., ADA parking stall signage, van accessible ADA parking stall signage, concrete wheel stop, ADA stall insignia, integral curb & gutter.



Proposed building ADA grading enlarged view

Company information for Pinnacle Engineering Group, including address (16230 Beloit Road, New Berlin, WI) and contact details.

Project title: NEW BERLIN FABRICATION BUILDING, 16230 BELOIT ROAD, NEW BERLIN, WI.

CONSTRUCTION DETAILS

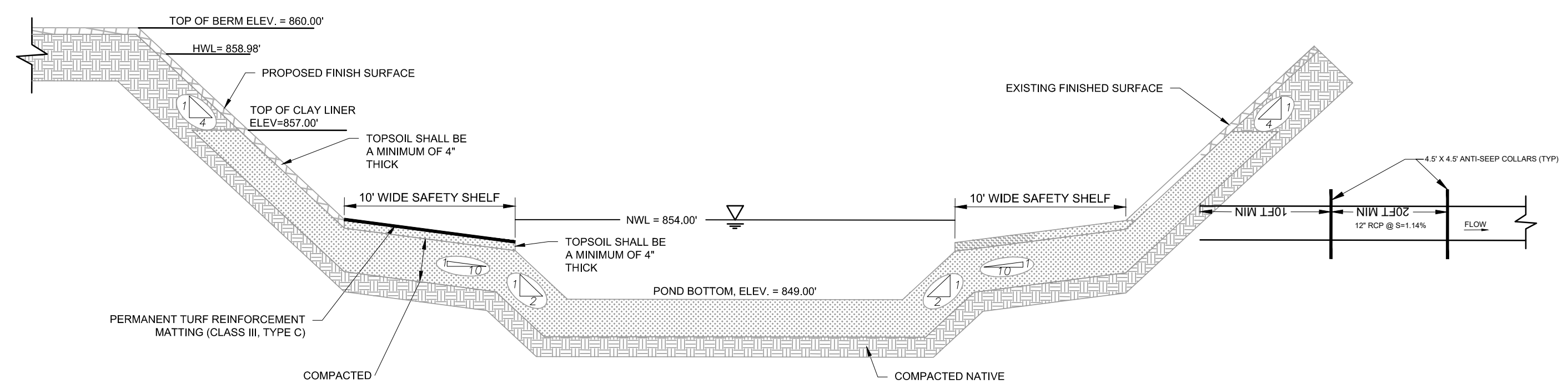
Revisions table with columns for revision number, description, and date.

Sheet information: SHEET C-10 of C-11, PROJECT NO. 2557-00-WI, START DATE 03/20/25, SCALE 1" = 10'.

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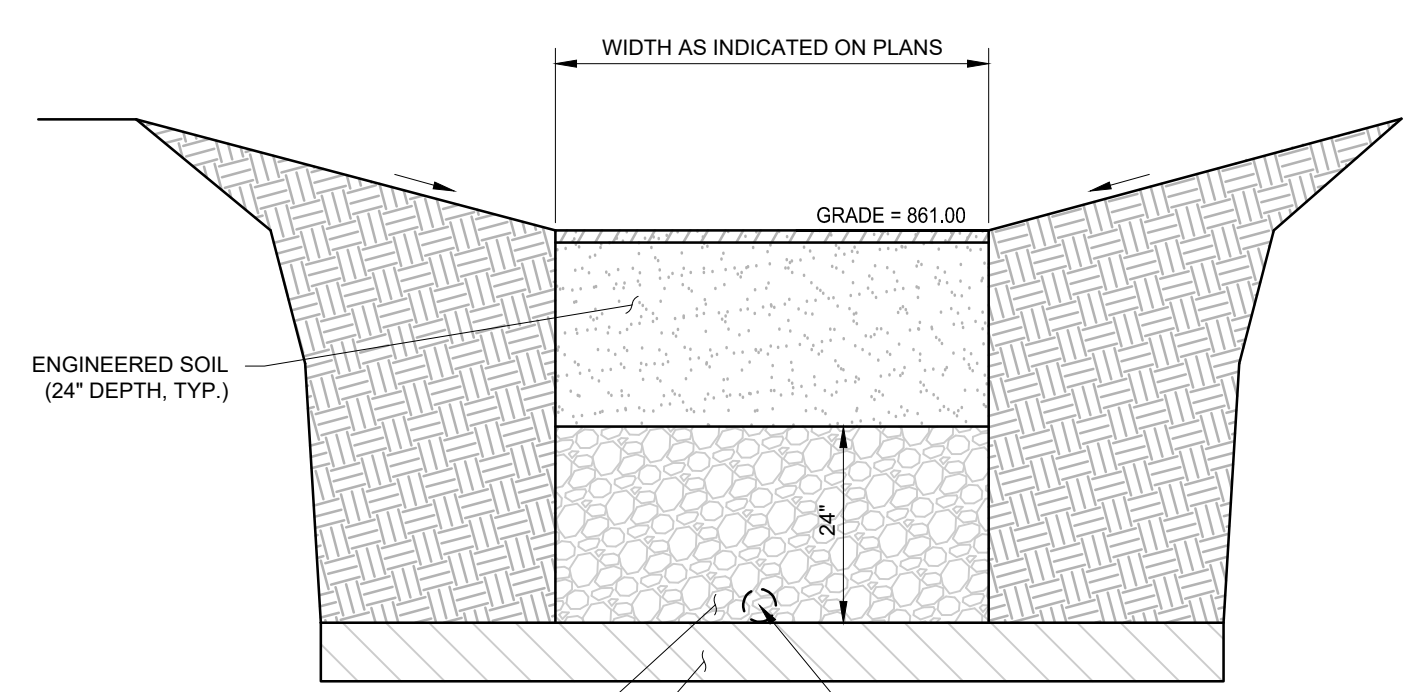
CONSTRUCTION DETAILS

DESIGNED: ATN  
 REVIEWED: TOM  
 DRAFTED: DDL  
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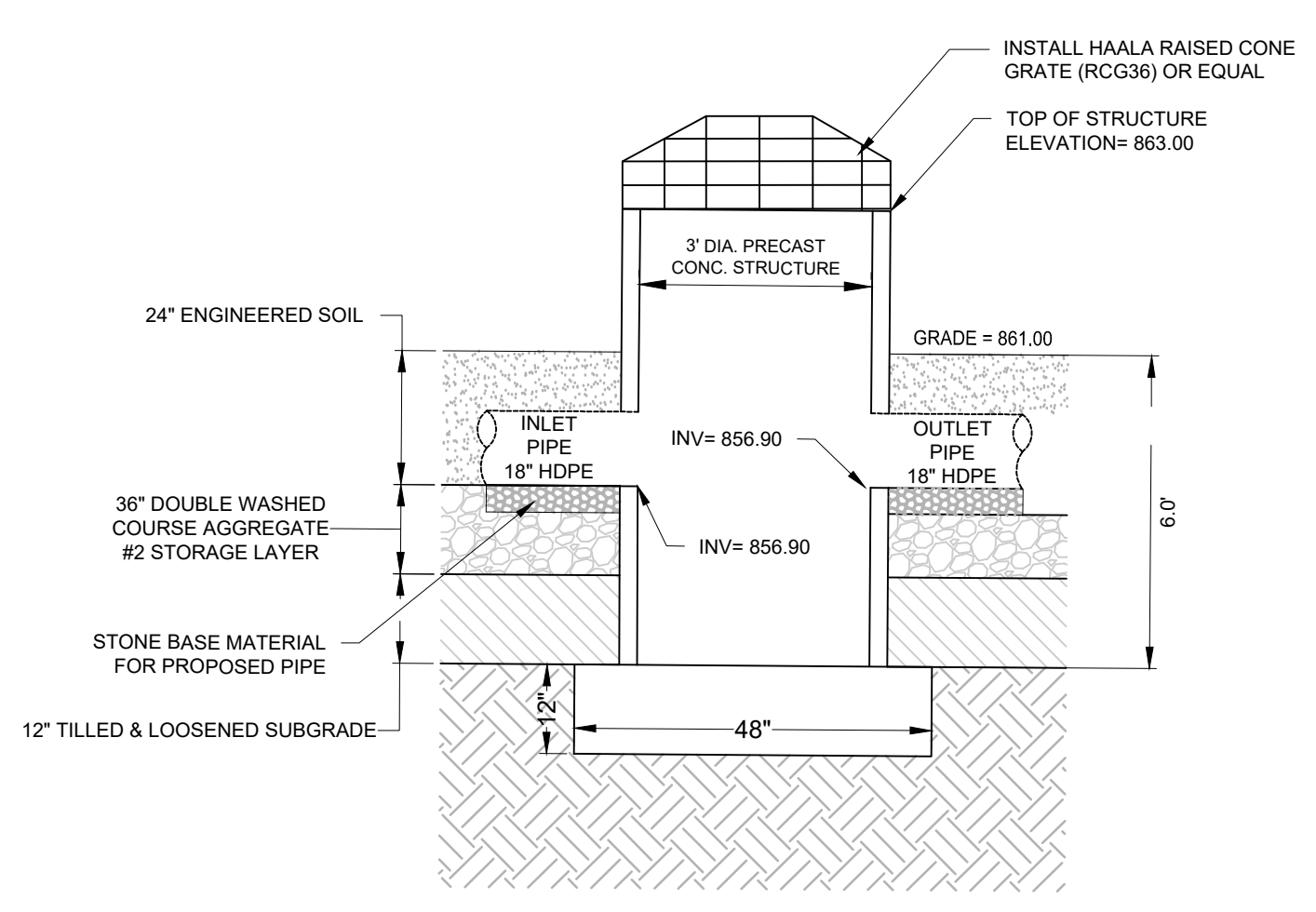
- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDMR WET DETENTION BASIN TECHNICAL STANDARD 1001".
  - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
  - RCP PIPING & INSTALLATION WITHIN THE BASIN SHALL HAVE RUBBER GASKETS.
  - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
  - CLAY LINER SHALL BE A MINIMUM OF 2 FEET THICK. CLAY SHALL BE COMPACTED AT  $\pm 2.0\%$  OPTIMAL MOISTURE CONTENT TO 100% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT IN PLACE AT THE POND SITE, SLOPES OR OTHER ON-SITE MEDIUM STIFF TO STIFF CLAYS MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
  - FOR CONSTRUCTED EMBANKMENTS WHERE THE PERMANENT POOL IS PONDED 3 FEET OR MORE AGAINST THE EMBANKMENT, THERE SHALL BE A CORE TRENCH OR KEYWAY ALONG THE CENTERLINE OF THE EMBANKMENT UP TO THE PERMANENT POOL ELEVATION. THE CORE TRENCH OR KEYWAY SHALL BE A MINIMUM OF 3 FEET DEEP AND 4 FEET WIDE WITH A SIDE SLOPE OF 1:1 OR FLATTER.

EXPANDED POND CROSS SECTION

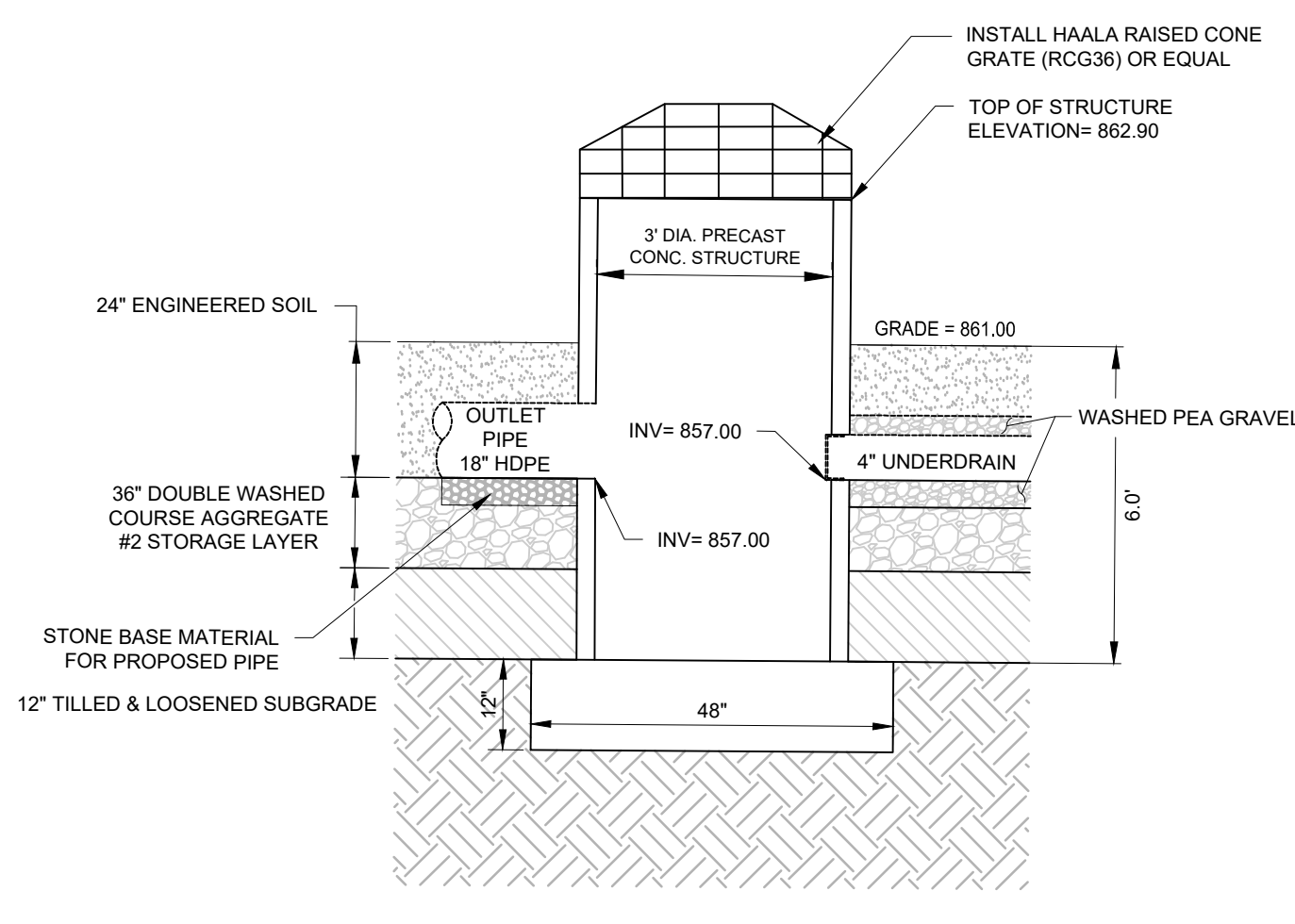


- NOTES:**
- SEE LANDSCAPE PLAN FOR BASIN PLANTINGS AND STABILIZATION METHODS NOT SHOWN IN THIS DETAIL.

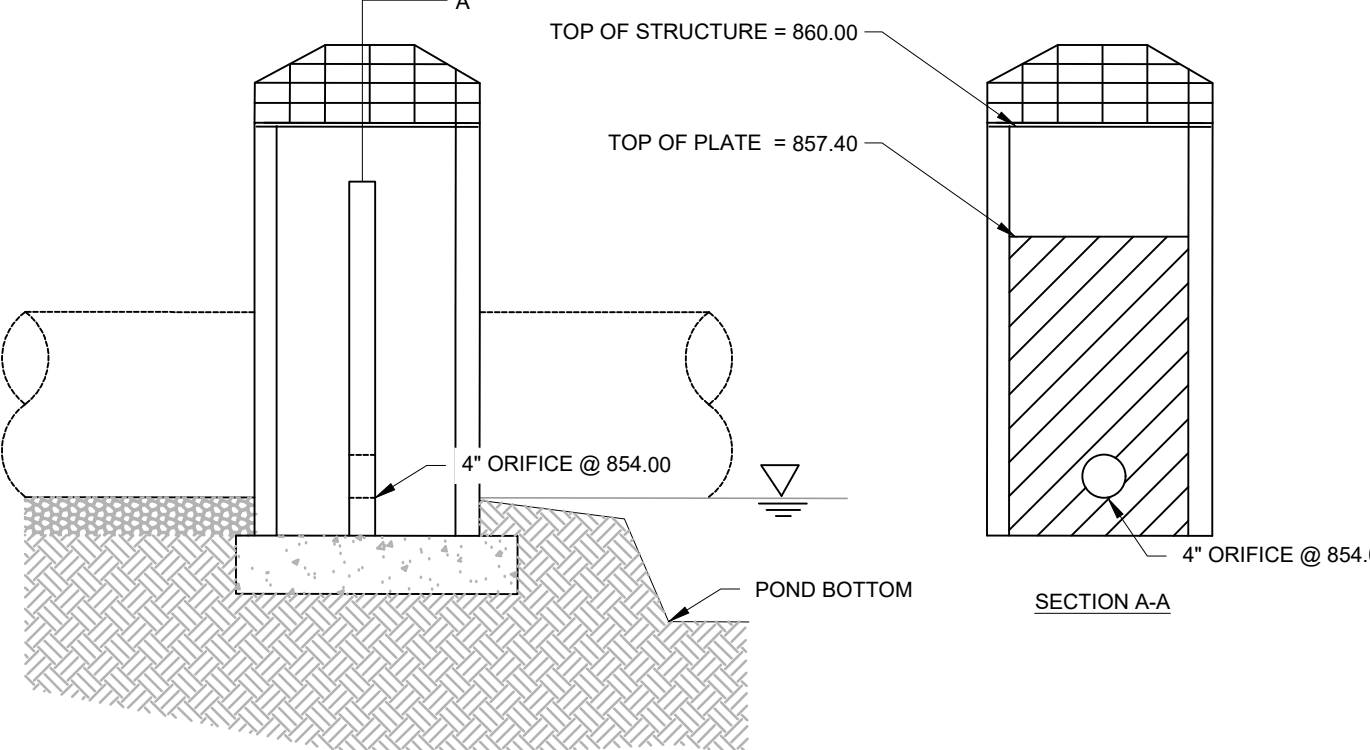
PROPOSED BIOFILTRATION BASIN DETAIL



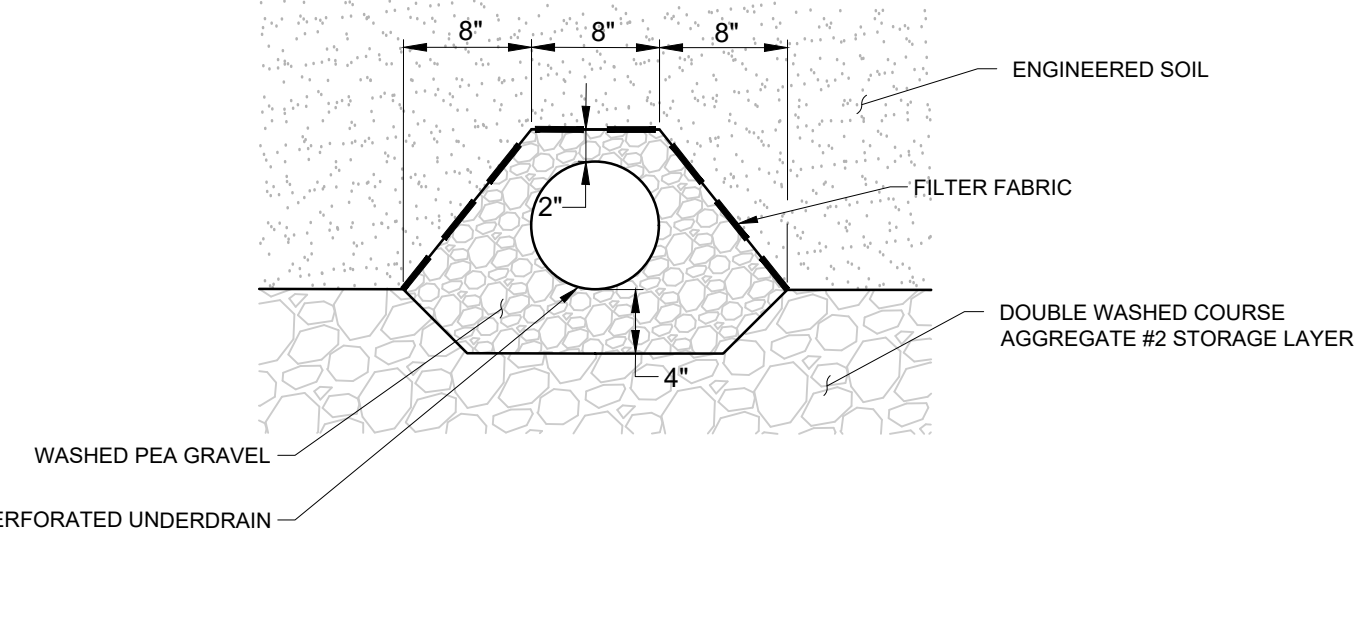
BIOFILTRATION BASIN EMERGENCY OUTLET STRUCTURE



BIOFILTRATION BASIN OUTLET STRUCTURE



EXISTING POND OUTLET STRUCTURE - BAFFLE PLATE



BIOFILTRATION UNDERDRAIN SECTION

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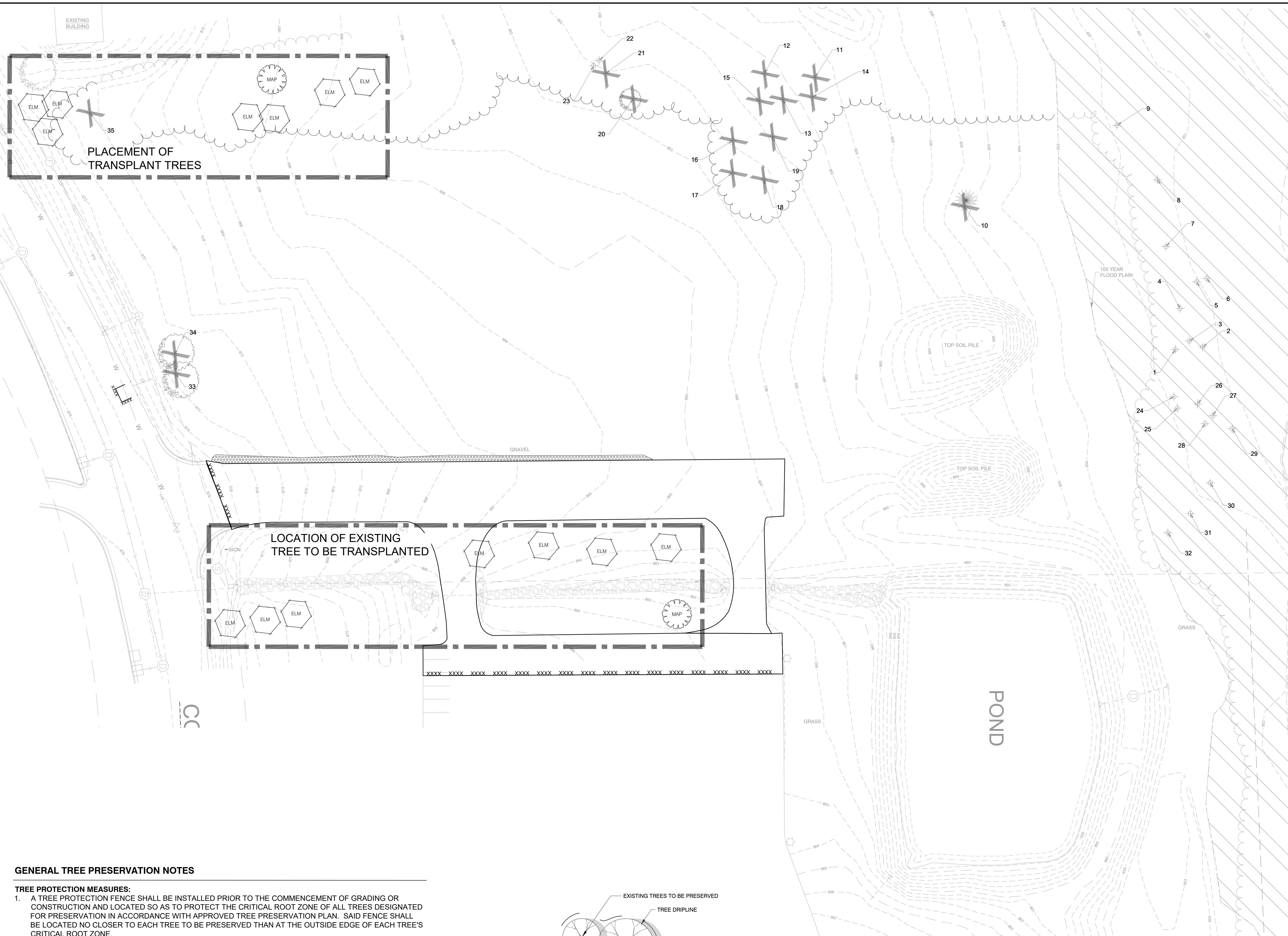
**NEW BERLIN FABRICATION BUILDING**  
 16230 BELOIT ROAD  
 NEW BERLIN, WI

**CONSTRUCTION DETAILS**

REVISIONS	
1. CITY COMMENTS	05/09/25

REG. JOB NO. 2557.00-WI	TOM	SHEET
REG. NO.	START DATE 03/20/25	C-11
SCALE	NTS	of
		C-11

DESIGNED: JBL  
DRAWN: JBL  
CHECKED: JBL  
REVIEWED: JBL  
DATE: 05/09/25  
PROJECT: 212557-00-WI/CAD/SHEETS/2557.00 LANDSCAPE PLAN.DWG



TREE INVENTORY KEY	
	DECIDUOUS TREES TO BE REMOVED
	EVERGREEN TREES TO BE REMOVED
	TREES WITHIN THE TREELINE TO BE REMOVED
	TREES WITHIN THE TREELINE
	DECIDUOUS TREES

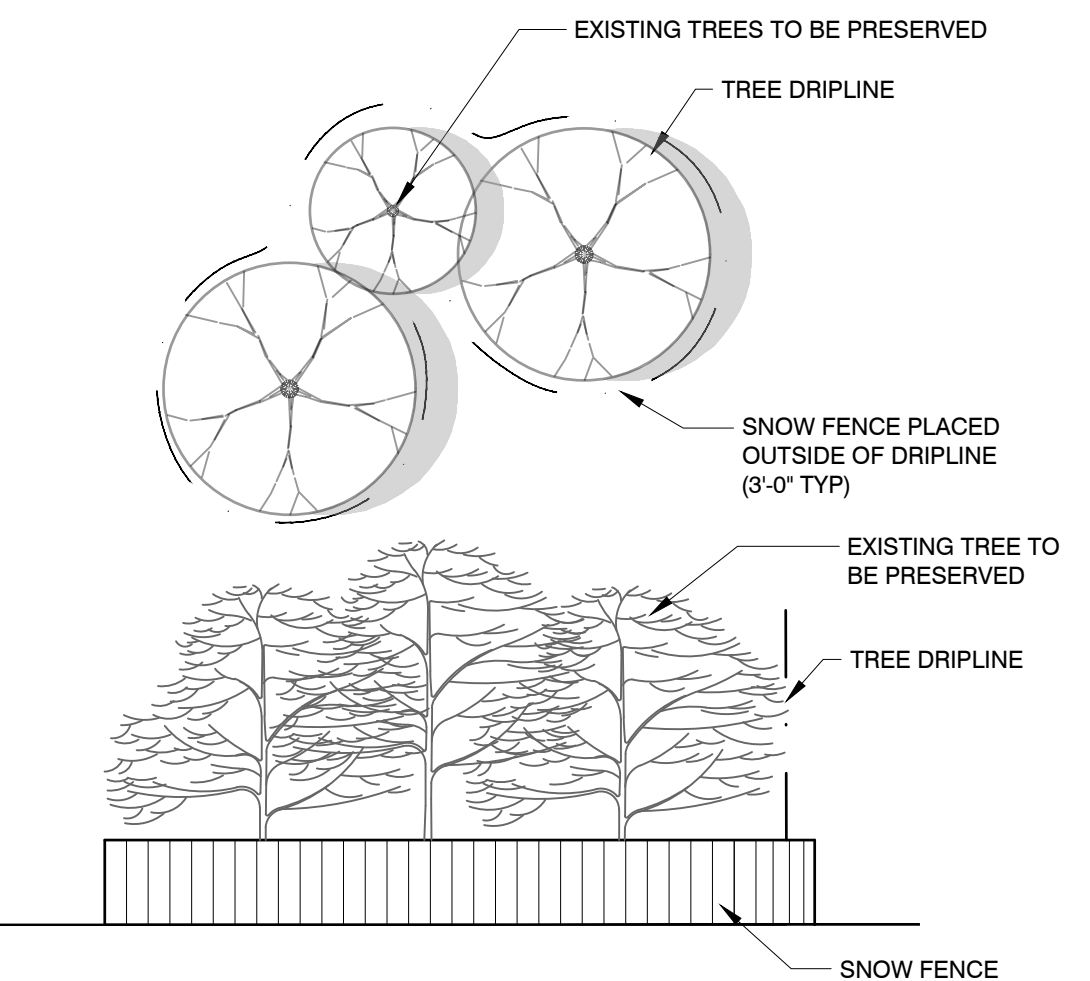
- NOTES**
- TREES NOT ON THE PROPERTY OR IN THE R.O.W. WERE NOT INVENTORIED.

Tree Number	Diameter Inches	Tree Species	Tree Condition	Single / Multistem	Remove
1	5	Ulmus - Elm	Good	Single Stem	
2	12	Ulmus - Elm	Good	Single Stem	
3	7	Ulmus - Elm	Good	Single Stem	
4	5	Ulmus - Elm	Good	Single Stem	
5	7	Juglans - Black Walnut	Good	Single Stem	
6	6	Ulmus - Elm	Good	Single Stem	
7	6	Ulmus - Elm	Good	Single Stem	
8	5	Ulmus - Elm	Good	Single Stem	
9	6	Ulmus - Elm	Good	Single Stem	
10	19	Pinus - Pine	Good	Single Stem	Yes
11	15	Juglans - Black Walnut	Good	Single Stem	Yes
12	33	Acer - Maple	Poor	Single Stem	Yes
13	12	Juglans - Black Walnut	Good	Single Stem	Yes
14	11	Juglans - Black Walnut	Good	Single Stem	Yes
15	17	Juglans - Black Walnut	Good	Single Stem	Yes
16	9	Juglans - Black Walnut	Good	Single Stem	Yes
17	6	Juglans - Black Walnut	Good	Single Stem	Yes
18	17	Juglans - Black Walnut	Good	Single Stem	Yes
19	9	Juglans - Black Walnut	Good	Single Stem	Yes
20	10	Juglans - Black Walnut	Good	Single Stem	Yes
21	9	Ulmus - Elm	Good	Single Stem	Yes
22	13	Juglans - Black Walnut	Good	Single Stem	Yes
23	8	Ulmus - Elm	Fair	Single Stem	Yes
24	6	Ulmus - Elm	Good	Single Stem	Yes
25	9	Ulmus - Elm	Good	Single Stem	Yes
26	9	Ulmus - Elm	Good	Single Stem	Yes
27	7	Juglans - Black Walnut	Good	Single Stem	Yes
28	5	Ulmus - Elm	Good	Single Stem	Yes
29	9	Ulmus - Elm	Good	Single Stem	Yes
30	25	Ulmus - Elm	Good	Multi-Stem	Yes
31	9	Juglans - Black Walnut	Good	Single Stem	Yes
32	24	Acer - Maple	Good	Multi-Stem	Yes
33	36	Acer - Maple	Good	Single Stem	Yes
34	25	Acer - Maple	Good	Single Stem	Yes
35	20	Acer - Maple	Good	Single Stem	Yes

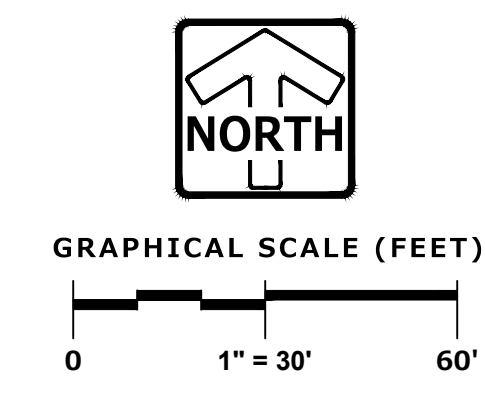
Required Tree replacement	Number of 2.5" cal trees
Size of deciduous tree removed:	
5-7"	1 3
8-11"	5 45
12"+	8 96
<b>2.5" deciduous tree replacement total</b>	<b>144</b>
Size of evergreen tree removed:	8' conifers
10' ht	1 3
<b>8' evergreen tree replacement total</b>	<b>3</b>

TREE TRANSPLANT KEY	
	5 TREES TO BE TRANSPLANTED WITH A TREE SPADE - ALSO ON LANDSCAPE PLANS
	1 TREE TO BE TRANSPLANTED WITH A TREE SPADE - ALSO ON LANDSCAPE PLANS

- GENERAL TREE PRESERVATION NOTES**
- TREE PROTECTION MEASURES:**
- A TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF GRADING OR CONSTRUCTION AND LOCATED SO AS TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES DESIGNATED FOR PRESERVATION IN ACCORDANCE WITH APPROVED TREE PRESERVATION PLAN. SAID FENCE SHALL BE LOCATED NO CLOSER TO EACH TREE TO BE PRESERVED THAN AT THE OUTSIDE EDGE OF EACH TREE'S CRITICAL ROOT ZONE.
  - CRITICAL ROOT ZONE IS DEFINED AS: A CIRCULAR AREA ON THE GROUND BENEATH A TREE HAVING A RADIUS EQUAL TO ONE FOOT (1') FOR EVERY ONE INCH (1") OF TREE DIAMETER AT BREAST HEIGHT. THE CIRCULAR AREA NEED NOT BE EXACTLY CENTERED AROUND THE TREE, BUT IT SHALL BE POSITIONED SO THAT NO DISTURBANCE OCCURS CLOSER TO THE TREE THAN ONE-HALF (1/2) THE RADIUS OF THE CIRCLE.
  - TREE PROTECTION FENCING SHALL CONSIST OF BRIGHTLY COLORED PLASTIC MESH OR SNOW FENCING A MINIMUM OF FORTY EIGHT INCHES (48") IN HEIGHT. IT SHALL BE SECURELY ATTACHED TO METAL FENCE POSTS THAT ARE DRIVEN INTO THE GROUND AND THAT ARE SPACED NO MORE THAN EIGHT FEET (8') APART.
  - NO ENCROACHMENT, GRADING, TRENCHING, FILLING, COMPACTION, WASTE DUMPING, CONCRETE WASHOUT, CHANGE IN SOIL CHEMISTRY, OR STORAGE OF MATERIALS, EQUIPMENT OR VEHICLES SHALL OCCUR WITHIN THE FENCED AREAS.
  - WHEN ROOTS TWO INCHES (2") IN DIAMETER AND GREATER MUST BE SEVERED, THE ENDS SHALL BE CUT CLEANLY WITH A SAW UNDER THE SUPERVISION OR DIRECTION OF AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE TO PREVENT THE ONSET OF DECAY. IF THEY ARE ACCIDENTALLY BROKEN OR CRUSHED, THE ROOT SHALL BE SAW CUT ABOVE THE RAGGED END. IN ALL CASES, THE CUT ROOTS SHALL BE IMMEDIATELY BURIED, MULCHED, OR OTHERWISE KEPT MOIST TO PRESERVE VIABILITY.
  - TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION, AS DETERMINED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
  - SUPPLEMENTAL WATERING OF PROTECTED TREES WILL BE NEEDED DURING SUMMER MONTHS OR DROUGHT CONDITIONS.



**1 TREE PROTECTION**  
1 1/2" = 1'-0"  
3293-05



PLAN | DESIGN | DELIVER  
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**NEW BERLIN FABRICATION BUILDING**  
16230 BELOIT ROAD  
NEW BERLIN, WI

**EXISTING TREE INVENTORY & TREE TRANSPLANTS**

REVISIONS	
1	CITY COMMENTS 05/09/25

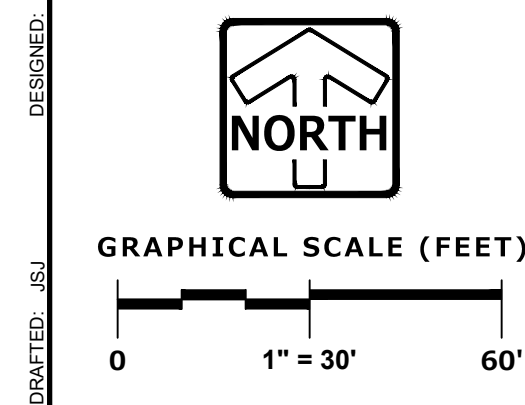
REG. OR. NO. 2557-00-WI  
REG. NO. 2557-00-WI  
START DATE: 09/20/23  
SCALE: 1" = 30'

SHEET  
L-1  
OF  
L-5

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EXISTING TREE INVENTORY & TREE TRANSPLANTS  
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DESIGNED: JLS  
 DRAWN: JLS  
 REVIEWED: JLS



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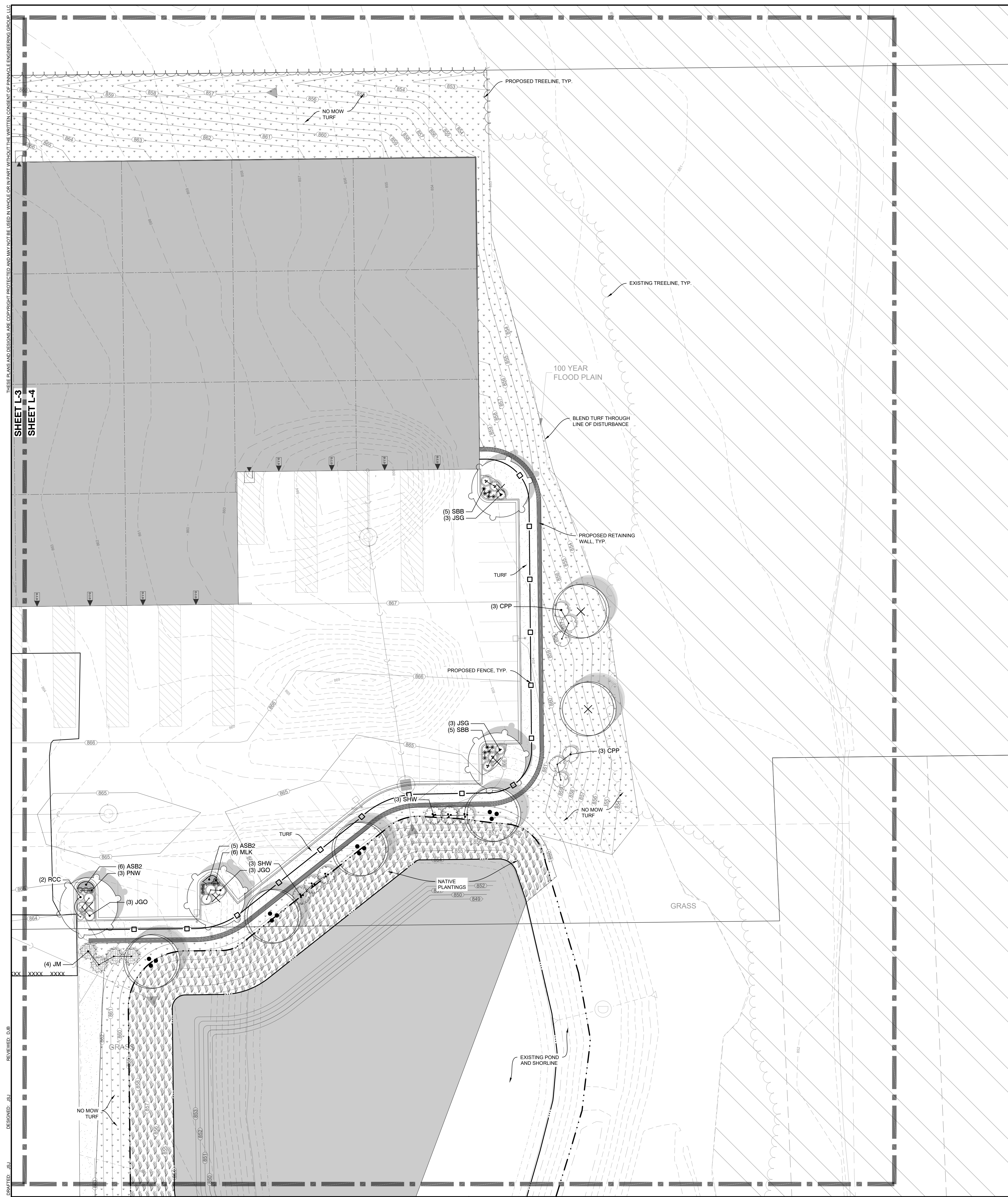
**NEW BERLIN FABRICATION BUILDING**  
 16230 BELOIT ROAD  
 NEW BERLIN, WI

**LANDSCAPE OVERVIEW & TREE PLAN**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>TREES</b>					
AAF	7	Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	4" Cal.	50' T x 40' W
AXM	3	Acer saccharum 'Flax Mill Majesty'	Flax Mill Majesty Maple	4" Cal.	55' T x 45' W
BN3	4	Betula nigra 'Heritage'	Heritage River Birch	10" Ht.	40' T x 40' W
CCH	3	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	2.5" Cal.	50' T x 40' W
GSM	4	Gleditsia triacanthos 'Shademaster'	Shademaster Locust	2.5" Cal.	55' T x 50' W
GKH	3	Gymnocladus dioica 'McKBranded'	Decal Kentucky Coffee Tree	2.5" Cal.	50' T x 40' W
OSD	6	Quercus x schottii	Schottii Oak	2.5" Cal.	70' T x 65' W
SGW	2	Salix x sepulcralis 'Tristis'	Golden Weeping Willow	4" Cal.	40' T x 40' W
TTS	5	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5" Cal.	60' T x 35' W
UP2	3	Ulmus x Morton Glossy	Triumph Elm	2.5" Cal.	55' T x 40' W
<b>EVERGREEN TREES</b>					
JVC	10	Juniperus virginiana	Eastern Red Cedar	8" Ht.	35' T x 17' W
PAN	2	Picea abies	Norway Spruce	8" Ht.	60' T x 28' W
PSW	12	Picea glauca 'Densata'	Black Hills Spruce	8" Ht.	30' T x 15' W
PSW	5	Pinus strobus	White Pine	6" Ht.	65' T x 30' W
TP	6	Thuja plicata x 'Standishi'	Green Giant Western Arborvitae	8" Ht.	45' T x 14' W
<b>ORNAMENTAL TREES</b>					
AXA	5	Amelanchier x 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	7" Ht.	20' T x 20' W
CER	5	Cercis canadensis	Eastern Redbud Multi-stem	7" Ht.	25' T x 25' W
MPM	9	Malus x 'Prairie Maid'	Prairie Maid Crabapple	2" Cal.	20' T x 25' W
MSU	6	Malus x 'Sugar Tyme'	Sugar Tyme Crabapple	2" Cal.	25' T x 25' W
MZR	5	Malus x 'Zumi'	Redbud Crab Apple	2" Cal.	18' T x 20' W
<b>TRANSPLANT EXISTING</b>					
MAP	1	Acer	Maple		Transplant
ELM	7	Ulmus	Elm		Transplant
<b>SHRUBS</b>					
AB3	3	Aronia arbutifolia 'Brilliantissim'	Brilliant Red Chokeberry	5 gal.	7' T x 6' W
CPP	6	Cephalanthus occidentalis 'Ping Pong'	Ping Pong Buttonbush	5 gal.	8' T x 6' W
CS2	2	Clethra alnifolia 'Novacele'	Summer Sparkler™ Summersweet	5 gal.	5' T x 5' W
CAF	6	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	5 gal.	3' T x 3' W
CW	7	Cotinus coggygria 'NCC01'	Winecraft Black Smoke Tree	5 gal.	6' T x 6' W
CSN1	3	Cotinus coggygria 'Nordine'	Nordine Smokebush	5 gal.	10' T x 10' W
HT2	3	Heptacodium miconoides 'SMNHMF'	Temple of Bloom Seven Son Flower	5 gal.	15' T x 10' W
HA2	5	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	5 gal.	4' T x 5' W
HVS	8	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	5 gal.	6' T x 5' W
HAR	6	Hydrangea paniculata 'SMHPS'	Razzleberry Hydrangea	5 gal.	3' T x 3' W
HEL	2	Hydrangea paniculata 'SMNHPP'	Little Lime PUNCH Hydrangea	5 gal.	5' T x 5' W
PCG	7	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	5 gal.	7' T x 6' W
RBR	5	Rosa rugosa 'Blanc de Coubert'	Blanc de Coubert Rugosa Rose	5 gal.	5' T x 5' W
RPP	17	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	5 gal.	5' T x 5' W
RCC	2	Rosa x 'Coral Cove'	Coral Cove Rose	5 gal.	3' T x 3' W
SPW	6	Salix integra 'Hakuro-nishiki'	Hakuro-nishiki Willow	5 gal.	10' T x 10' W
SPA	3	Salix purpurea 'Canyon Blue'	Arctic Blue Leaf Willow	5 gal.	5' T x 5' W
SDK	11	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5 gal.	5' T x 5' W
SOP	3	Syringa x 'SMNRP'	Bloomerang Dwarf Pink Lilac	5 gal.	4' T x 3' W
WWR	17	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	5 gal.	5' T x 5' W
<b>EVERGREEN SHRUBS</b>					
JCI	17	Juniperus chinensis 'towa'	Iowa Juniper	5 gal.	12' T x 5' W
JSG	19	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	5' T x 6' W
JBS	3	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper	5 gal.	11' T x 4' W
JBS	9	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal.	1' T x 6' W
JM	7	Juniperus scopulorum 'MoonGlow'	MoonGlow Juniper	5 gal.	20' T x 8' W
JGO	12	Juniperus virginiana 'Grey Owl'	Grey Owl Redcedar	5 gal.	3' T x 5' W
JEF	10	Juniperus virginiana 'J.N. Select Green'	Emerald Feather Eastern Redcedar	5 gal.	25' T x 10' W
PRM	3	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	5 gal.	5' T x 5' W
PSM	1	Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 gal.	3' T x 3' W
TTE	3	Thuja occidentalis 'BallJohn'	Techni Arborvitae	5 gal.	12' T x 5' W
TFC	3	Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	5 gal.	2' T x 3' W
<b>ORNAMENTAL GRASSES</b>					
CKF	24	Calamagrostis x acutiflora 'Kari Foerster'	Feather Reed Grass	1 gal.	36" T x 24" W
COD	10	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 gal.	24" T x 24" W
DSB	5	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.	36" T x 30" W
MLK	6	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1 gal.	24" T x 24" W
MSM	14	Miscanthus sinensis 'Malepartus'	Malepartus Miscanthus	1 gal.	48" T x 30" W
PRW	11	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	48" T x 30" W
SBB	20	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem	1 gal.	36" T x 26" W
STA	4	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1 gal.	18" T x 18" W
<b>PERENNIALS</b>					
ASB2	11	Achillea millefolium 'Summer Berries'	Summer Berries Mix Common Yarrow	4.5" cont.	20" o.c.
CVZ	12	Coreopsis verticillata 'Zagreb'	Zagreb Coreopsis	4.5" cont.	16" o.c.
DXP	19	Dianthus x 'WP Passion'	Scent First Passion Dianthus	4.5" cont.	12" o.c.
EXR	11	Echinacea x 'FECSRR'	SunSeekers Rainbow Coneflower	4.5" cont.	24" o.c.
HGS	3	Hosta x 'Gold Standard'	Gold Standard Hosta	4.5" cont.	25" o.c.
LGF2	12	Leucanthemum superbum 'Goldfinch'	Goldfinch Shasta Daisy	4.5" cont.	22" o.c.
NPB	12	Neppeta x faassenii 'Pursian Blue'	Pursian Blue Catmint	4.5" cont.	24" o.c.
PLS	12	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" cont.	22" o.c.
SA4	11	Sedum x 'Autumn Fire'	Autumn Fire Sedum	4.5" Cont.	17" o.c.
<b>GROUND COVERS</b>					
	9,742 sf	Native Plantings	Agrecol Rainwater Renewal Seed Mix	seed	
	26,577 sf	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix	seed	
	39,613 sf	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix	seed	

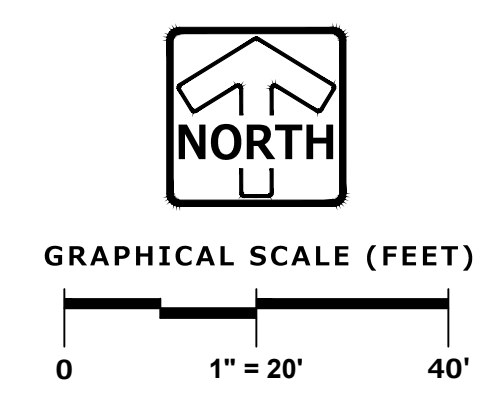
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 LANDSCAPE OVERVIEW & TREE PLAN  
 SHEET L-2 OF L-5





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 SHEET L-3  
 SHEET L-4  
 DESIGNED: BJ  
 REVIEWED: DJB

PLANT KEY		
CODE	BOTANICAL NAME	COMMON NAME
<b>TREES</b>		
AAF	Acer freemanii 'Autumn Fantasy'	Autumn Fantasy Maple
AMM	Acer saccharum 'Flax Mill Majesty'	Flax Mill Majesty Maple
BN3	Betula nigra 'Heritage'	Heritage River Birch
CCH	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry
GSM	Gleditsia triacanthos 'Shademaster'	Shademaster Locust
GHK	Gymnocladus dioica 'McKBranced'	Decaf Kentucky Coffee Tree
QXS	Quercus x schuetti	Schuetti Oak
SGW	Salix x sepulcralis 'Trieste'	Golden Weeping Willow
TTS	Tilia tomentosa 'Sterling'	Sterling Silver Linden
UP2	Ulmus x 'Morton Glossy'	Triumph Elm
<b>EVERGREEN TREES</b>		
JVC	Juniperus virginiana	Eastern Red Cedar
PAN	Picea abies	Norway Spruce
PGD	Picea glauca 'Densata'	Black Hills Spruce
PSW	Pinus strobus	White Pine
TP	Thuja plicata x 'Standishii'	Green Giant Western Arborvitae
<b>ORNAMENTAL TREES</b>		
AXA	Amelanchier x 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry
CER	Cercis canadensis	Eastern Redbud Multi-stem
MPM	Malus x 'Prairie Maid'	Prairie Maid Crabapple
MSU	Malus x 'Sugar Tyme'	Sugar Tyme Crabapple
MZR	Malus x 'Zumi'	Redbud Crab Apple
<b>TRANSPLANT EXISTING</b>		
MAP	Acer	Maple
ELM	Ulmus	Elm
<b>SHRUBS</b>		
AAB	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry
CPP	Cephalanthus occidentalis 'Ping Pong'	Ping Pong Buttonbush
CS2	Clethra alnifolia 'Novaclean'	Summer Sparkler™ Summersweet
CAF	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood
CW	Cotinus coggygria 'NCCO1'	Winecraft Black Smoke Tree
CSN	Cotinus coggygria 'Nordine'	Nordine Smokebush
HT2	Hepiacodium miconioides 'SMNHMPF'	Temple of Bloom Seven Son Flower
HA2	Hydrangea arborescens 'Annabelle'	Annabelle Smoother Hydrangea
HVS	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea
HAR	Hydrangea paniculata 'SMHPS'	Razzleberry Hydrangea
HLP	Hydrangea paniculata 'SMNHPH'	Little Lime Punch Hydrangea
PCG	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark
RBR	Rosa rugosa 'Blanc de Coubert'	Blanc de Coubert Rugosa Rose
RPP	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose
RCC	Rosa x 'Coral Cove'	Coral Cove Rose
SHW	Salix integra 'Hakuro-nishiki'	Hakuro-nishiki Willow
SPA	Salix purpurea 'Canyon Blue'	Arctic Blue Leaf Willow
SDK	Syringa meyeri 'Palibin'	Dwarf Korean Lilac
SOP	Syringa x 'SMNJRPF'	Blooming Dwarf Pink Lilac
WWR	Weigela florida 'Wine & Roses'	Wine & Roses Weigela
<b>EVERGREEN SHRUBS</b>		
JCI	Juniperus chinensis 'Iowa'	Iowa Juniper
JSG	Juniperus chinensis 'Sea Green'	Sea Green Juniper
JB2	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper
JSB	Juniperus sabinna 'Buffalo'	Buffalo Juniper
JM	Juniperus scopulorum 'Moon Glow'	Moon Glow Juniper
JGO	Juniperus virginiana 'Grey Owl'	Grey Owl Redcedar
JEF	Juniperus virginiana 'J.N. Select Green'	Emerald Feather Eastern Redcedar
PPM	Pinus mugo 'Pumilio'	Dwarf Mugo Pine
PSM	Pinus mugo 'Slowmound'	Slowmound Mugo Pine
TTE	Thuja occidentalis 'BauLohn'	Technis Arborvitae
TFC	Thuja occidentalis 'Congabe'	Fire Chief Arborvitae
<b>ORNAMENTAL GRASSES</b>		
CRF	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
COD	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass
DSD	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass
MLK	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass
MSM	Miscanthus sinensis 'Malepartus'	Malepartus Miscanthus
PNW	Panicum virgatum 'Northwind'	Northwind Switch Grass
SBB	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem
STA	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed
<b>PERENNIALS</b>		
ASB2	Achillea millefolium 'Summer Berries'	Summer Berries Mix Common Yarrow
CVZ	Coreopsis verticillata 'Zagreb'	Zagreb Coreopsis
DXP	Dianthus x 'WP Passion'	Scents First Passion Dianthus
EXR	Echinacea x 'PECSSRA'	Sun Seekers Rainbow Coneflower
HGS	Hosta x 'Gold Standard'	Gold Standard Hosta
LGF2	Leucanthemum superbum 'Goldfinch'	Goldfinch Shasta Daisy
NPB	Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint
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<b>SYMBOL BOTANICAL NAME COMMON NAME</b>		
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[Symbol]	Native Plantings	Agrecol Rainwater Renewal Seed Mix
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[Symbol]	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix



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**NEW BERLIN FABRICATION BUILDING**  
**16230 БЕЛОIT ROAD**  
**NEW BERLIN, WI**

**LANDSCAPE ENLARGEMENT**

REVISIONS	
NO.	DESCRIPTION
1	CITY COMMENTS

REG. NO. 2557-00-WI  
 TCM  
 START DATE: 03/20/23  
 SCALE: 1" = 20'  
 SHEET L-4 OF L-5

**GENERAL PLANTING NOTES**

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
  - 10 FEET FROM ANY FIRE HYDRANT
  - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

**SOIL PLACEMENT NOTES**

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENE TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

**NATIVE SEEDING**

ESTABLISHMENT OF A VIABLE VEGETATION COMMUNITY WILL BE COMPLETED BY HAND-BROADCASTING OF PRE-DESIGNED SEED MIXES TO CREATE A DYNAMIC PLANTING.

**PRIOR TO SEEDING:**

- ALL WEEDS AND EXISTING VEGETATION SHALL BE REMOVED. EXISTING VEGETATION SHALL BE TREATED WITH GLYPHOSATE OR SIMILAR HERBICIDE BY A LICENSED PROFESSIONAL. TREATMENT SHALL OCCUR A MINIMUM OF 10 DAYS PRIOR TO SEEDING/PLANTING. VEGETATION STILL ALIVE AFTER INITIAL HERBICIDE TREATMENT SHALL BE TREATED A SECOND TIME PRIOR TO TILLING INTO THE SOIL. TREATED VEGETATION SHALL BE TILLED INTO THE SOIL NO EARLIER THAN 1 DAY PRIOR TO SEEDING.
- PREPARATION OF SOIL PRIOR TO SEEDING:
  - REFER TO CIVIL PLANS FOR SOIL MIXTURE.
  - ALL FOREIGN MATERIALS LARGER THAN 1-INCH SHALL BE REMOVED FROM THE SOIL PRIOR TO SEEDING OR PLANTING.
  - AREA SHOULD BE FREE FROM UNSIGHTLY VARIATIONS, RIDGES, AND DEPRESSIONS.
  - AVOID DRIVING OVER THE SPECIFIED AREA WITH MACHINERY.

**SPECIFICATIONS FOR HAND BROADCASTING:**

SEEDING SHALL BE CONDUCTED IN LATE FALL (SEPTEMBER 1- SOIL FREEZE) SO THAT SEEDS MAY LIE DORMANT DURING THE WINTER, ALLOWING FOR STRATIFICATION, OR SPRING (MARCH 1-JUNE 1) TO ALLOW A COMPLETE GROWING SEASON TO BECOME ESTABLISHED.

**A. COVER CROP**

- ANNUAL RYE SHALL BE SPREAD AT A DENSITY OF 20 POUNDS PER ACRE DURING THE PLANTING OR SEEDING OF THE NATIVE PLANT SPECIES TO STABILIZE THE SOIL AND REDUCE THE GROWTH OF UNWANTED VEGETATION. THIS ANNUAL GRASS GROWS RAPIDLY WITHOUT COMPETING WITH THE WILDFLOWERS AND GRASSES THAT ARE PLANTED IN THE TARGET AREAS.
- WINTER WHEAT OR PERENNIAL RYE SHALL NOT BE USED AS A COVER CROP. THESE GRASSES MAY OUT COMPETE PRAIRIE SEEDLINGS, LEADING TO A REDUCTION IN THE SUCCESS OF THE PLANTINGS.

**B. SEED MIX:**

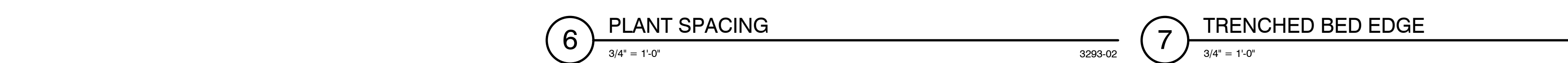
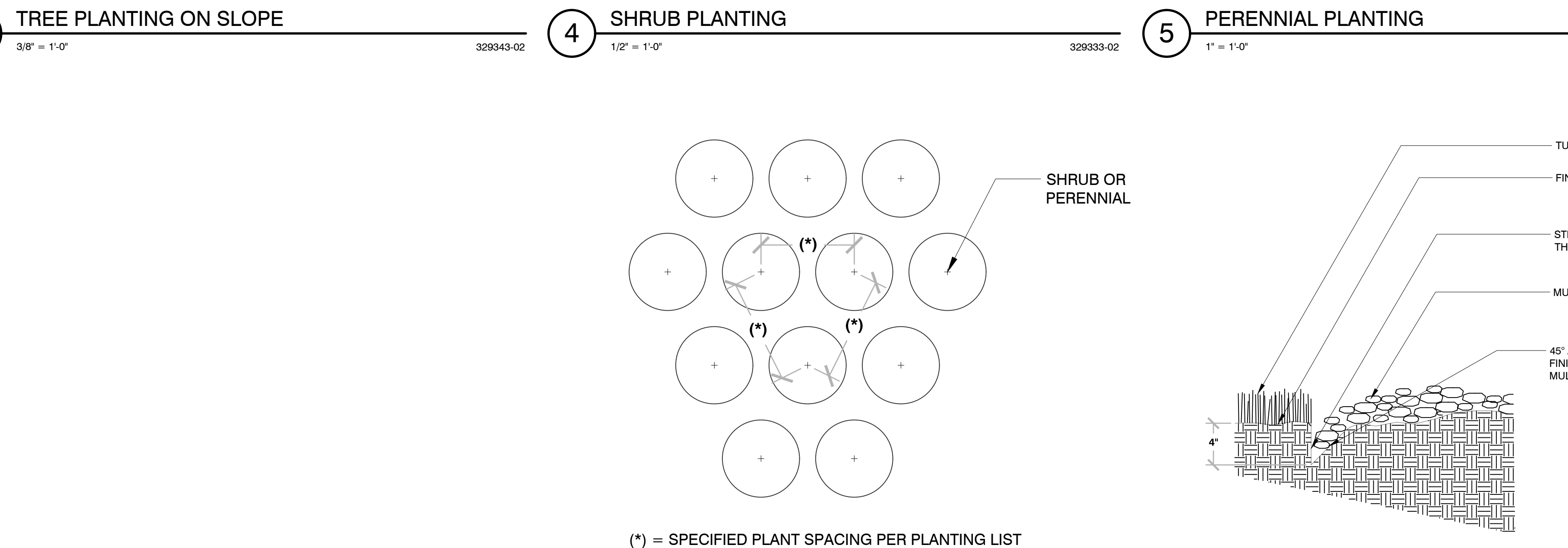
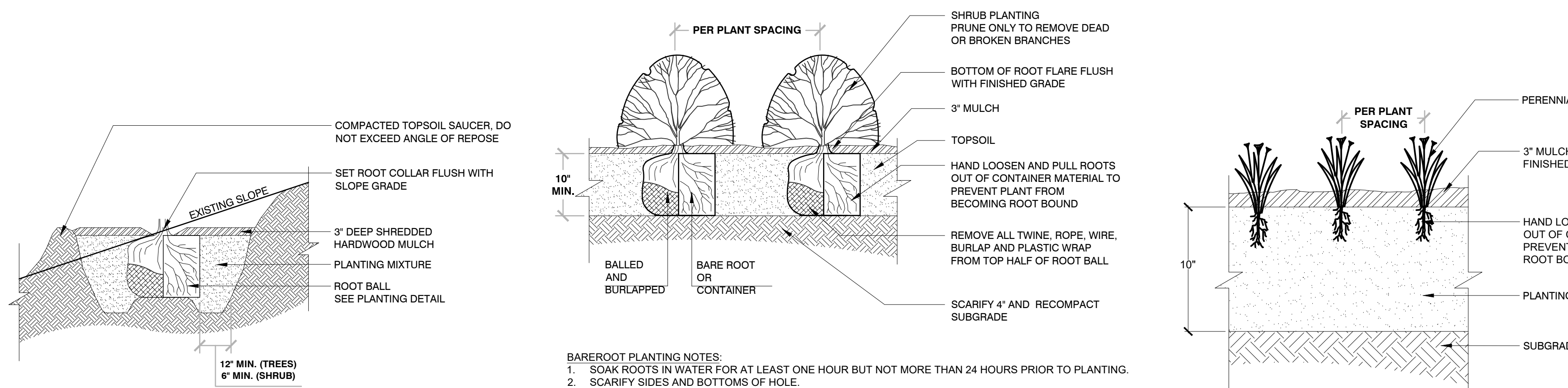
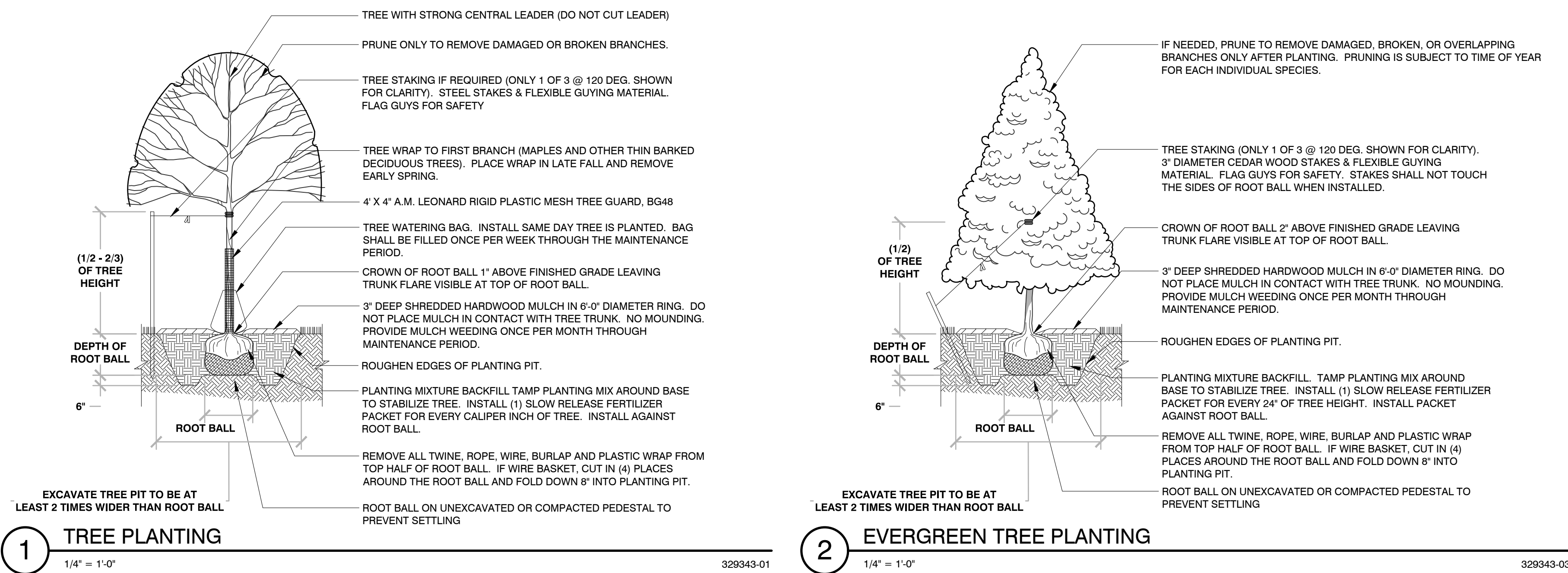
- MIX ALL NATIVE SEED WITH VERMICULITE ACCORDING TO AGRECOL RECOMMENDATIONS AND INSTALLATION GUIDELINES.
- BROADCAST HALF THE SEED OVER THE ENTIRE SITE OR TARGET AREA.
- BROADCAST THE OTHER HALF OF SEED PERPENDICULAR TO THE DIRECTION THAT THE FIRST HALF OF THE SEED WAS BROADCAST.
- COVER SEED WITH 1/4-INCH TO 1/2-INCH OF SOIL (USE ANY EXCESS SOIL FROM THE SITE) WITH RAKE OR DRAG.
- ROLL SITE TO ENSURE FIRM SEED-TO-GROUND CONTACT.
- KEEP SEED CONSTANTLY WET THROUGH GERMINATION PERIOD. GENERALLY 3 WEEKS.

**NATIVE PLANTINGS:**

**WEED SUPPRESSION MEASURES:**

- 1st YEAR** - PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. THIS SHOULD OCCUR APPROXIMATELY EVERY MONTH OF THE GROWING SEASON AFTER NATIVE PLANTINGS HAVE BEEN ROUGH GRADED.
- 2nd YEAR** - IN MAY/JUNE MOW NATIVE PLANTINGS AT 6" HEIGHT TO SUPPRESS THE WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS. HAVE PROFESSIONAL ASSESS PLANTINGS. REPEAT MOWING NATIVE PLANTINGS AND SPOT-SPRAY IN EARLY JULY.
- 3rd YEAR** - IN MAY/JUNE MOW NATIVE PLANTINGS AT 8" HEIGHT TO SUPPRESS THE WEEDS. PERFORM SPOT SPRAY WITH HERBICIDE TO SUPPRESS WEEDS.
- 4th YEAR** - IN MAY PERFORM A PRESCRIBED BURN. IN JUNE HAVE A QUALIFIED PROFESSIONAL ASSESS PLANTINGS. IF A PRESCRIBED BURN CAN NOT BE UTILIZED, NATIVE PLANTINGS SHALL BE CUT TO THE GROUND AND ALL CUT MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF SITE.

LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
OPEN SPACE 71,530 SQ FT		
• TREE 1/3600 SQ FT	20	40
• SHRUBS 3/3600 SQ FT	40	76
NOTE: PARKING LOT TREES & SHRUBS NOT INCLUDED IN THIS SECTION EXTRA TREES WERE ADDED FOR EXISTING TREE REPLACEMENT		
PLANTINGS SIZES:		
• TREE TOTAL 48	4" 50%	24
	2" 50%	24
• EVERGREEN TREE TOTAL 35	8" 50%	18
	6" 50%	17
BUFFERS 240 FT OF TYPE D		
• TREES	36	36
• EVERGREEN TREES	29	29
• SHRUBS	58	58
PARKING INTERIOR 12 ISLANDS		
• TREES 1/ISLAND	12	12
• SHRUBS 3/ISLAND	36	40



DESIGNED: JSI  
CHECKED: JSI  
REVIEWED: JSI  
DATE: 03/20/23

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**NEW BERLIN FABRICATION BUILDING**  
16230 BELOIT ROAD  
NEW BERLIN, WI

**LANDSCAPE GENERAL NOTES & DETAILS**

REVISIONS	
1. CITY COMMENTS	05/09/23

PROJ. NO. 2557-00-WI	TITLE	SHEET
DATE: 03/20/23	LANDSCAPE GENERAL NOTES & DETAILS	L-5
SCALE: VARIES		OF
		L-5

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LANDSCAPE GENERAL NOTES & DETAILS