



# Plan Commission Meeting Agenda

December 2, 2024 - 6:00 PM  
Council Chambers  
3805 S. Casper Drive

Published 11/25/2024

## AGENDA

### 1. PUBLIC HEARING(S)

- A. (7) KW CU-2402462 Bob Bojcic Jr. with Lucky Penny Apothecary & Mercantile - 21415 W. Greenfield Ave. (Tax Key #: 1174.982) - Conditional Use Permit for Lucky Penny Apothecary & Mercantile to re-occupancy an office building. (Public Hearing 6:00 PM)

### 2. PRIVILEGE OF THE FLOOR

### 3. CALL TO ORDER, PLEDGE OF ALLEGIANCE

### 4. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

### 5. APPROVAL OF MINUTES

- A. November 7, 2024 Meeting Minutes

### 6. PLAN COMMISSION SECRETARY'S REPORT

### 7. CONTINUED BUSINESS

### 8. NEW BUSINESS

- A. (7) KW CU-2402462 Bob Bojcic Jr. with Lucky Penny Apothecary & Mercantile - 21415 W. Greenfield Ave. (Tax Key #: 1174.982) - Conditional Use Permit for Lucky Penny Apothecary & Mercantile to re-occupancy an office building. (Public Hearing 6:00 PM)
- B. (1) KN UA-2402528 John Jewell with Jewell Homes LLC on behalf of Douglas Meinen -12412 & 12414 W. Graham St. (Tax Key #: 1156.097) - Use, Site and Architecture to construct a duplex.

### 9. PENDING

### 10. COMMUNICATIONS

### 11. ADJOURN

#### Additional Information

- The agenda packet with supplemental information related to the agenda items is available online at [www.NewBerlinWi.gov](http://www.NewBerlinWi.gov). Once finalized by the governing body, approved meeting minutes are also posted online.
- The governing body may consider agenda items out of order
- Members, and potentially a quorum of other governmental bodies of the municipality, may be present at the meeting to gather information. No action will be taken by any governmental body other than the one referenced in this notice.
- With reasonable notice, accommodations will be provided under the Americans with Disabilities Act to meet the needs of individuals with disabilities through appropriate aids and services. For more information or to request assistance, please contact the Office of the City Clerk at (262) 786-8610.

---

# STAFF REPORT EXECUTIVE SUMMARY

---

**APPLICANT/PROJECT:** Bob Bojcic Jr. / Lucky Penny Apothecary & Mercantile Re-Occupancy

**LOCATION:** 21415 W. Greenfield Avenue (Tax Key #: 1174.982)

**REQUEST:** Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy a portion of the existing building located at 21415 W. Greenfield Avenue.

**D.R.C. RECOMMENDATION:** Public Hearing and possible action to approve a Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy a portion of the existing building located at 21415 W. Greenfield Avenue, subject to the application, plans on file and the following conditions of approval:

**DETAILS IN ATTACHED STAFF REPORT**

**CITY OF NEW BERLIN  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
PLAN COMMISSION STAFF REPORT**

Meeting of December 2, 2024

---

**Bob Bojcic Jr. / Lucky Penny Apothecary & Mercantile  
21415 W. Greenfield Avenue**

---

**DATE STAFF REPORT:** 11/7/2024

**APPLICANT / OWNER(S):** Bob Bojcic Jr. with Lucky Penny Apothecary & Mercantile / Trinity Guild, LLC

**REQUEST / DESCRIPTION OF PROJECT:** Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy the existing building at 21415 W. Greenfield Avenue (Tax Key #: 1174.982).

**DATE OF APPLICATION / DATE FILED WITH CITY CLERK:** 10/18/2024

**DATE OF COMPLETENESS DETERMINATION:** 10/18/2024

Application Check List Enclosed: N

**PRE-APPLICATION CONFERENCE HELD:** N

**CONCEPTUAL PLAN:** N/A

Recommendations Y / N / Other: Not applicable

**SIZE OF DEVELOPMENT / PARCEL (S):** Parcel Size: 1.12 Acres

**CURRENT ZONING:** O-1, Office and Business Service District

**CURRENT LAND USE:** Office

**PROPOSED ZONING:** N/A

**PROPOSED LOT SIZE (S):** N/A

**PROPOSED DENSITY:** N/A

**ADJACENT ZONING AND LAND USE:**

|         |             |                                                       |
|---------|-------------|-------------------------------------------------------|
| (North) | Zoning: O-1 | Land Use: Office (Eclectica Beads)                    |
| (South) | Zoning: R-4 | Land Use: Single-Family Residential District (Vacant) |
| (East)  | Zoning: C-2 | Land Use: Shoreland Wetland Holding District (Vacant) |
| (West)  | Zoning: O-1 | Land Use: Office (Vacant)                             |

**CONFORMANCE WITH MASTER PLAN AND MUNICIPAL CODE:** Yes

**Chapter 11: Neighborhood "A": Greenfield Avenue:** Yes, this submittal meets the intent of this Chapter.

**Planning Context / Vision / Development Policies:**

**Vision:**

- *Greenfield Avenue will be a mixed commercial and residential corridor, and shall act as a gateway to the northern area of New Berlin. The eastern half of the corridor should foster a more urban mix of uses, while the western half should encourage a mix of rural commercial, residential, and environmental features.*

**Development Policies:**

- Create development standards for site layout, building character, and landscaping that are suitable for new development along the corridor.
- Tighten nonconforming lot, structure, and use standards, and require compliance with landscaping regulations. Phase out nonconforming commercial uses over time.

**Land Use:**

- Future Land Use Map: Suburban Commercial

**ZONING CODE (CHAPTER 275):** Yes, this request is consistent with Section 275-35B(1) of the Zoning Code. Contracting and construction sales services is a commercial use in the B-2 zoning district, and therefore is a conditional use in the O-1 zoning district.

**DEVELOPMENT CODE (CHAPTER 235):** N/A

**PUBLIC HEARING REQUIRED:** Yes

**USE / SITE / ARCHITECTURAL REVIEW:**

Conditional Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: No

**PROPOSED ARCHITECTURE:** No changes are being proposed at this time.

**UNIQUE SITE CHARACTERISTICS:**

Environmental Corridor: No

Wetlands on Property: No

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: The property slopes to the southeast.

**ALTERNATIVE TRANSPORTATION PLAN:** No improvements identified.

**PARK & OPEN SPACE PLAN:** No improvements identified.

**NATURAL RESOURCES PROTECTION:**

Limits of Disturbance (LOD): N/A

Woodland, Tree, and Vegetation Protection: N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

**ENVIRONMENTAL IMPACT:** N/A

**STORM WATER MANAGEMENT / DRAINAGE PLAN:** Applicant is required to adhere to all City of New Berlin codes, ordinances and plans regarding storm water conveyance and maintenance and/or as identified by the Department of Community Development.

**SANITARY SEWER PROVISION:**

Within Current Sewer Service Area: No

Sewershed Capacity Available: N/A

Adequate Linkage: N/A

**Onsite System Required:** Yes

**WATER USAGE CALCULATION:** Similar to previous uses and other existing tenants.

**TRAFFIC IMPACT:** Similar to previous uses and other existing tenants.

**SCHOOL DISTRICT IMPACT:** N/A

**PREVIOUS ACTION:**

|           |                                                       |
|-----------|-------------------------------------------------------|
| 1949      | Building constructed                                  |
| 6/6/1988  | Re-occupancy for Midwest Air – Greenfield Place       |
| 8/15/2017 | Re-occupancy for Caravella Agenda – Farmers Insurance |
| 6/25/2022 | Re-occupancy for Casa Calm                            |
| 6/28/2022 | Re-occupancy for Ravenrock Reiki Pilates & Art        |
| 8/29/2022 | Re-occupancy for Miracle Ease                         |

**CONSISTENCY WITH PREVIOUS ACTION:** Yes

**FINDINGS:**

1. In a traditional situation, the re-occupancy application would be handled administratively. However, retail commercial uses are a commercial use in the O-1 District. The applicant is required to follow the Conditional Use process.
2. Re-occupancy will require a Public Hearing and approval from the Plan Commission for Conditional Use Permit to re-occupy the existing building.
3. Plan of operation shall be consistent with plans on file. Applicant is requesting to reoccupy a portion of the existing building as a retail business.
  - a. Hours of operation: 9:00 AM to 5:00 PM Monday – Friday.
  - b. Number of employees: 2
4. No other outdoor storage of materials permitted for this business. Dumpsters shall be properly screened from street and public view in accordance with Article VIII Section 275-56 of the New Berlin Municipal Ordinance.
5. A site visit will be performed after issuance of the Zoning Permit. Per Section 275-53B(1)(11) All existing nonconformities and outstanding code violations shall be identified, resolved, and remedied by the deadline dates.
6. This application does not include any interior or exterior building modifications. Separate applications and permits are required for any modifications.
7. Building shall be fully accessible from the parking lot to the interior elements (SPS 363.1101 and ICC/ANSI A117.1).
8. An occupancy inspection of the facility will be required by the City of New Berlin Building Inspection Division and Fire Department. Please be sure to schedule your fire inspection with your occupancy inspection.
9. Inspection Comments:
  - a. A re-occupancy Inspection (building and fire) of the facility will be required by the City of New Berlin Inspection Division. This inspection is separate from the building permit inspections.
  - b. Remodeling: Any alterations shall require that the building plans be signed and stamped by a licensed architect or professional engineer per the Wisconsin Enrolled Commercial Building Code (SPS 361.31). Apply and obtain appropriate building, electric, plumbing and fire department permits.

- c. All EXIT signs and emergency lighting must be functional. Upgrading exit signs to units with emergency lighting required.
- d. Sprinkler system and fire extinguishers must have proof of yearly maintenance.
- e. Apply and obtain appropriate building, electric, plumbing and fire department permits.
- f. Building shall meet all applicable building and fire codes.
- g. Violations shall be corrected within 10 business days per the fire inspector, Re-inspection required.

10. Fire Comments:

- a. Maintain fire sprinkler coverage throughout.
- b. Key for Knox box is required.
- c. Provide fire extinguishers every 75' of travel.
- d. Maintain egress/emergency lighting throughout.
- e. Name and address on front and rear where applicable.

11. Per Section 275-27C. Approval criteria: *"The Plan Commission of the City of New Berlin will grant approval of conditional use permits only if it finds that the proposed use complies with all relevant regulations set forth in this chapter, including, but not limited to, § 275-41, Use-specific regulations, and Article VIII, General Development Regulations. Per § 66.1001(2m)(b), Wis. Stats., a conditional use does not need to be consistent with the City's Comprehensive Plan."*

(1) *Approval of a conditional use. Recommendations and decisions on conditional uses should be based on consideration of the following criteria:*

- (a) *Whether the proposed use corrects an error or meets the challenge of some changing condition, trend, or fact;*
- (b) *Whether the proposed use is consistent with the health, safety, or general welfare of the general public;*
- (c) *Whether the proposed use will protect the natural environment, including, but not limited to air, water, storm water management, wildlife, and vegetation.*

(2) *Changes to the use. In acting on a conditional use, the Plan Commission/CDA shall consider the stated purpose of the proposed use and shall approve the petition only if it finds that the applicant has provided substantial evidence as that term is defined in Wis. Stats. § 62.23(7) that the use will meet the following criteria for approval:*

- (a) *Adequate public facilities and services (including sewage and waste disposal, water, gas, electricity, schools, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;*

Yes, the proposed request is compliant.

- (b) *Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of the City to provide them;*

Yes, the proposed request is compliant.

- (c) *The proposed development has taken into account impacts on surrounding properties or the natural environment, including traffic, air, water, noise, stormwater management, soils, wildlife, and vegetation;*

Yes, the proposed request is compliant.

- (d) *The land is suitable for development and will not cause unreasonable soil erosion or have an unreasonable adverse effect on rare or irreplaceable natural areas; and*

Yes, the proposed request is compliant.

- (e) *The proposed use will not be used to legitimize a nonconforming use or structure*

Yes, the proposed request is compliant. A previous business was a security company at this location. They had a similar plan of operation.

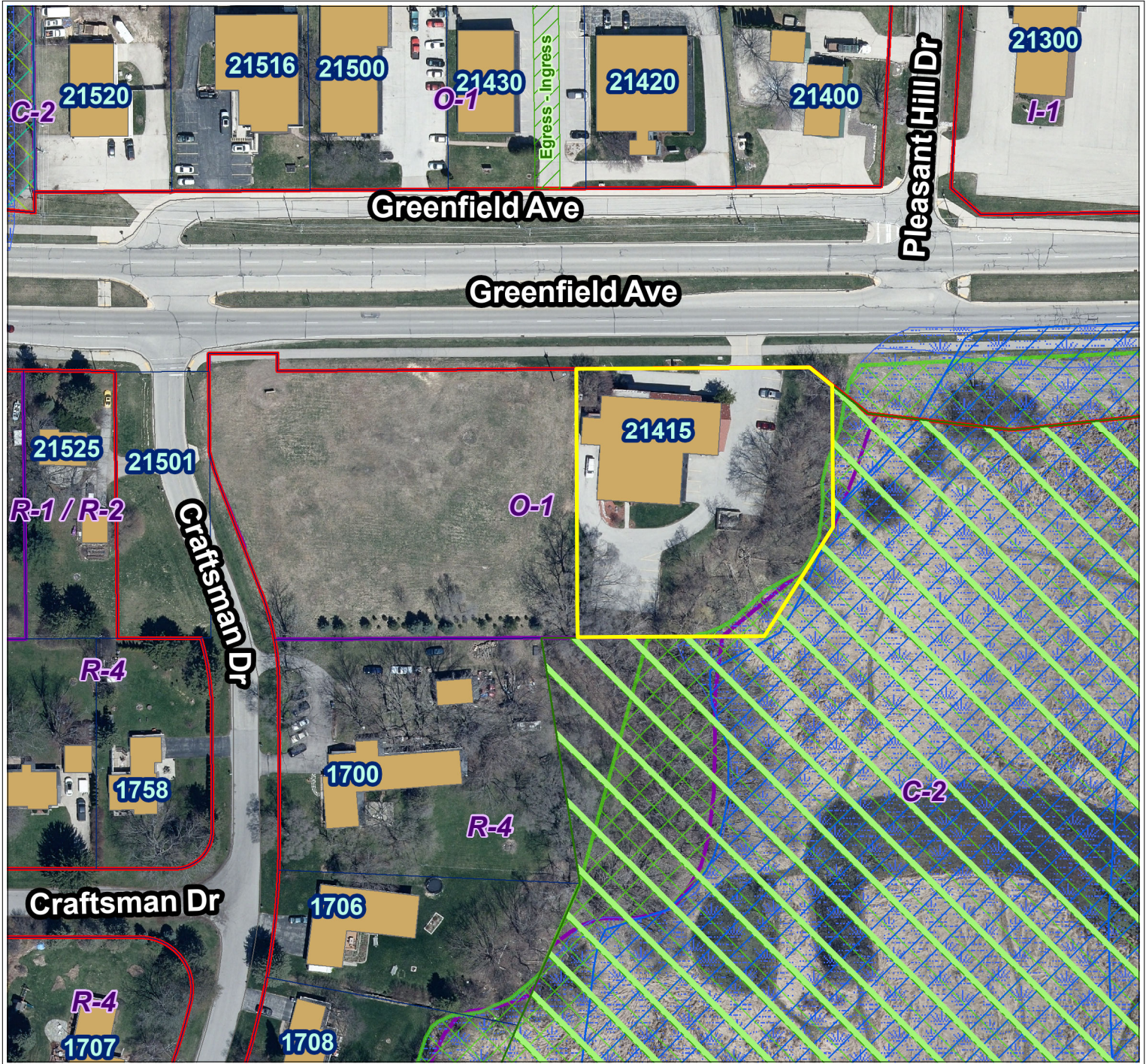
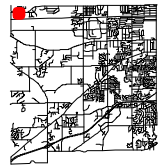
**D.R.C. RECOMMENDATION:**

Public Hearing and possible action to approve a Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy a portion of the existing building located at 21415 W. Greenfield Avenue, subject to the application, plans on file and the following conditions of approval. **SEE EXECUTIVE SUMMARY.**

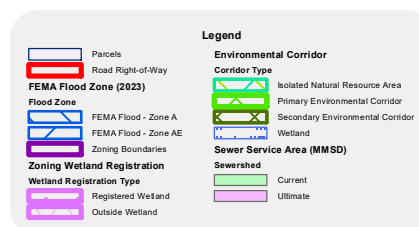
**Attachments:**

Location Map  
Plan of Operation

CU-2402462  
Lucky Penny Apothecary & Mercantile  
21415 W. Greenfield Avenue

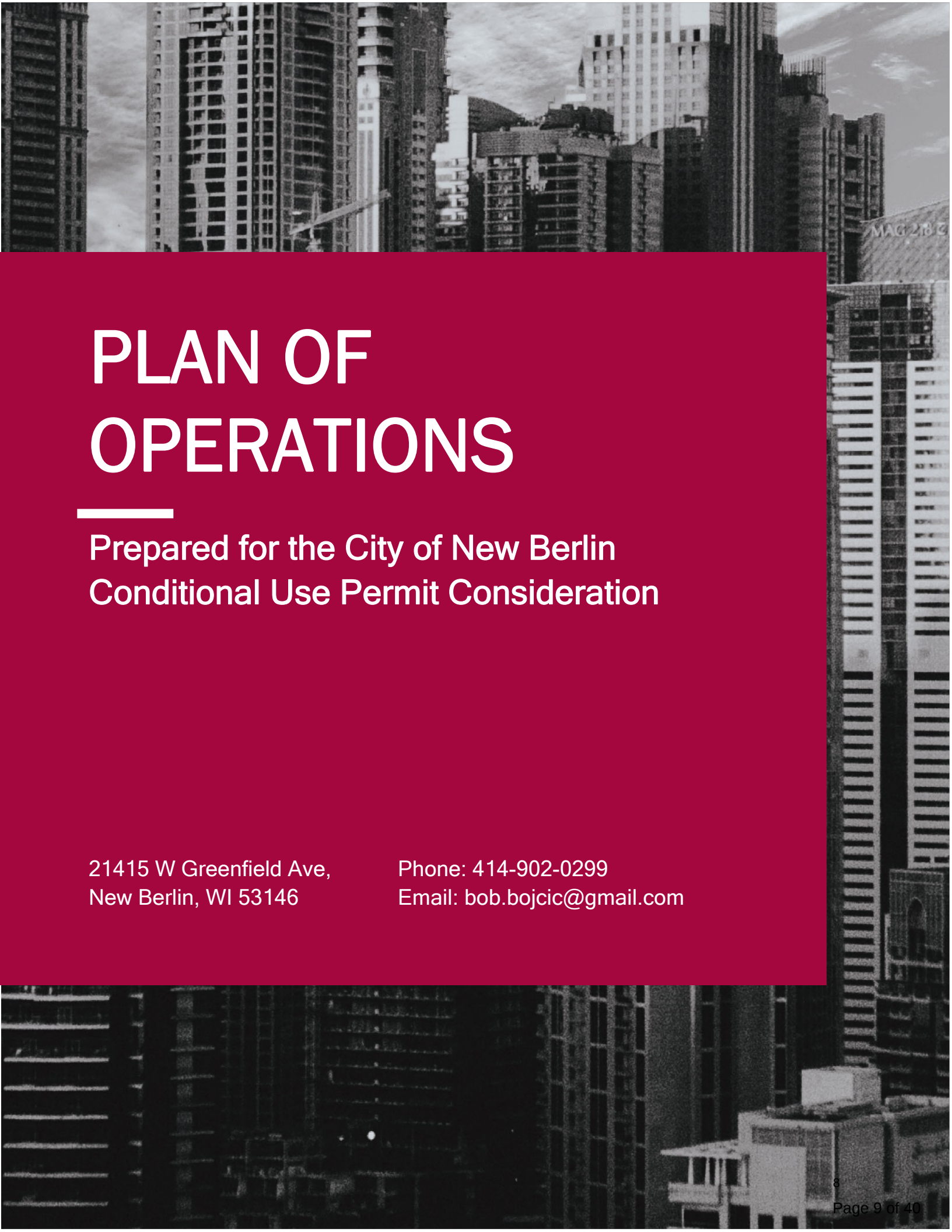


City of New Berlin  
Department of Community Development  
3805 S Casper Dr.  
New Berlin WI 53151  
(262) 797-2445  
www.newberlin.org



0 50 100 Feet

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The information and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.



# PLAN OF OPERATIONS

---

Prepared for the City of New Berlin  
Conditional Use Permit Consideration

21415 W Greenfield Ave,  
New Berlin, WI 53146

Phone: 414-902-0299  
Email: [bob.bojcic@gmail.com](mailto:bob.bojcic@gmail.com)

## Business Plan for Bob and Bethany Bojcic

### 1. Business Overview

- **Name:** TO BE DETERMINED
- **Location:** 21415 W Greenfield Ave, New Berlin, WI 53146
- **Mission Statement:** To provide high-quality herbal remedies, wellness products, and artisanal goods to promote health and well-being within the community.
- **Hours of Operation:** will ramp up to 9:00 A.M. to 5:00 P.M., Monday through Friday.

### 2. Target Market

- Health-conscious individuals
- Herbal remedy enthusiasts
- Local artisans and crafters
- Wellness practitioners (e.g., holistic doctors, naturopaths)
- Individuals suffering from chronic illness

### 3. Products and Services

- **Herbal Remedies:**
  - Teas, salves, and powders
- **Essential Oils:**
  - A range of pure essential oils and blends
- **Health Supplements:**
  - Vitamins, minerals, and natural supplements
- **Artisanal Goods:**
  - Locally sourced crafts, candles, soaps, and pottery

### 4. Operations Management

- **Inventory Management:**
  - Establish relationships with reputable suppliers.
  - Maintain an organized inventory system (e.g., POS system).
  - Regularly review stock levels and reorder as needed.
- **Storage and Organization:**
  - Set up a designated area for storage of raw materials and finished products.
  - Ensure proper labeling and categorization of inventory.
- **Quality Control:**
  - Implement procedures for testing and validating product quality.
  - Regularly assess supplier quality and product feedback.

### 5. Staffing

- **Hiring:**
  - Employ knowledgeable staff with backgrounds in herbal medicine, retail, and customer service.
- **Training:**
  - Provide ongoing training on product knowledge, customer service, and compliance.

- **Roles (2 Employees, Bob and Bethany Bojcic):**
  - Business Manager: Oversees strategic, financial and operations planning.
  - Store Manager: Assist customers and manage the retail space as well as promotions and community outreach.

## 6. Customer Service

- **Engagement:**
  - Provide personalized service and recommendations.
  - Implement a feedback system for continuous improvement.
- **Loyalty Programs:**
  - Develop a rewards program for repeat customers.
- **Workshops and Events:**
  - Host educational workshops on herbal medicine and wellness topics.

## 7. Marketing Strategy

- **Branding:**
  - Develop a strong brand identity (logo, color scheme, etc.).
- **Online Presence:**
  - Create a user-friendly website with e-commerce capabilities.
  - Utilize social media platforms (Instagram, Facebook, etc.) for engagement.
- **Community Involvement:**
  - Partner with local wellness events, farmers' markets, and community fairs.
- **Advertising:**
  - Use local publications, flyers, and online ads to reach target customers.

## 8. Compliance and Regulations

- **Licensing:**
  - Obtain necessary business licenses and permits for product offerings.
- **Labeling:**
  - Ensure all products are labeled in compliance with regulations.
- **Safety and Health Regulations:**
  - Adhere to local health codes regarding the sale of consumables.

## 9. Financial Management

- **Budgeting:**
  - Create a detailed budget for startup costs, operational expenses, and marketing.
- **Accounting:**
  - Use accounting software to track sales, expenses, and inventory.
- **Financial Projections:**
  - Develop short-term and long-term financial forecasts based on market research.

## 10. Evaluation and Improvement

- **Performance Metrics:**
  - Track sales, customer satisfaction, and inventory turnover rates.
- **Regular Reviews:**
  - Schedule quarterly reviews to assess business performance and make necessary adjustments.
- **Adaptation:**
  - Stay informed about industry trends and adjust product offerings and marketing strategies accordingly.



# Plan Commission MEETING MINUTES

November 7, 2024 - 6:00 PM  
Council Chambers  
3805 S. Casper Drive

*Please note: Minutes are unofficial until approved at the next scheduled meeting.*

## MINUTES

### 1. PUBLIC HEARING(S)

None

### 2. PRIVILEGE OF THE FLOOR

None

### 3. CALL TO ORDER, PLEDGE OF ALLEGIANCE

Alderman Stribl called the meeting to order at 6:00PM and led the Pledge of Allegiance.

### 4. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Community Relations Specialist Joelle Erickson took the roll call as follows:

Present: Commissioner Schulpius, Commissioner Felda, Commissioner Anderson, Commissioner Rafel, Alderperson Stribl

Excused: Commissioner Brian McGrath, Mayor Dave Ament

Staff Present: DCD Deputy Director Nikki Jones, City Attorney Mark Blum, Principal Planner Kelly Wall, Community Relations Specialist Joelle Erickson

### 5. APPROVAL OF MINUTES

#### A. October 7, 2024 Meeting Minutes

**MOTION:** Motion to Approve Minutes

**VOTE:** Motion by: Commissioner Schulpius  
Second by: Commissioner Anderson  
Motion Passes 4-0\*

\*Commissioner Felda abstained from voting

### 6. PLAN COMMISSION SECRETARY'S REPORT

None

### 7. CONTINUED BUSINESS

None

### 8. NEW BUSINESS

- A.** (7) KW CP-2401974 Sherri Meyer on behalf of Holy Apostles Congregation - 15856 W. National Avenue (Tax Key #: 1212-993) and a portion of the property located at 16000 W. National Avenue (Tax Key #: 1212-991-002) - Request to amend the Future Land Use Map within the City's Comprehensive Plan from Suburban Commercial Institutional. (Public Hearing 10/7/2024).

**MOTION:** Motion to Approve as Presented

**VOTE:** Motion by: Commissioner Anderson  
Second by: Commissioner Schulpus  
Motion Passes 5-0

- B.** (7) KW RZ-2401975 Sherri Meyer on behalf of Holy Apostles Congregation - 15856 W. National Avenue (Tax Key #: 1212-993) and a portion of the property located at 16000 W. National Avenue (Tax Key #: 1212-991-002) - Request to rezone from B-2 to I-1. (Public Hearing 10/7/2024).

**MOTION:** Motion to Approve as Presented

**VOTE:** Motion by: Commissioner Felda  
Second by: Commissioner Rafel  
Motion Passes 5-0

- C.** (7) KW LD-2401976 Sherri Meyer on behalf of Holy Apostles Congregation - 15856 W. National Avenue (Tax Key #: 1212-993) and 16000 W. National Avenue (Tax Key #: 1212-991-002) - 1-Lot CSM.

**MOTION:** Motion to Approve as Presented

**VOTE:** Motion by: Commissioner Schulpus  
Second by: Commissioner Rafel  
Motion Passes 5-0

**9. PENDING**

None

**10. COMMUNICATIONS**

None

**11. ADJOURN**

**MOTION:** Motion to Adjourn at 6:05PM

**VOTE:** Motion by: Commissioner Rafel  
Second by: Commissioner Anderson  
Motion Passes 5-0

*Respectfully Submitted,  
Joelle Erickson, Community Relations Specialist*

---

# STAFF REPORT EXECUTIVE SUMMARY

---

**APPLICANT/PROJECT:** Bob Bojcic Jr. / Lucky Penny Apothecary & Mercantile Re-Occupancy

**LOCATION:** 21415 W. Greenfield Avenue (Tax Key #: 1174.982)

**REQUEST:** Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy a portion of the existing building located at 21415 W. Greenfield Avenue.

**D.R.C. RECOMMENDATION:** Public Hearing and possible action to approve a Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy a portion of the existing building located at 21415 W. Greenfield Avenue, subject to the application, plans on file and the following conditions of approval:

**DETAILS IN ATTACHED STAFF REPORT**

**CITY OF NEW BERLIN  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
PLAN COMMISSION STAFF REPORT**

Meeting of December 2, 2024

---

**Bob Bojcic Jr. / Lucky Penny Apothecary & Mercantile  
21415 W. Greenfield Avenue**

---

**DATE STAFF REPORT:** 11/7/2024

**APPLICANT / OWNER(S):** Bob Bojcic Jr. with Lucky Penny Apothecary & Mercantile / Trinity Guild, LLC

**REQUEST / DESCRIPTION OF PROJECT:** Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy the existing building at 21415 W. Greenfield Avenue (Tax Key #: 1174.982).

**DATE OF APPLICATION / DATE FILED WITH CITY CLERK:** 10/18/2024

**DATE OF COMPLETENESS DETERMINATION:** 10/18/2024

Application Check List Enclosed: N

**PRE-APPLICATION CONFERENCE HELD:** N

**CONCEPTUAL PLAN:** N/A

Recommendations Y / N / Other: Not applicable

**SIZE OF DEVELOPMENT / PARCEL (S):** Parcel Size: 1.12 Acres

**CURRENT ZONING:** O-1, Office and Business Service District

**CURRENT LAND USE:** Office

**PROPOSED ZONING:** N/A

**PROPOSED LOT SIZE (S):** N/A

**PROPOSED DENSITY:** N/A

**ADJACENT ZONING AND LAND USE:**

|         |             |                                                       |
|---------|-------------|-------------------------------------------------------|
| (North) | Zoning: O-1 | Land Use: Office (Eclectica Beads)                    |
| (South) | Zoning: R-4 | Land Use: Single-Family Residential District (Vacant) |
| (East)  | Zoning: C-2 | Land Use: Shoreland Wetland Holding District (Vacant) |
| (West)  | Zoning: O-1 | Land Use: Office (Vacant)                             |

**CONFORMANCE WITH MASTER PLAN AND MUNICIPAL CODE:** Yes

**Chapter 11: Neighborhood "A": Greenfield Avenue:** Yes, this submittal meets the intent of this Chapter.

**Planning Context / Vision / Development Policies:**

**Vision:**

- *Greenfield Avenue will be a mixed commercial and residential corridor, and shall act as a gateway to the northern area of New Berlin. The eastern half of the corridor should foster a more urban mix of uses, while the western half should encourage a mix of rural commercial, residential, and environmental features.*

**Development Policies:**

- Create development standards for site layout, building character, and landscaping that are suitable for new development along the corridor.
- Tighten nonconforming lot, structure, and use standards, and require compliance with landscaping regulations. Phase out nonconforming commercial uses over time.

**Land Use:**

- Future Land Use Map: Suburban Commercial

**ZONING CODE (CHAPTER 275):** Yes, this request is consistent with Section 275-35B(1) of the Zoning Code. Contracting and construction sales services is a commercial use in the B-2 zoning district, and therefore is a conditional use in the O-1 zoning district.

**DEVELOPMENT CODE (CHAPTER 235):** N/A

**PUBLIC HEARING REQUIRED:** Yes

**USE / SITE / ARCHITECTURAL REVIEW:**

Conditional Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: No

**PROPOSED ARCHITECTURE:** No changes are being proposed at this time.

**UNIQUE SITE CHARACTERISTICS:**

Environmental Corridor: No

Wetlands on Property: No

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: Not Inventoried

Floodplain: No

Topography / Geologic: The property slopes to the southeast.

**ALTERNATIVE TRANSPORTATION PLAN:** No improvements identified.

**PARK & OPEN SPACE PLAN:** No improvements identified.

**NATURAL RESOURCES PROTECTION:**

Limits of Disturbance (LOD): N/A

Woodland, Tree, and Vegetation Protection: N/A

Wildlife Habitat Protection: N/A

Wildlife Management Plan: N/A

**ENVIRONMENTAL IMPACT:** N/A

**STORM WATER MANAGEMENT / DRAINAGE PLAN:** Applicant is required to adhere to all City of New Berlin codes, ordinances and plans regarding storm water conveyance and maintenance and/or as identified by the Department of Community Development.

**SANITARY SEWER PROVISION:**

Within Current Sewer Service Area: No

Sewershed Capacity Available: N/A

Adequate Linkage: N/A

**Onsite System Required:** Yes

**WATER USAGE CALCULATION:** Similar to previous uses and other existing tenants.

**TRAFFIC IMPACT:** Similar to previous uses and other existing tenants.

**SCHOOL DISTRICT IMPACT:** N/A

**PREVIOUS ACTION:**

|           |                                                       |
|-----------|-------------------------------------------------------|
| 1949      | Building constructed                                  |
| 6/6/1988  | Re-occupancy for Midwest Air – Greenfield Place       |
| 8/15/2017 | Re-occupancy for Caravella Agenda – Farmers Insurance |
| 6/25/2022 | Re-occupancy for Casa Calm                            |
| 6/28/2022 | Re-occupancy for Ravenrock Reiki Pilates & Art        |
| 8/29/2022 | Re-occupancy for Miracle Ease                         |

**CONSISTENCY WITH PREVIOUS ACTION:** Yes

**FINDINGS:**

1. In a traditional situation, the re-occupancy application would be handled administratively. However, retail commercial uses are a commercial use in the O-1 District. The applicant is required to follow the Conditional Use process.
2. Re-occupancy will require a Public Hearing and approval from the Plan Commission for Conditional Use Permit to re-occupy the existing building.
3. Plan of operation shall be consistent with plans on file. Applicant is requesting to reoccupy a portion of the existing building as a retail business.
  - a. Hours of operation: 9:00 AM to 5:00 PM Monday – Friday.
  - b. Number of employees: 2
4. No other outdoor storage of materials permitted for this business. Dumpsters shall be properly screened from street and public view in accordance with Article VIII Section 275-56 of the New Berlin Municipal Ordinance.
5. A site visit will be performed after issuance of the Zoning Permit. Per Section 275-53B(1)(11) All existing nonconformities and outstanding code violations shall be identified, resolved, and remedied by the deadline dates.
6. This application does not include any interior or exterior building modifications. Separate applications and permits are required for any modifications.
7. Building shall be fully accessible from the parking lot to the interior elements (SPS 363.1101 and ICC/ANSI A117.1).
8. An occupancy inspection of the facility will be required by the City of New Berlin Building Inspection Division and Fire Department. Please be sure to schedule your fire inspection with your occupancy inspection.
9. Inspection Comments:
  - a. A re-occupancy Inspection (building and fire) of the facility will be required by the City of New Berlin Inspection Division. This inspection is separate from the building permit inspections.
  - b. Remodeling: Any alterations shall require that the building plans be signed and stamped by a licensed architect or professional engineer per the Wisconsin Enrolled Commercial Building Code (SPS 361.31). Apply and obtain appropriate building, electric, plumbing and fire department permits.

- c. All EXIT signs and emergency lighting must be functional. Upgrading exit signs to units with emergency lighting required.
- d. Sprinkler system and fire extinguishers must have proof of yearly maintenance.
- e. Apply and obtain appropriate building, electric, plumbing and fire department permits.
- f. Building shall meet all applicable building and fire codes.
- g. Violations shall be corrected within 10 business days per the fire inspector, Re-inspection required.

10. Fire Comments:

- a. Maintain fire sprinkler coverage throughout.
- b. Key for Knox box is required.
- c. Provide fire extinguishers every 75' of travel.
- d. Maintain egress/emergency lighting throughout.
- e. Name and address on front and rear where applicable.

11. Per Section 275-27C. Approval criteria: *"The Plan Commission of the City of New Berlin will grant approval of conditional use permits only if it finds that the proposed use complies with all relevant regulations set forth in this chapter, including, but not limited to, § 275-41, Use-specific regulations, and Article VIII, General Development Regulations. Per § 66.1001(2m)(b), Wis. Stats., a conditional use does not need to be consistent with the City's Comprehensive Plan."*

(1) *Approval of a conditional use. Recommendations and decisions on conditional uses should be based on consideration of the following criteria:*

- (a) *Whether the proposed use corrects an error or meets the challenge of some changing condition, trend, or fact;*
- (b) *Whether the proposed use is consistent with the health, safety, or general welfare of the general public;*
- (c) *Whether the proposed use will protect the natural environment, including, but not limited to air, water, storm water management, wildlife, and vegetation.*

(2) *Changes to the use. In acting on a conditional use, the Plan Commission/CDA shall consider the stated purpose of the proposed use and shall approve the petition only if it finds that the applicant has provided substantial evidence as that term is defined in Wis. Stats. § 62.23(7) that the use will meet the following criteria for approval:*

- (a) *Adequate public facilities and services (including sewage and waste disposal, water, gas, electricity, schools, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development;*

Yes, the proposed request is compliant.

- (b) *Provision of public facilities to accommodate development will not place an unreasonable burden on the ability of the City to provide them;*

Yes, the proposed request is compliant.

- (c) *The proposed development has taken into account impacts on surrounding properties or the natural environment, including traffic, air, water, noise, stormwater management, soils, wildlife, and vegetation;*

Yes, the proposed request is compliant.

- (d) *The land is suitable for development and will not cause unreasonable soil erosion or have an unreasonable adverse effect on rare or irreplaceable natural areas; and*

Yes, the proposed request is compliant.

- (e) *The proposed use will not be used to legitimize a nonconforming use or structure*

Yes, the proposed request is compliant. A previous business was a security company at this location. They had a similar plan of operation.

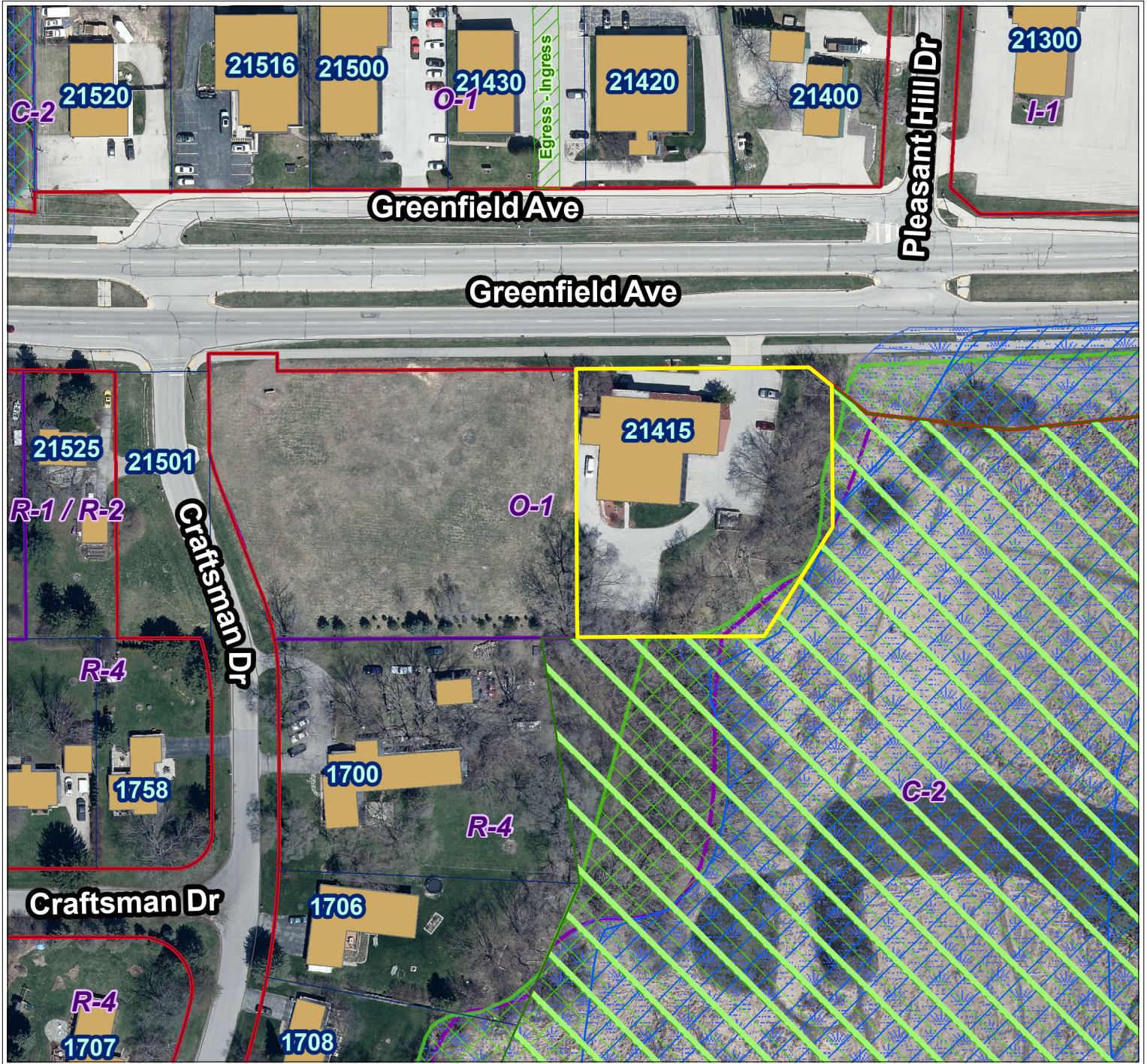
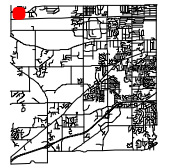
**D.R.C. RECOMMENDATION:**

Public Hearing and possible action to approve a Conditional Use Permit for Lucky Penny Apothecary & Mercantile to reoccupy a portion of the existing building located at 21415 W. Greenfield Avenue, subject to the application, plans on file and the following conditions of approval. **SEE EXECUTIVE SUMMARY.**

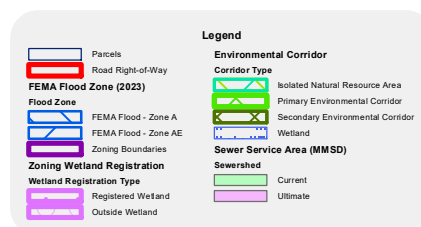
**Attachments:**

Location Map  
Plan of Operation

CU-2402462  
Lucky Penny Apothecary & Mercantile  
21415 W. Greenfield Avenue

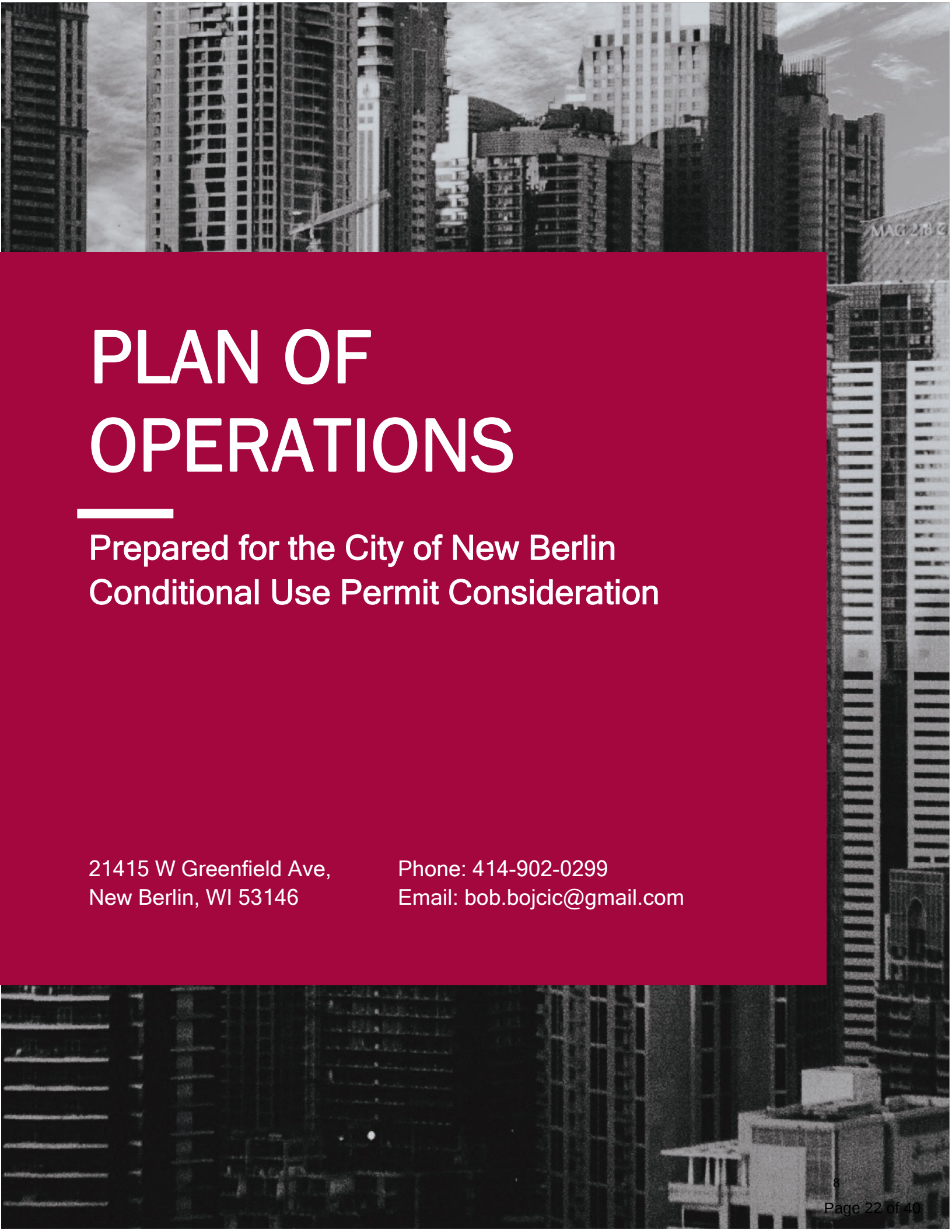


City of New Berlin  
Department of Community Development  
3805 S Casper Dr.  
New Berlin WI 53151  
(262) 797-2445  
www.newberlin.org



0 50 100 Feet

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The information and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.



# PLAN OF OPERATIONS

---

Prepared for the City of New Berlin  
Conditional Use Permit Consideration

21415 W Greenfield Ave,  
New Berlin, WI 53146

Phone: 414-902-0299  
Email: [bob.bojcic@gmail.com](mailto:bob.bojcic@gmail.com)

## Business Plan for Bob and Bethany Bojcic

### 1. Business Overview

- **Name:** TO BE DETERMINED
- **Location:** 21415 W Greenfield Ave, New Berlin, WI 53146
- **Mission Statement:** To provide high-quality herbal remedies, wellness products, and artisanal goods to promote health and well-being within the community.
- **Hours of Operation:** will ramp up to 9:00 A.M. to 5:00 P.M., Monday through Friday.

### 2. Target Market

- Health-conscious individuals
- Herbal remedy enthusiasts
- Local artisans and crafters
- Wellness practitioners (e.g., holistic doctors, naturopaths)
- Individuals suffering from chronic illness

### 3. Products and Services

- **Herbal Remedies:**
  - Teas, salves, and powders
- **Essential Oils:**
  - A range of pure essential oils and blends
- **Health Supplements:**
  - Vitamins, minerals, and natural supplements
- **Artisanal Goods:**
  - Locally sourced crafts, candles, soaps, and pottery

### 4. Operations Management

- **Inventory Management:**
  - Establish relationships with reputable suppliers.
  - Maintain an organized inventory system (e.g., POS system).
  - Regularly review stock levels and reorder as needed.
- **Storage and Organization:**
  - Set up a designated area for storage of raw materials and finished products.
  - Ensure proper labeling and categorization of inventory.
- **Quality Control:**
  - Implement procedures for testing and validating product quality.
  - Regularly assess supplier quality and product feedback.

### 5. Staffing

- **Hiring:**
  - Employ knowledgeable staff with backgrounds in herbal medicine, retail, and customer service.
- **Training:**
  - Provide ongoing training on product knowledge, customer service, and compliance.

- **Roles (2 Employees, Bob and Bethany Bojcic):**
  - Business Manager: Oversees strategic, financial and operations planning.
  - Store Manager: Assist customers and manage the retail space as well as promotions and community outreach.

## 6. Customer Service

- **Engagement:**
  - Provide personalized service and recommendations.
  - Implement a feedback system for continuous improvement.
- **Loyalty Programs:**
  - Develop a rewards program for repeat customers.
- **Workshops and Events:**
  - Host educational workshops on herbal medicine and wellness topics.

## 7. Marketing Strategy

- **Branding:**
  - Develop a strong brand identity (logo, color scheme, etc.).
- **Online Presence:**
  - Create a user-friendly website with e-commerce capabilities.
  - Utilize social media platforms (Instagram, Facebook, etc.) for engagement.
- **Community Involvement:**
  - Partner with local wellness events, farmers' markets, and community fairs.
- **Advertising:**
  - Use local publications, flyers, and online ads to reach target customers.

## 8. Compliance and Regulations

- **Licensing:**
  - Obtain necessary business licenses and permits for product offerings.
- **Labeling:**
  - Ensure all products are labeled in compliance with regulations.
- **Safety and Health Regulations:**
  - Adhere to local health codes regarding the sale of consumables.

## 9. Financial Management

- **Budgeting:**
  - Create a detailed budget for startup costs, operational expenses, and marketing.
- **Accounting:**
  - Use accounting software to track sales, expenses, and inventory.
- **Financial Projections:**
  - Develop short-term and long-term financial forecasts based on market research.

## 10. Evaluation and Improvement

- **Performance Metrics:**
  - Track sales, customer satisfaction, and inventory turnover rates.
- **Regular Reviews:**
  - Schedule quarterly reviews to assess business performance and make necessary adjustments.
- **Adaptation:**
  - Stay informed about industry trends and adjust product offerings and marketing strategies accordingly.

---

# STAFF REPORT

## EXECUTIVE SUMMARY

---

**APPLICANT/PROJECT:** John Jewell with Jewell Homes LLC / Douglas Meinen Duplex

**LOCATION:** 12412 & 12414 W. Graham Street (Tax Key #: 1156.097)

**REQUEST:** Use, Site and Architecture approval for Jewell Homes LLC to construct a duplex located at 12412 & 12414 W. Graham Street (Tax Key #: 1156.097)

**D.R.C. RECOMMENDATION:** Approval of the Use, Site and Architecture approval for Jewell Homes LLC to construct a duplex located at 12412 & 12414 W. Graham Street (Tax Key #: 1156.097) subject to the application, plans on file and the following conditions of approval:

### 1. Planning:

- a. Plan of operation shall be consistent with submitted plans on file. The applicant is proposing to construct a duplex.
- b. Architecture Review Committee approval required.
- c. The setbacks of the Rd-1 Zoning District are: 40' Front (east - 124<sup>th</sup> Street), 40' front/side on corner (south - Graham Street), 15' Side (north), and 40' Rear (west). Per §275-30.1 of the Zoning Code, *"Upon review and approval of an application for an administrative adjustment, the Director has the authority to grant a dimensional variance to the setbacks for new structures, additions to existing structures or accessory buildings in the amount of 20% of the required setback."*
  - i. The Director has approved a 20% administrative adjustment for this duplex due to this being an existing lot of record, a duplex is a principal use in this district, and the lot dimensions are less than the requirements outlined in the Zoning Code. The adjusted setbacks are 32' front (east), 32' front (south), 12' side (north) and 32' rear (west).
  - ii. The applicant is proposing to construct a duplex with the following setbacks: 32' front (east - 124<sup>th</sup> Street), 32.5' front (south - Graham Street), 13.5' side (north), and 32' rear (west).

### 2. Building Inspection:

- a. Must follow all requirements of the Uniform Dwelling Code.
- b. See DSPS Online Building Permit System for '2 Family'.
- c. See SPS 321.08 (2)(a) General - Extend party wall to underside of roof.
- d. Your Occupancy Certificate will not be issued until all the following have passed:
  - i. Building, HVAC, Plumbing and Electric inspections.
  - ii. All required paperwork (as noted on your permit) has been received.
  - iii. Erosion control has been inspected.

iv. Storm water, Engineering and Planning inspections.

3. Storm water:

- a. Blocking of drainage is prohibited.
- b. The sump discharge pipe shall be to the front of the building.
- c. Downspout and sump pump discharge shall not be located closer than 10' from the property line and adequately dispersed.

4. Engineering/Utility:

- a. Clarify location of water meter(s).
- b. Private well is required for water supply.
- c. Coordinate with Utility on sanitary connections. Sites are allowed one (1) sanitary lateral connection.

**DETAILS IN ATTACHED STAFF REPORT**

**CITY OF NEW BERLIN  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
PLAN COMMISSION STAFF REPORT**

Meeting of December 2, 2024

---

**John Jewell with Jewell Homes LLC / Douglas Meinen Duplex  
12412 & 12414 W. Graham Street (Tax Key #: 1156.097)**

---

**DATE STAFF REPORT CREATED:** November 5, 2024

**APPLICANT / OWNER(S):** John Jewell with Jewell Homes LLC / Douglas Meinen Duplex

**REQUEST / DESCRIPTION OF PROJECT:** Use, Site and Architecture approval for Jewell Homes LLC to construct a duplex located at 12412 & 12414 W. Graham Street (Tax Key #: 1156.097).

**DATE OF APPLICATION / DATE FILED WITH CITY CLERK:** 10/29/24

**DATE OF COMPLETENESS DETERMINATION:** 10/29/24

**PRE-APPLICATION CONFERENCE HELD:** Yes

Date(s) of Meeting(s): several phone calls.

Site Visit(s): 11/12/2024

**CONCEPTUAL PLAN:** N/A

**SIZE OF DEVELOPMENT / PARCEL(S):** 1 Duplex / 0.41 acres

**CURRENT ZONING:** Rd-1-Two-Family Residential District

**CURRENT LAND USE:** Vacant

**PROPOSED ZONING:** N/A

**PROPOSED LAND USE:** 1 Duplex

**PROPOSED LOT SIZE:** N/A

**PROPOSED DENSITY:** N/A

**ADJACENT ZONING AND LAND USE:**

North: Zoning: Rd-1

South: Zoning: R-5

East: Zoning: City of West Allis

West: Zoning: R-5

Land Use: Duplex

Land Use: Single-Family Home

Land Use: Greenfield Park

Land Use: Single-Family Home

**CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE:** Yes

**Chapter 14: Neighborhood D: Urban Neighborhood North:** Yes, this submittal meets the intent of this Chapter.

**Planning Context / Vision / Development Policies**

**Vision:**

- *The Urban Neighborhood North shall continue to be a series of well-maintained, single-family neighborhoods served by neighborhood amenities such as parks, pedestrian connections to adjacent neighborhoods and nearby shopping areas. Both the public infrastructure and the private housing stock should be maintained. New development and redevelopment should complement the residential character of the area. In compliance with State Smart Growth Legislation, the city should also encourage infill residential development of quarter acre lots or larger to match the existing character of the neighborhood.*

**Development Policies:**

- *Create flexible but predictable compatibility standards for new construction and redevelopment related to site planning, building design and materials, landscaping, buffering, access, signage, and other land use impacts.*
- *Maintain public infrastructure in the neighborhood, including streets and sewer services, to maintain property values.*

**Land Use:**

- *Future Land Use Map: Mixed Use Residential*

**ZONING CODE (Chapter 275):** Yes, this request is consistent with §275-33B(9) of the Zoning Code.

**DEVELOPMENT CODE (CHAPTER 235):** N/A

**PUBLIC HEARING REQUIRED:** No

**CONDITIONAL USE REQUIRED:** No

**USE / SITE / ARCHITECTURAL REVIEW:**

**Use Approval Required:** Yes

**Site Plan Required:** Yes

**Architectural Review Required:** Yes, the Architecture Review Committee will review this request at the December 2, 2024 meeting.

**PROPOSED ARCHITECTURE:** See attached plans.

**UNIQUE SITE CHARACTERISTICS:**

**Environmental Corridor:** No

**Wetland On Property:** No

**Conservancy Districts (C-1, C-2):** No

**NRCS Map Classification:** Not Inventoried

**Floodplain:** No

**Topography / Geologic:** Site is flat.

**BIKE & PEDESTRIAN FACILITIES PLAN:** No improvements identified.

**PARK & OPEN SPACE PLAN:** No improvements identified.

**NATURAL RESOURCES PROTECTION:**

**Limits of Disturbance (LOD):** Shown on plans.

**Woodland, Tree, and Vegetation Protection:** N/A

**Wildlife Management Plan:** N/A

**ENVIRONMENTAL IMPACT:** N/A

**STORM WATER MANAGEMENT / DRAINAGE:** Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

**SANITARY SEWER PROVISION:**

**Within Current Sewer Service Area:** Yes

**Sewer Shed Capacity Available:** Yes

**Adequate Linkage:** Yes

**Onsite System Required:** No

**WATER USAGE CALC.:** Will be reviewed at time of building permit. Will require a private well.

**TRAFFIC IMPACT:** TIA is not required.

**SCHOOL DISTRICT IMPACT:** 0.92 total estimated students

Elementary – 0.46 students (2 units \* 0.23 students)

Middle – 0.22 students (2 units \* 0.11 students)

High School – 0.24 students (2 units \* 0.12 students)

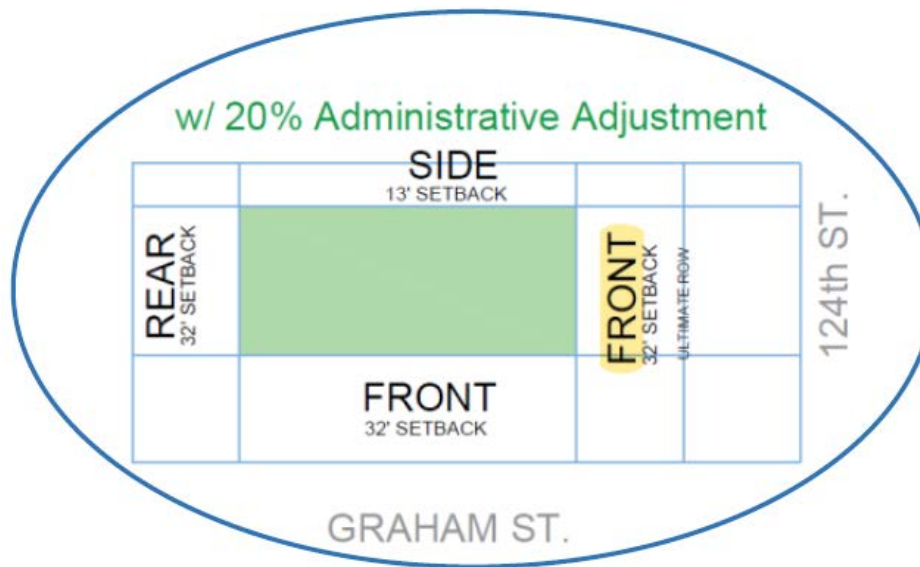
Notice Sent to Affected School District(s): No

**PREVIOUS ACTION:** N/A

**CONSISTENCY WITH PREVIOUS ACTION:** N/A

**FINDINGS:**

1. The applicant is proposing to construct 1 duplex.
2. The setbacks of the Rd-1 Zoning District are: 40' Front (east - 124th Street), 40' Front/side on corner (south - Graham Street), 15' Side (north), and 40' Rear (west). Per §275-30.1 of the Zoning Code, *"Upon review and approval of an application for an administrative adjustment, the Director has the authority to grant a dimensional variance to the setbacks for new structures, additions to existing structures or accessory buildings in the amount of 20% of the required setback."*
  - a. The Director has approved a 20% administrative adjustment for this duplex due to this being an existing lot of record, a duplex is a principal use in this district, and the lot dimensions are less than the requirements outlined in the Zoning Code. The adjusted setbacks are 32' front (east), 32' front (south), 12' side (north) and 32' rear (west). See diagram below.
  - b. The applicant is proposing to construct a duplex with the following setbacks: 32' front (east - 124th Street), 32.5' front (south - Graham Street), 13.5' side (north), and 32' rear (west).



3. Table 275-33-4 in §275-33E(2) of the Zoning Code requires 3-bedroom duplexes to have a minimum total building area per dwelling unit of 1,150 sq. ft. and an attached 400 sq. ft garage. Submitted plans meet these requirements.
4. Per § 275-46 of the Zoning Code, *"For new structures, additions to existing structures or accessory structures, the required front setback may, with Plan Commission approval, be decreased in any residential or business districts to the average of the existing front setbacks of the abutting structures on each side but in no case less than 15 feet in any residential district and five feet in any business district."*
  - a. The structure to the north is 30' from 124<sup>th</sup> Street ultimate ROW and the structure to the south is 21' from 124<sup>th</sup> Street ultimate ROW. The front setback may be decreased to 25.5' from 124<sup>th</sup> Street ultimate ROW (east) with Plan Commission approval.
  - b. The structure to the west is 24.5' from Graham Street ROW. The structure to the south is 18.5' from Graham Street ROW. The front setback may be decreased to 21.5' from Graham Street ROW (south) with Plan Commission approval.

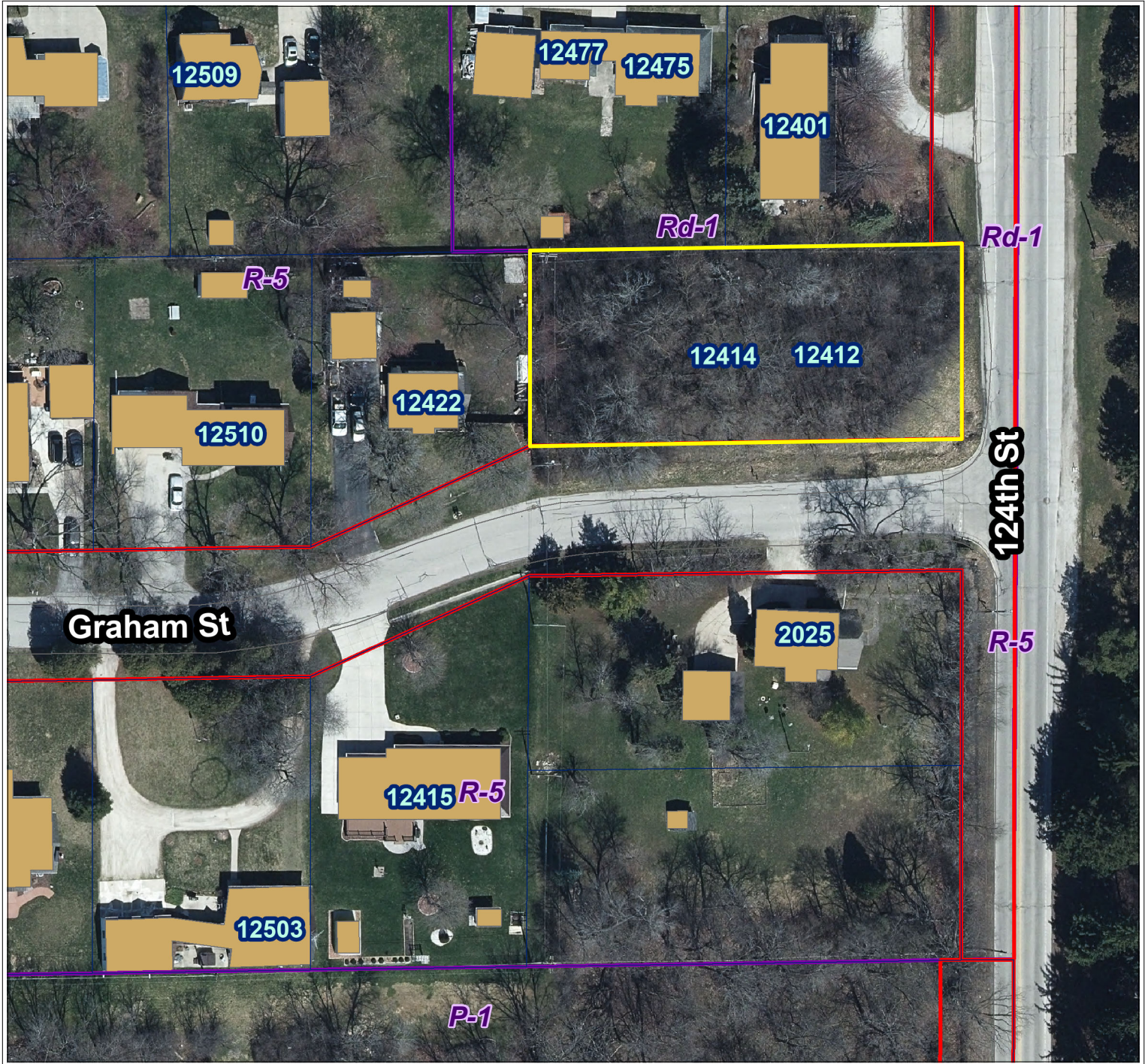
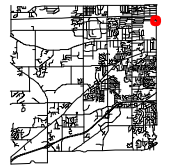
**D.R.C. RECOMMENDATION:**

Approval of the Use, Site and Architecture approval for Jewell Homes LLC to construct a duplex located at 12412 & 12414 W. Graham Street (Tax Key #: 1156.097) subject to the application, plans on file and the following conditions of approval: **See Executive Summary.**

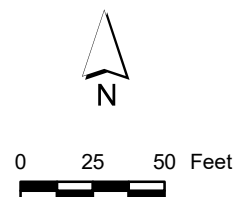
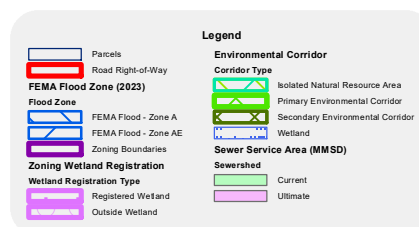
**ATTACHMENTS:**

Location Map  
Survey  
Architecture Plans

UA-2402528  
MEINEN DUPLEX  
12412 & 12414 W GRAHAM ST.



City of New Berlin  
Department of Community Development  
3805 S Casper Dr.  
New Berlin WI 53151  
(262) 797-2445  
www.newberlin.org



The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

EMC Foundations

Survey No. 114535-S

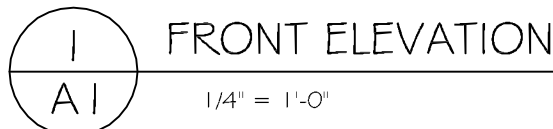
GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.



THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREYO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

  
**Dennis C. Sauer**  
Professional Land Surveyor S-2421

[illegible]

NEW DUPLEX RESIDENCE FOR:  
**D&J AND SONS LLC**  
GRAHAM STREET  
LOTS 1 AND 2 IN BLK 1 - GRAHAM & BLOM'S MAPLEWOODS SUBD.  
NEW BERLIN, WISCONSIN

NEW DUPLEX RESIDENCE FOR:

|             |
|-------------|
| PLAN DATE   |
| OCT 25 2023 |

JOB NUMBER

0623

SHEE

A1

D&J AND SONS LLC  
SS95W14509 Ryan Drive  
Muskego WI 53150

OWNERS APPROVAL

## REVISIONS

|  |
|--|
|  |
|  |

|  |
|--|
|  |
|  |
|  |

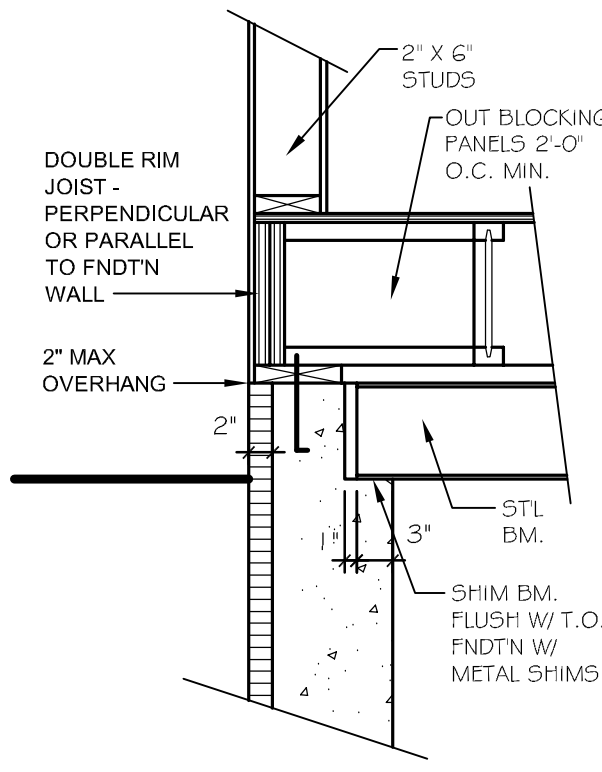
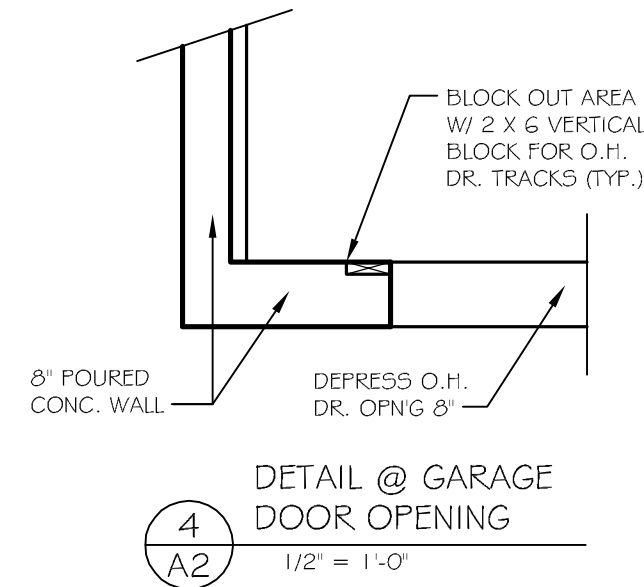
OCT 25 2023

0623

A2

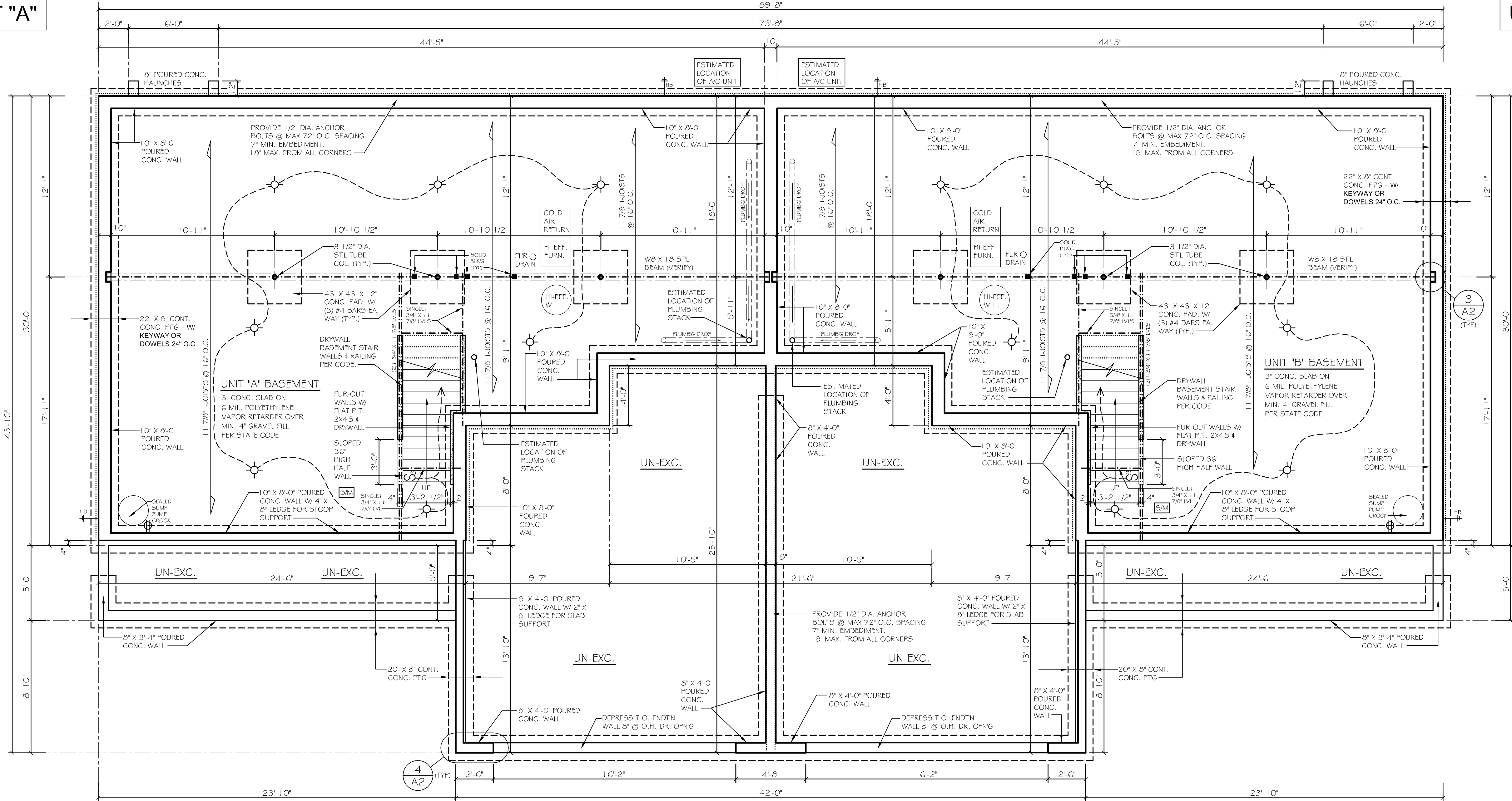
NOTES TO SHEET A2

- SEE GENERAL NOTES ON SHEET A1
- FOUNDATION CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED REINFORCING IN MASONRY OR CONCRETE FOUNDATION WALLS AS PROVIDED FOR BY STATE CODE.
- FOOTINGS ARE DESIGNED FOR 3000 PSI SOIL BEARING CAPACITY; LESS CAPACITY MAY REQUIRE RE-ENGINEERING.
- SUMP PUMP LOCATION MAY VARY FROM PLAN PER REQUIREMENTS OF GOVERNING AGENCIES AND/OR GENERAL CONTRACTOR'S DISCRETION.
- FLOOR JOISTS SHALL BE ENGINEERED WOOD I-JOISTS UNLESS OTHERWISE NOTED.  
  
11 7/8" I-JOIST:  
MAX. SIMPLE SPAN IS 21'-5" @ 12" O.C.  
MAX. SIMPLE SPAN IS 19'-7" @ 16" O.C.  
MAX. MULTIPLE SPAN IS 23'-5" @ 12" O.C.  
MAX. MULTIPLE SPAN IS 20'-5" @ 16" O.C.  
  
MAXIMUM SPANS BASED ON 40 PSF L.L. + 10 PSF D.L. LL DEFLECTION LIMITED TO L/480.
- 2-STORY PLANS - PROVIDE SOLID BLOCKING FROM T.O. STL BM. TO UNDERSIDE OF FLOOR SHEATHING. BLOCKING SHALL BE 5 P.F.F. NO. 2 OR BETTER, CUT 1/16" LONGER THAN DEPTH OF JOIST, & SHALL BE EQUAL IN AREA TO COLUMN SUPPORTED.
- FOUNDATION INSULATION:  
PROVIDE & INSTALL 2" (R-10) EXTRUDED POLYSTYRENE INSULATION AROUND ENTIRE PERIMETER OF BASEMENT FOUNDATION WALLS FROM T.O. FOOTING TO T.O. FOUNDATION WALL (EXCLUDING BRICK LEDGES & EXPOSED SLAB EDGES) COVER EXPOSED INSULATION W/ INSULATION COVER (SEE WALL SECTION DETAIL)
- CONTRACTOR TO PROVIDE A MIN. OF (2) #4 REINFORCING BARS @ BOTTOM OF ALL FOUNDATION WALLS SPANNING DISCONTINUOUS FOOTINGS.
- ALL FOOTINGS SUPPORTING A CONCRETE WALL SHALL HAVE A KEYWAY BUILT INTO THE TOP OF THE FOOTING.
- CONCRETE WALL AND RE-BAR SCHEDULE:  
  
\* 8" X 3'-4" - 5'-0" POURED CONCRETE WALLS:  
(2) #4 BARS HORIZONTAL - TOP AND BOTTOM OF CONCRETE WALL  
  
\* 8" X 6'-0" - 7'-0" POURED CONCRETE WALLS:  
(3) #4 BARS HORIZONTAL - TOP, MIDDLE, & BOTTOM OF CONCRETE WALL  
  
\* 10" X 8'-0" & 7'-4" POURED CONCRETE WALLS:  
(3) #4 BARS HORIZONTAL - TOP, MIDDLE, & BOTTOM OF CONCRETE WALL  
  
\* 10" X 9'-0" POURED CONCRETE WALLS:  
(4) #4 BARS HORIZONTAL - EQUALLY SPACED IN CONCRETE WALL; TOP BAR SHALL BE WITH IN 24" OF TOP OF WALL. BOTTOM BAR SHALL BE WITH IN 24" OF BOTTOM OF WALL  
  
\* LAP LENGTH SHALL BE A MINIMUM OF 24"  
  
\* CORNERS = EXTEND BARS AROUND CORNER AND LAP A MIN. OF 30 BAR DIAMETERS.  
  
\* POURED CONCRETE WALLS SHALL HAVE CONCRETE STRENGTH OF 3500 PSI.
- FOUNDATION CONTRACTORS SHALL SUPPLY A GROUNDING BAR THAT PROTRUDES OUT OF THE TOP OF THE FOUNDATION WALL 3" - 4" @ THE ELECTRICAL SERVICE LOCATION. PLEASE CONTACT CONSTRUCTION SUPERINTENDENT IF LOCATION IS NOT LABELED ON PLAN.



UNIT "A"

UNIT "B"



1  
A2

UNIT "A" FOOTING & FOUNDATION PLAN

1/4" = 1'-0"

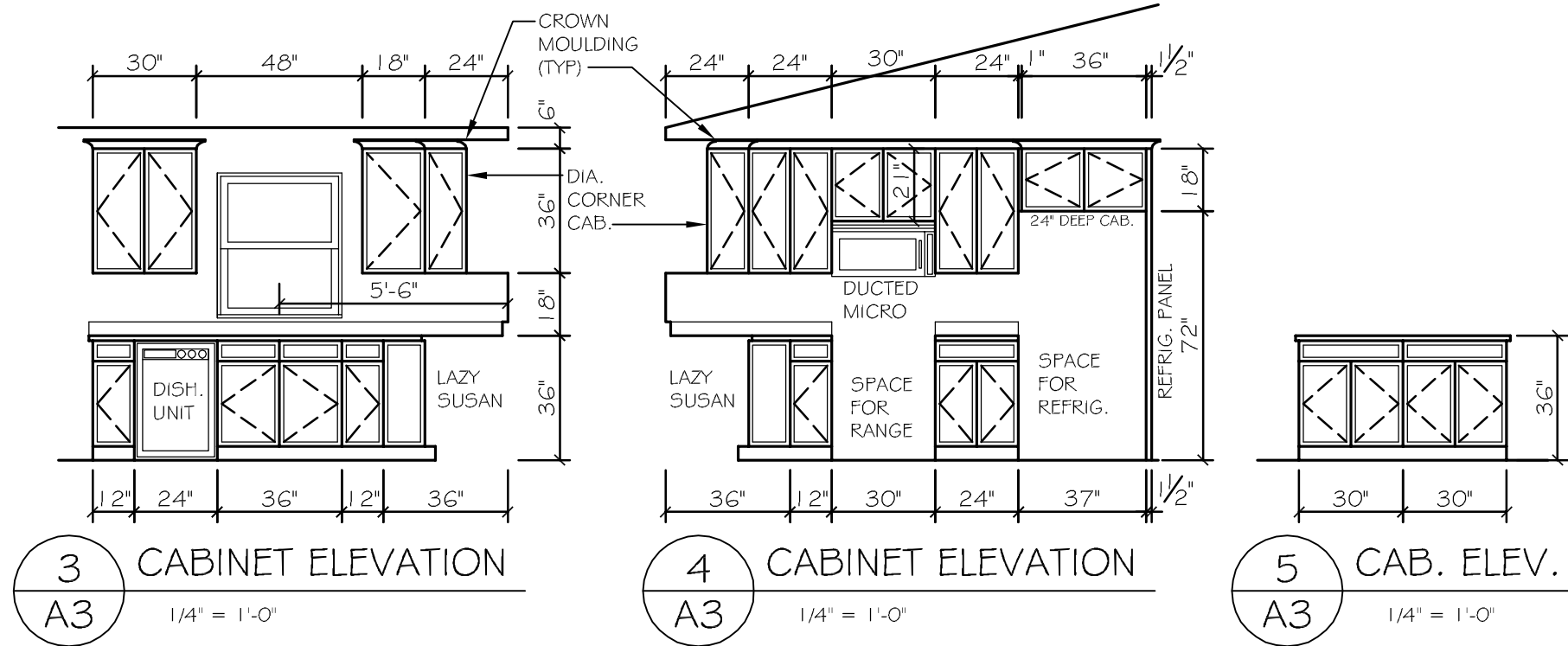
1,025 SQ. FT. BASEMENT FLOOR SLAB AREA  
480 SQ. FT. GARAGE FLOOR SLAB AREA

2  
A2

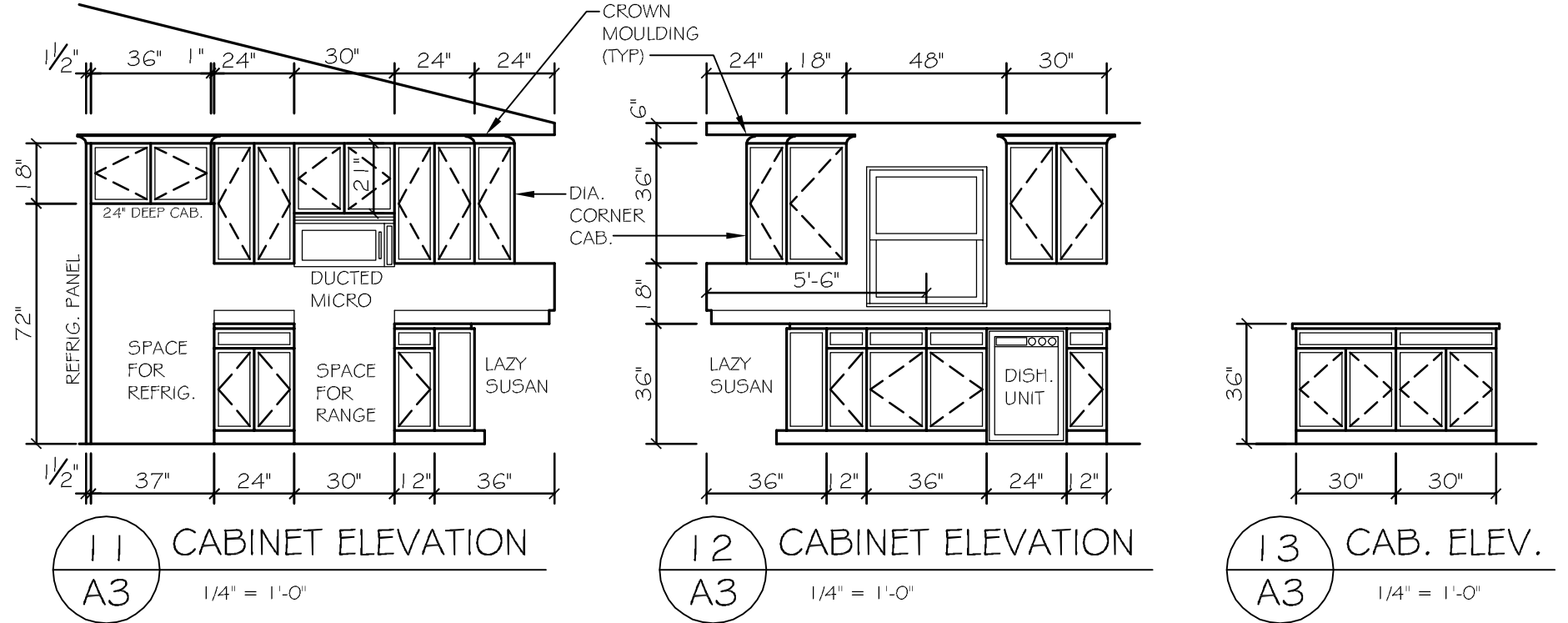
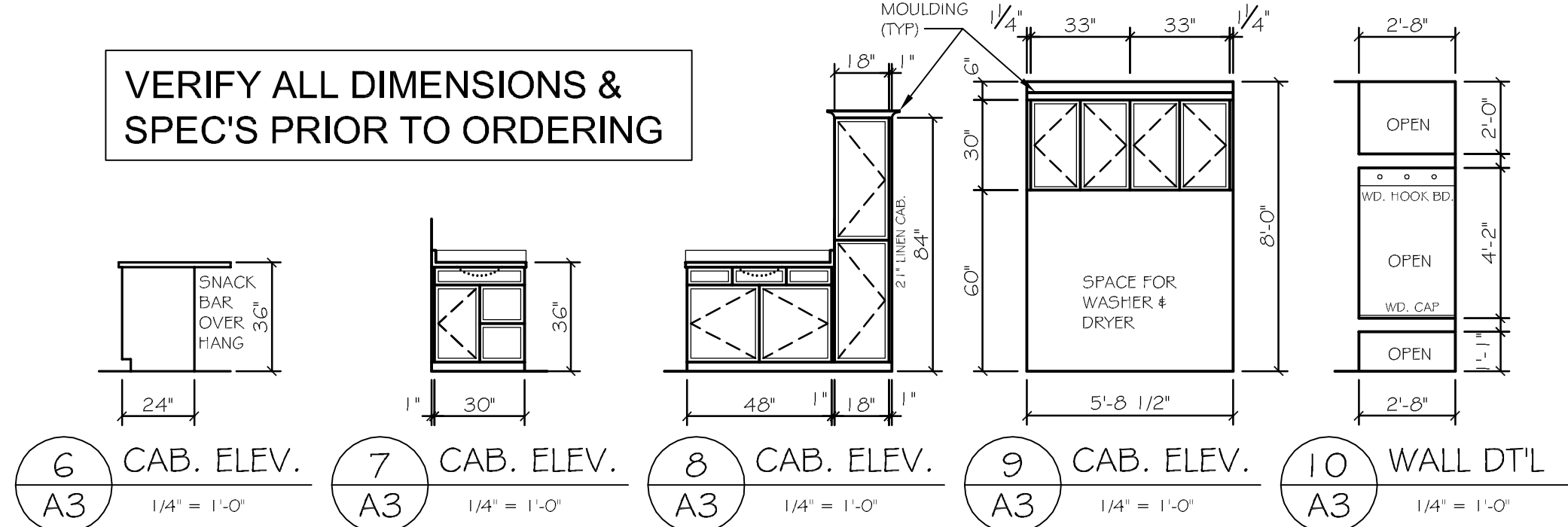
UNIT "B" FOOTING & FOUNDATION PLAN

1/4" = 1'-0"

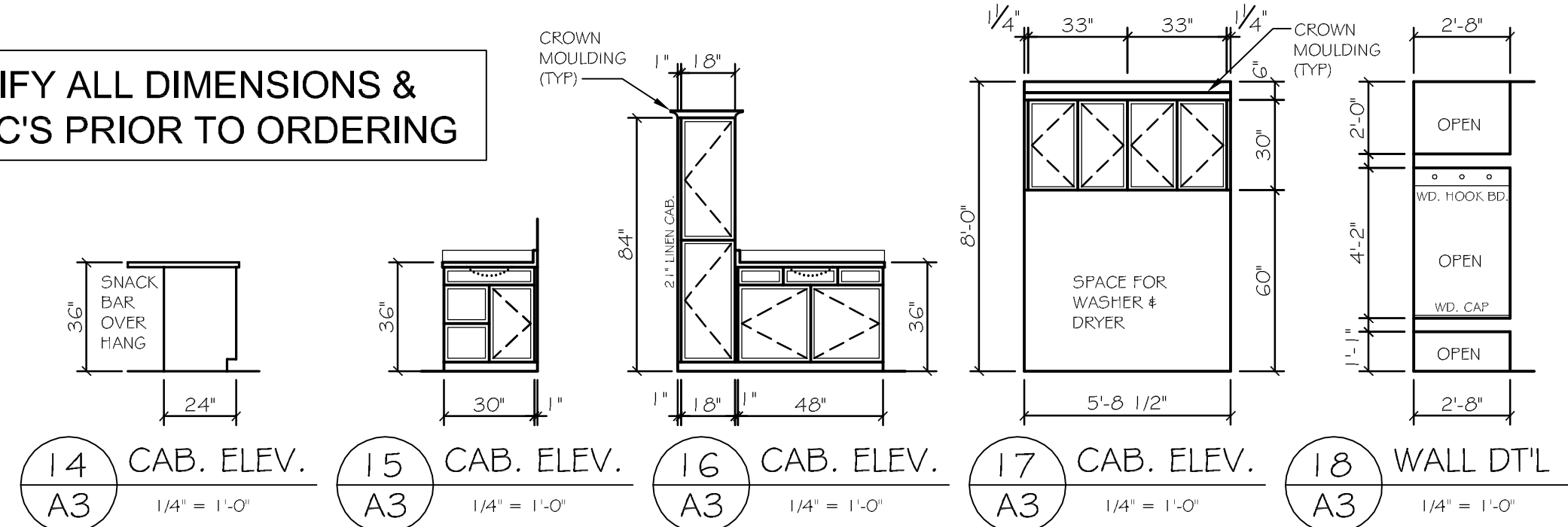
1,025 SQ. FT. BASEMENT FLOOR SLAB AREA  
480 SQ. FT. GARAGE FLOOR SLAB AREA



VERIFY ALL DIMENSIONS & SPEC'S PRIOR TO ORDERING



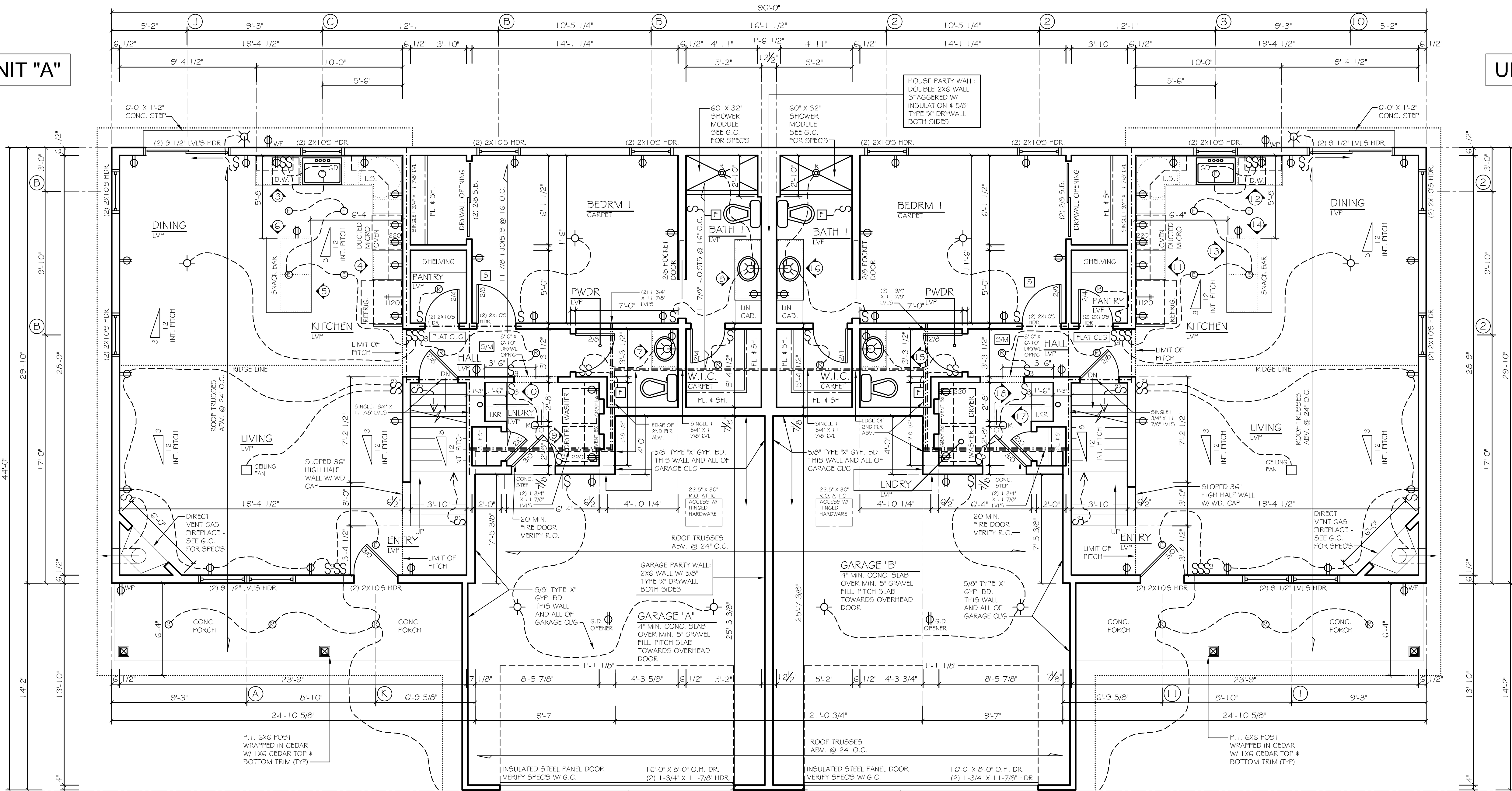
VERIFY ALL DIMENSIONS & SPEC'S PRIOR TO ORDERING



- NOTES TO SHEET A3
1. CONTRACTOR SHALL VERIFY MISSING OR INCORRECT DIMENSIONS W/ THE GENERAL CONTRACTOR.
  2. INTERIOR PARTITIONS ARE 4-1/2" THICK UNLESS OTHERWISE NOTED.
  3. THE PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIPMENT, ALL ELECTRICAL & APPLIANCES ARE SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE INDICATED LOCATIONS ON THE DRAWINGS.
  4. ROUGH CARPENTERS SHALL INSTALL FIRE STOPPING IN ALL LOCATIONS AS REQUIRED BY STATE CODE.
  5. SEE WINDOW EXTERIOR DOOR SCHEDULE ON SHEET A4 FOR KEY TO WINDOW DESIGNATIONS.
  6. ALL GIRDER TRUSSES SHALL HAVE A MIN. OF (3) STUDS BLW. EACH SIDE FOR BEARING.

UNIT "A"

UNIT "B"



1 UNIT "A" FIRST FLOOR PLAN  
A3 1/4" = 1'-0"  
1,151 SQ. FT. FIRST FLOOR AREA  
490 SQ. FT. GARAGE AREA

2 UNIT "B" FIRST FLOOR PLAN  
A3 1/4" = 1'-0"  
1,151 SQ. FT. FIRST FLOOR AREA  
490 SQ. FT. GARAGE AREA

SEE WALL BRACING PLAN FOR HEADER DETAIL - PROVIDE 2" X 2" WASHERS ON ANCHOR BOLTS AT PORTAL FRAMING

NEW DUPLEX RESIDENCE FOR:

D&J AND SONS LLC

GRAHAM STREET

LOTS 1 AND 2 IN BLK 1 - GRAHAM & BLOM'S MAPLEWOODS SUBD.

NEW BERLIN, WISCONSIN

PLAN DATE

OCT 25 2023

JOB NUMBER

0623

SHEET

A3

D&J AND SONS LLC  
S95W14509 Ryan Drive  
Muskego, WI. 53150

OWNERS APPROVAL

REVISIONS

WINDOW & EXTERIOR DOOR SCHEDULE UNIT "A"

| MARK                 | ORDER NUMBER       | ROUGH OPNG | NOTES   | QTY. | SQ. FT. GLASS |
|----------------------|--------------------|------------|---------|------|---------------|
| FIRST FLOOR WINDOWS  |                    |            |         |      |               |
| A                    | 3456 S.H. MULL 2   | 60" X 66"  | 1, 2, 4 | 1    | 27.40         |
| B                    | 3050 S.H.          | 36" X 60"  | 1, 2, 7 | 4    | 10.84 EA.     |
| C                    | 3036 S.H.          | 36" X 42"  | 1, 2    | 1    | 7.10          |
| D                    | 2620 MULL 3 FIXED  | 90" X 24"  | 1, 3, 4 | 1    | FALSE DORMER  |
| E                    | NOT USED.          |            |         |      |               |
| F                    | NOT USED.          |            |         |      |               |
| SECOND FLOOR WINDOWS |                    |            |         |      |               |
| G                    | 3050 S.H. MULL 2   | 72" X 60"  | 1, 2    | 2    | 21.68 EA.     |
| H                    | NOT USED.          |            |         |      |               |
| I                    | NOT USED.          |            |         |      |               |
| DOORS                |                    |            |         |      |               |
| J                    | SLIDING PATIO 6068 | 72" X 80"  | 1, 5, 7 | 1    | 32.76         |
| K                    | 3068 ENTRY DOOR    | (VERIFY)   | 1, 6, 7 | 1    |               |
| L                    | NOT USED.          |            |         |      |               |
| M                    | NOT USED.          |            |         |      |               |

NOTES TO SCHEDULE:

- ALL HEADERS SHALL BE S-P-F NO. 2 OR BETTER LUMBER, UNLESS OTHERWISE NOTED; SIZES AS SHOWN ON PLAN.
- WINDOWS SHALL BE SINGLE HUNG VINYL INSULATED GLASS W/ LOW-E # ARGON GAS / SCREEN.
- WINDOWS SHALL BE FIXED VINYL INSULATED GLASS. NO / LOW-E # ARGON GAS.
- WINDOWS SHALL HAVE METAL GRIDS IN AIR SPACE.
- PATIO DOORS SHALL BE VINYL W/ INSULATED GLASS W/ LOW-E # ARGON GAS/ SCREEN.
- DOORS SHALL BE STEEL INSULATED UNITS, STYLE AS NOTED, INSULATED GLASS WHEN STYLE REQUIRES.
- WINDOWS SHALL HAVE TEMPERED GLASS PER STATE CODE.

VERIFY ALL ORDER NUMBERS & ROUGH OPENINGS PRIOR TO ORDERING / FRAMING

NOTES TO SHEET A4

- CONTRACTOR SHALL VERIFY MISSING OR INCORRECT DIMENSIONS W/ THE GENERAL CONTRACTOR..

DO NOT SCALE DIMENSIONS FROM DRAWINGS!

- INTERIOR PARTITIONS ARE 4-1/2" THICK UNLESS OTHERWISE NOTED.

- THE PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIPMENT, ALL ELECTRICAL & APPLIANCES ARE SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE INDICATED LOCATIONS ON THE DRAWINGS.

- ROUGH CARPENTERS SHALL INSTALL FIRE STOPPING IN ALL LOCATIONS AS REQUIRED BY STATE CODE.

- SEE WINDOW/ EXTERIOR DOOR SCHEDULE ON THIS SHEET FOR KEY TO WINDOW DESIGNATIONS.

- ALL GIRDER TRUSSES SHALL HAVE A MIN. OF (3) STUDS BLW. EACH SIDE FOR BEARING.

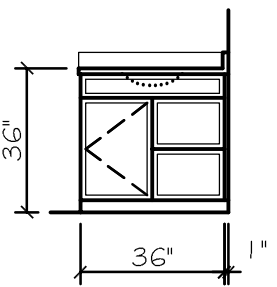
WINDOW & EXTERIOR DOOR SCHEDULE UNIT "B"

| MARK                 | ORDER NUMBER       | ROUGH OPNG | NOTES   | QTY. | SQ. FT. GLASS |
|----------------------|--------------------|------------|---------|------|---------------|
| FIRST FLOOR WINDOWS  |                    |            |         |      |               |
| 1                    | 3456 S.H. MULL 2   | 60" X 66"  | 1, 2, 4 | 1    | 27.40         |
| 2                    | 3050 S.H.          | 36" X 60"  | 1, 2, 7 | 4    | 10.84 EA.     |
| 3                    | 3036 S.H.          | 36" X 42"  | 1, 2    | 1    | 7.10          |
| 4                    | 2620 MULL 3 FIXED  | 90" X 24"  | 1, 3, 4 | 1    | FALSE DORMER  |
| 5                    | NOT USED.          |            |         |      |               |
| 6                    | NOT USED.          |            |         |      |               |
| SECOND FLOOR WINDOWS |                    |            |         |      |               |
| 7                    | 3050 S.H. MULL 2   | 72" X 60"  | 1, 2    | 2    | 21.68 EA.     |
| 8                    | NOT USED.          |            |         |      |               |
| 9                    | NOT USED.          |            |         |      |               |
| DOORS                |                    |            |         |      |               |
| 10                   | SLIDING PATIO 6068 | 72" X 80"  | 1, 5, 7 | 1    | 32.76         |
| 11                   | 3068 ENTRY DOOR    | (VERIFY)   | 1, 6, 7 | 1    |               |
| 12                   | NOT USED.          |            |         |      |               |
| 13                   | NOT USED.          |            |         |      |               |

NOTES TO SCHEDULE:

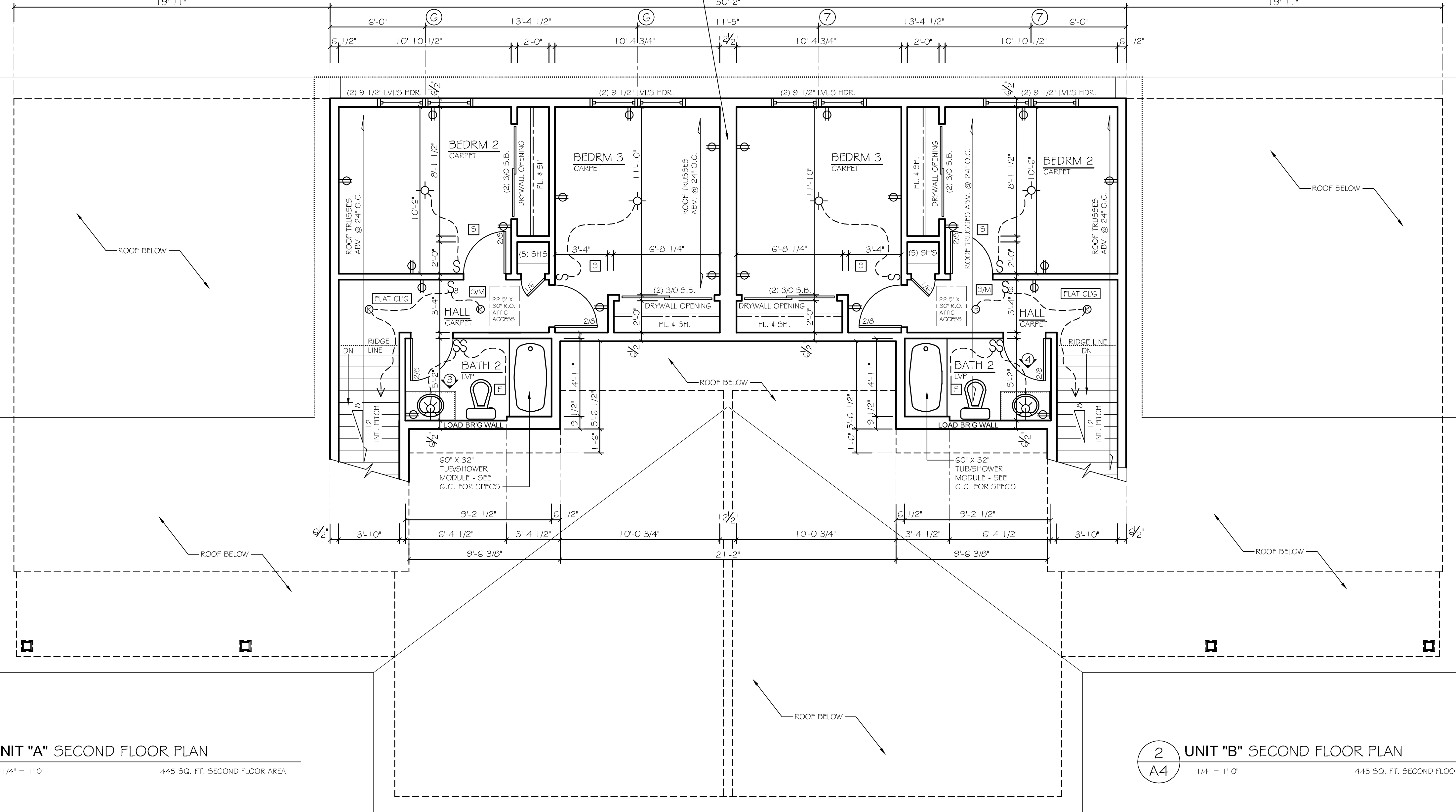
- ALL HEADERS SHALL BE S-P-F NO. 2 OR BETTER LUMBER, UNLESS OTHERWISE NOTED; SIZES AS SHOWN ON PLAN.
- WINDOWS SHALL BE SINGLE HUNG VINYL INSULATED GLASS W/ LOW-E # ARGON GAS / SCREEN.
- WINDOWS SHALL BE FIXED VINYL INSULATED GLASS. NO / LOW-E # ARGON GAS.
- WINDOWS SHALL HAVE METAL GRIDS IN AIR SPACE.
- PATIO DOORS SHALL BE VINYL W/ INSULATED GLASS W/ LOW-E # ARGON GAS/ SCREEN.
- DOORS SHALL BE STEEL INSULATED UNITS, STYLE AS NOTED, INSULATED GLASS WHEN STYLE REQUIRES.
- WINDOWS SHALL HAVE TEMPERED GLASS PER STATE CODE.

VERIFY ALL ORDER NUMBERS & ROUGH OPENINGS PRIOR TO ORDERING / FRAMING

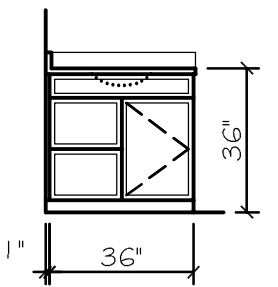


3 CAB. ELEV.  
A4 1/4" = 1'-0"

UNIT "A"



1 UNIT "A" SECOND FLOOR PLAN  
A4 1/4" = 1'-0" 445 SQ. FT. SECOND FLOOR AREA



4 CAB. ELEV.  
A4 1/4" = 1'-0"

UNIT "B"

2 UNIT "B" SECOND FLOOR PLAN  
A4 1/4" = 1'-0" 445 SQ. FT. SECOND FLOOR AREA

D&J AND SONS LLC  
S95W14509 Ryan Drive  
Muskego, WI. 53150

OWNERS APPROVAL

REVISIONS

NEW DUPLEX RESIDENCE FOR:

D&J AND SONS LLC

GRAHAM STREET

LOTS 1 AND 2 IN BLK 1 - GRAHAM & BLOM'S MAPLEWOODS SUBD.

NEW BERLIN, WISCONSIN

PLAN DATE

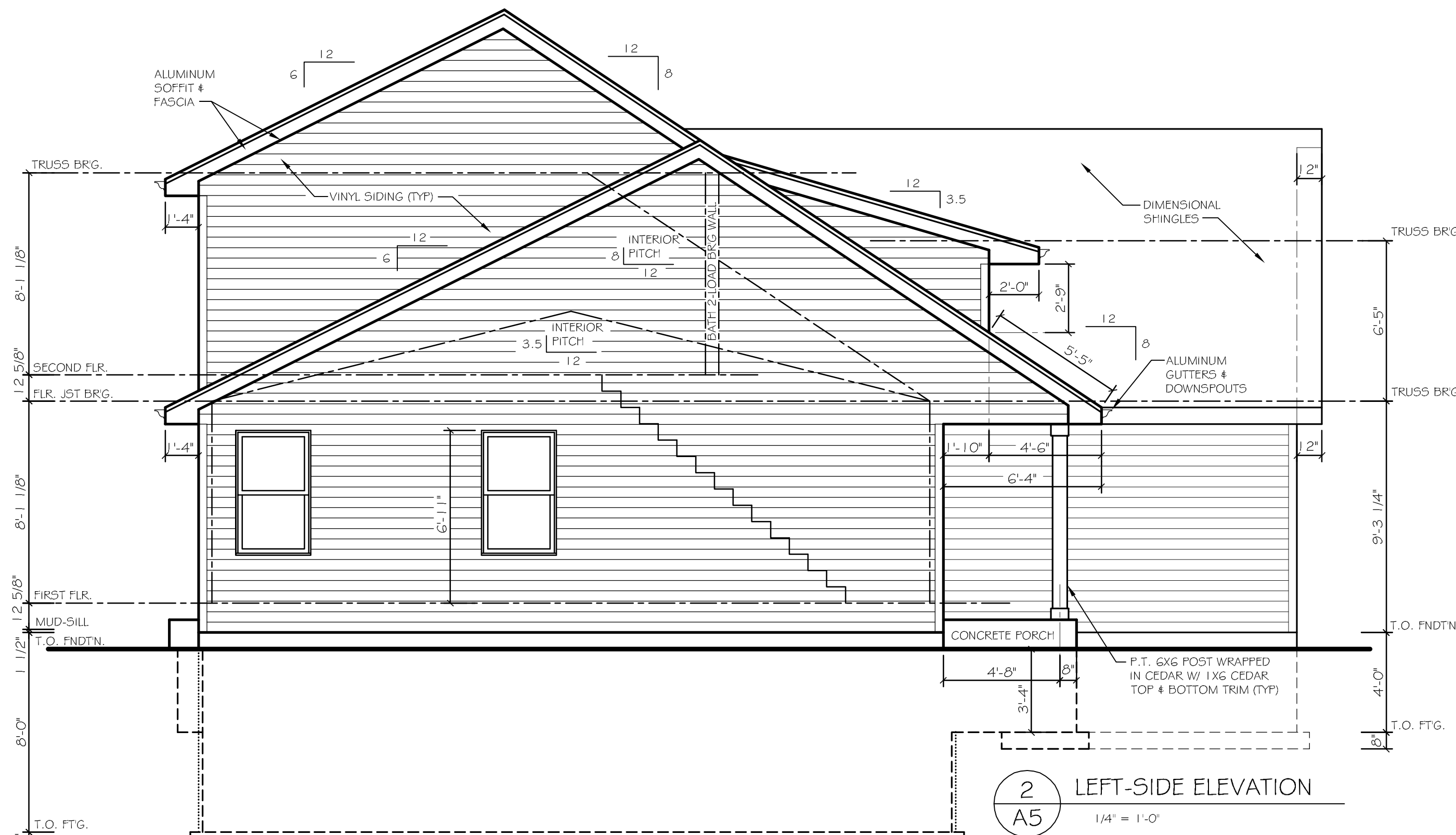
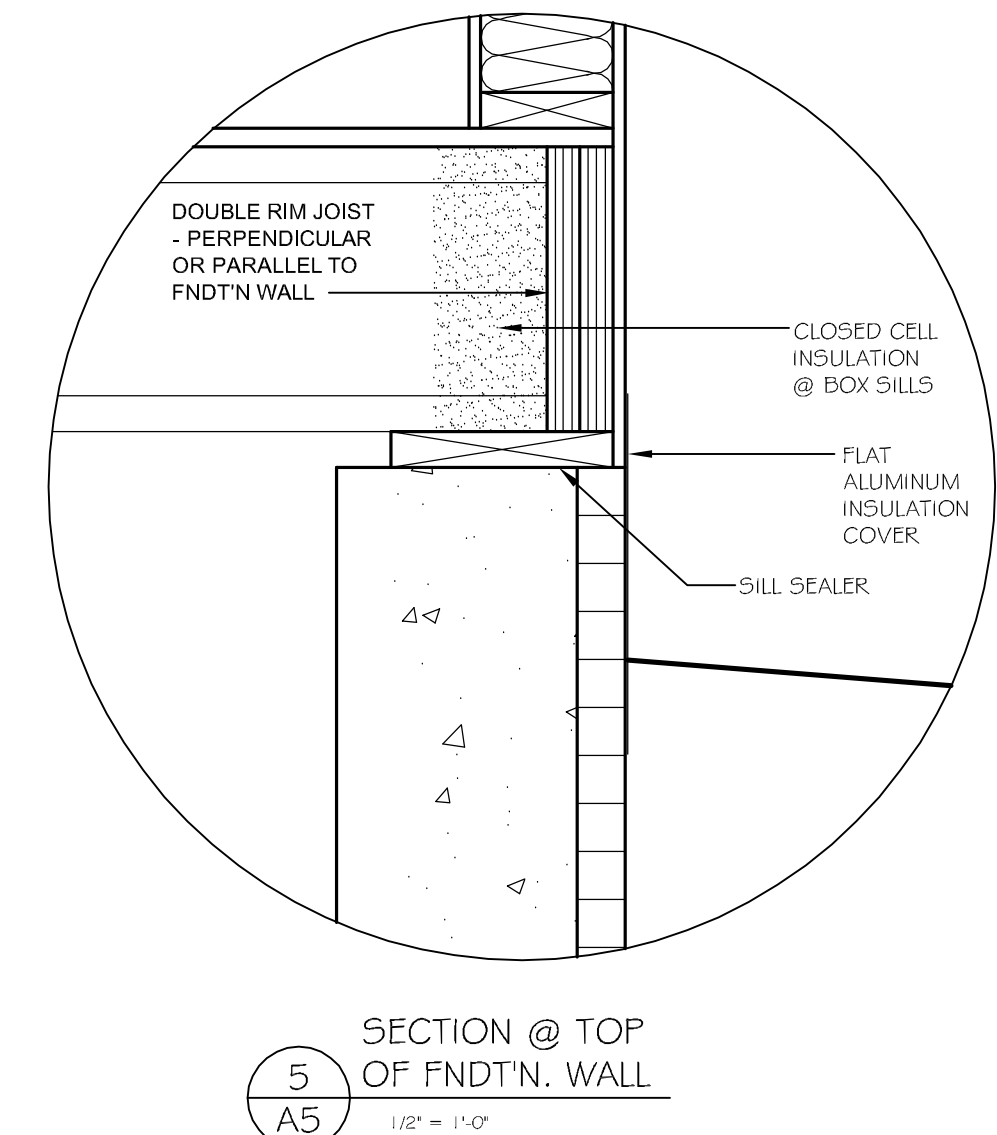
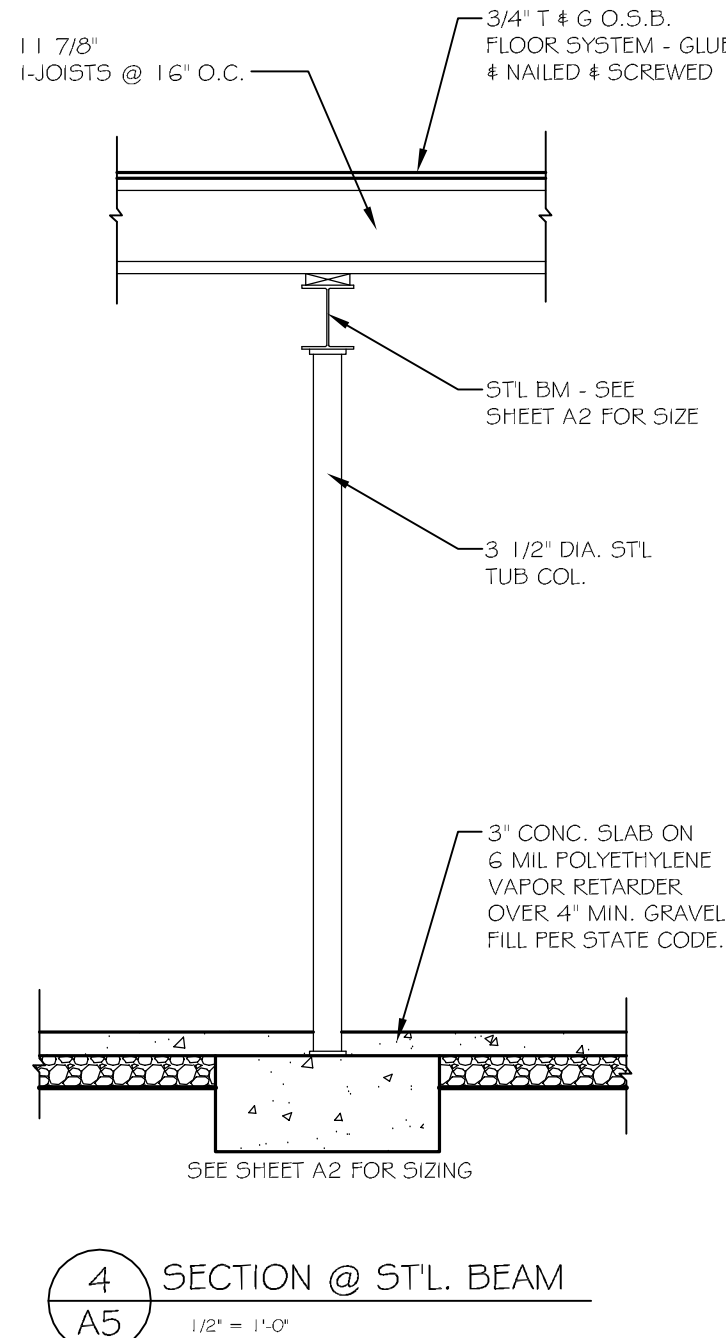
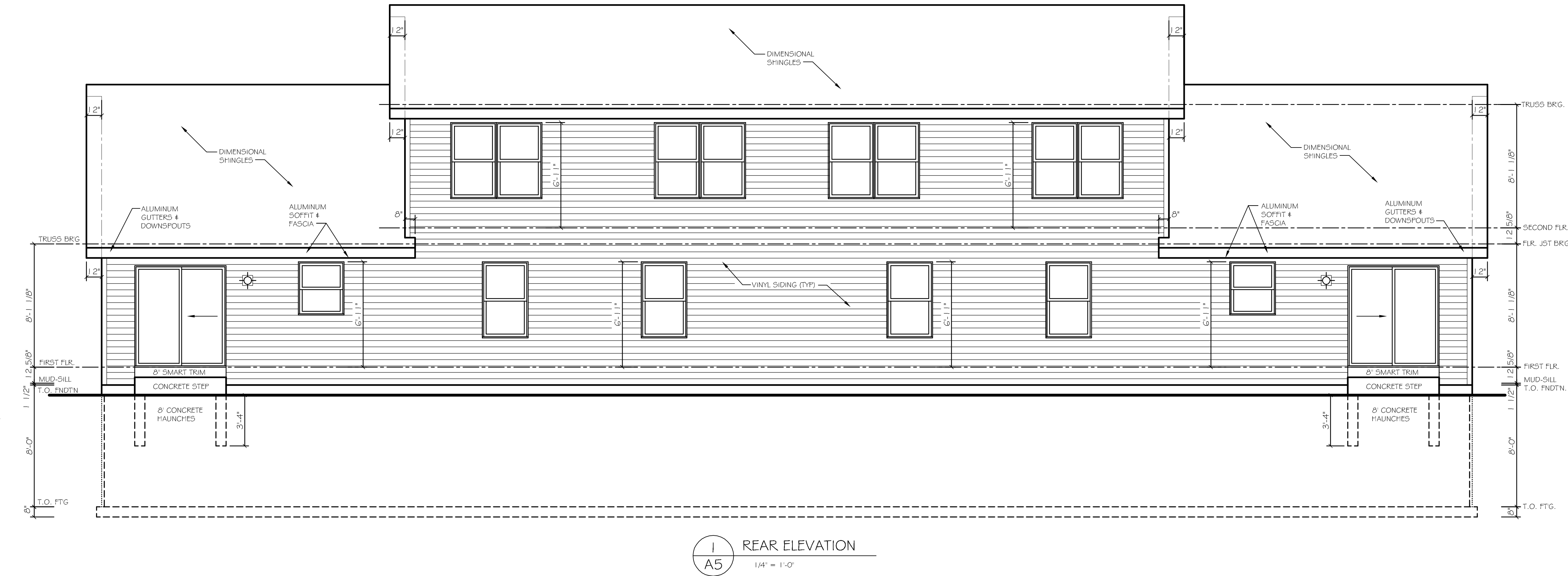
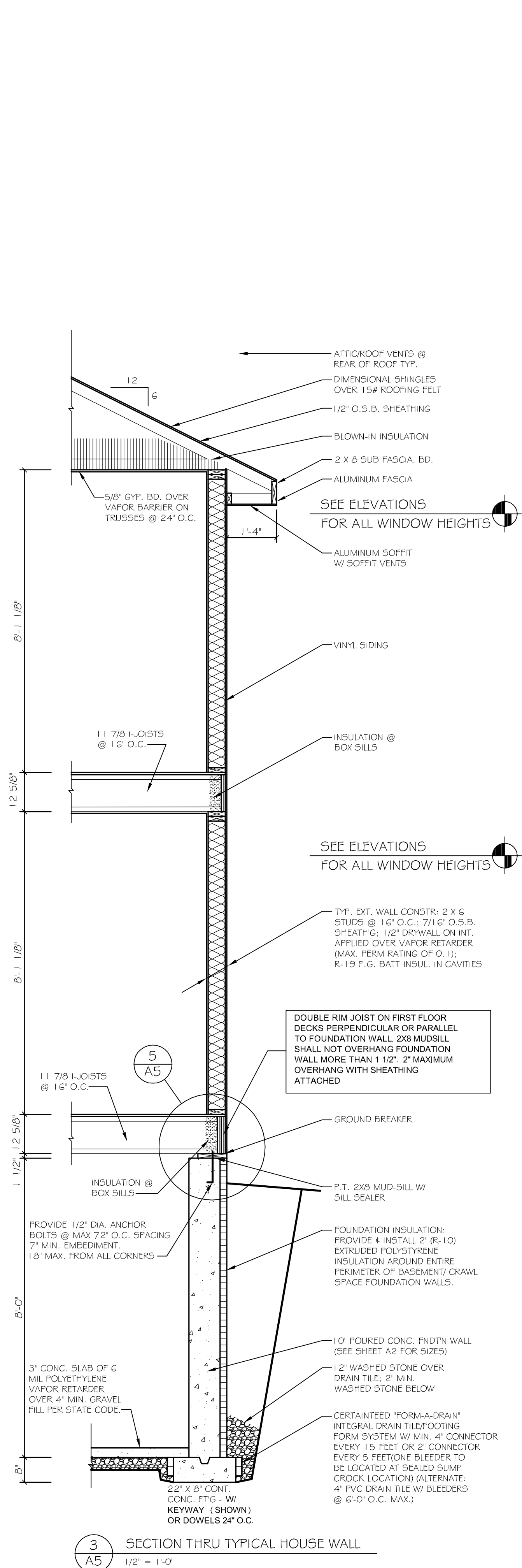
OCT 25 2023

JOB NUMBER

0623

SHEET

A4



D&J AND SONS LLC  
S95W14509 Ryan Drive  
Muskego, WI. 53150

OWNERS APPROVAL

REVISIONS

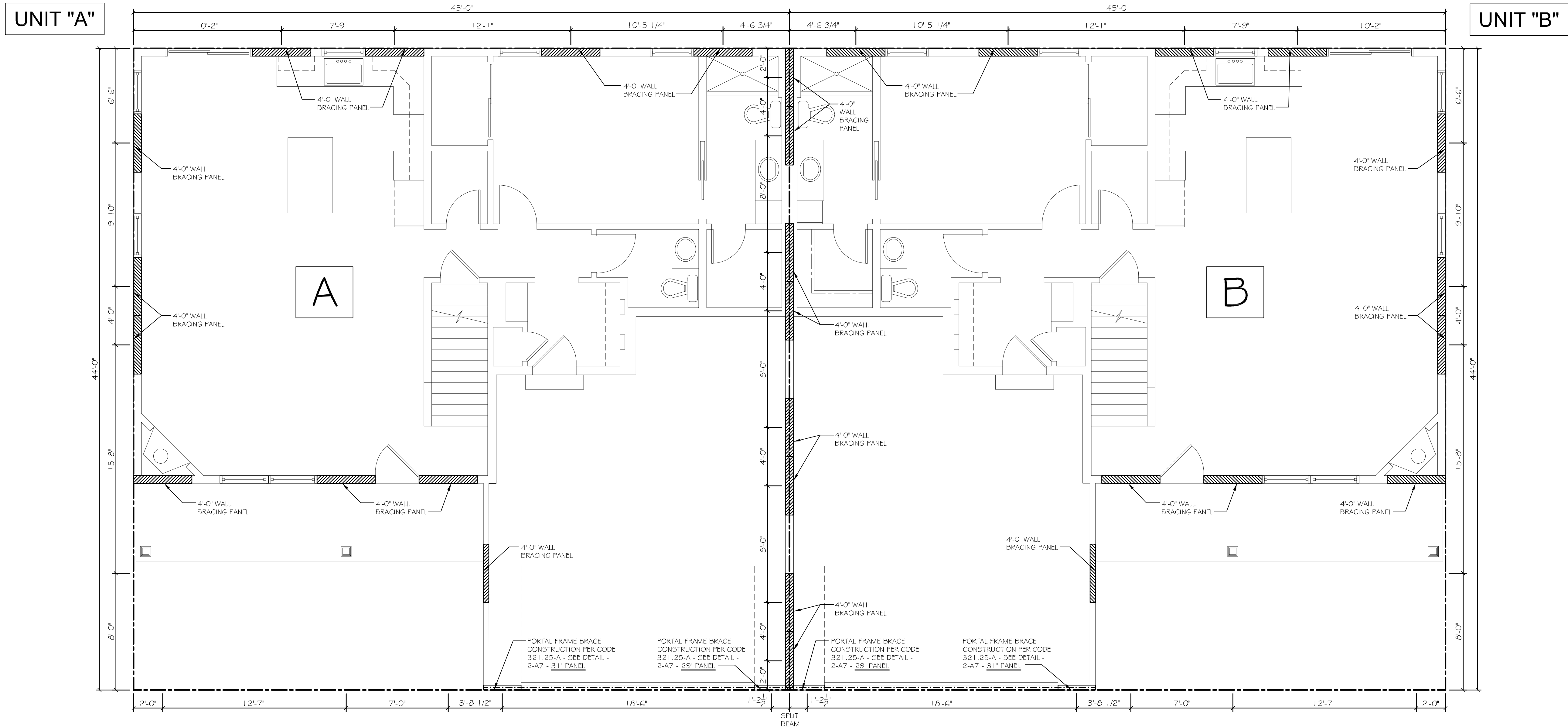
NEW DUPLEX RESIDENCE FOR:

D&J AND SONS LLC  
GRAHAM STREET  
LOTS 1 AND 2 IN BLK 1 - GRAHAM & BLOM'S MAPLEWOODS SUBD.  
NEW BERLIN, WISCONSIN

PLAN DATE  
OCT 25 2023

JOB NUMBER  
0623

SHEET  
A5



I  
A6

FIRST FLOOR WALL BRACING PLAN  
1/4" = 1'-0"

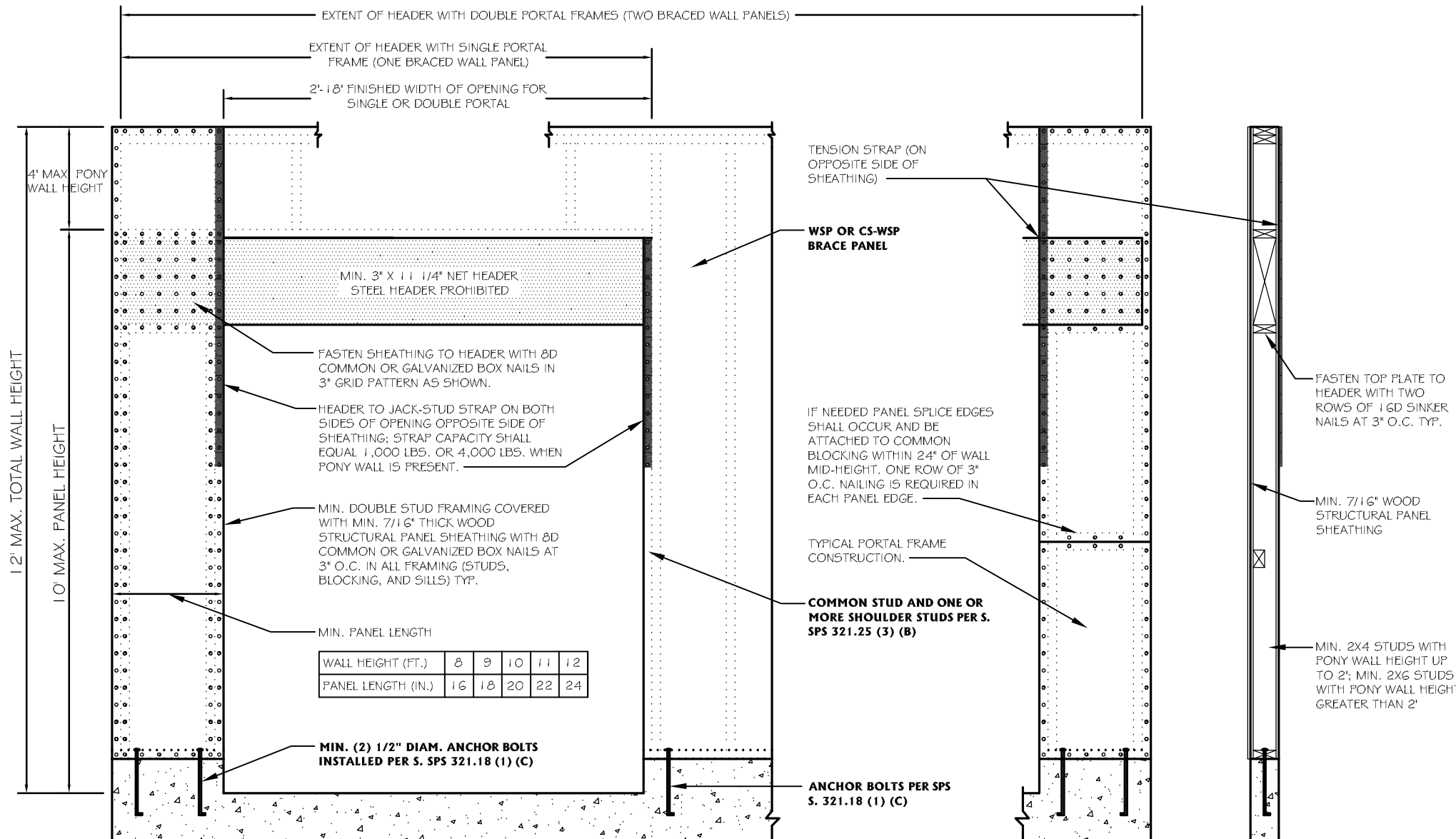
| WALL BRACING SCHEDULE                              |                                                                           |                      |                          |                                             |                      |                                                                                                               |                             |                                                                |
|----------------------------------------------------|---------------------------------------------------------------------------|----------------------|--------------------------|---------------------------------------------|----------------------|---------------------------------------------------------------------------------------------------------------|-----------------------------|----------------------------------------------------------------|
| RECTANGLE                                          | PARALLEL LINES                                                            | LARGEST WALL OPENING | MAJORITY HEIGHT OF WALL  | MIN. WALL PANEL (IN.)                       | EAVE TO RIDGE HEIGHT | LENGTH OF PERPENDICULAR SIDE                                                                                  | WALL HEIGHT CALC ADJUSTMENT | MIN. NUMBER OF PANELS (IN FEET) REQUIRED PER SIDE              |
| A                                                  | FRONT/ REAR                                                               | 8'-0"                | 8'-0"                    | 48"                                         | 20'-0"               | 44'-0"                                                                                                        | .90 X 17.3 =                | 15.57                                                          |
|                                                    | LEFT/ RIGHT                                                               | 5'-0"                | 8'-0"                    | 24"                                         | 20'-0"               | 45'-0"                                                                                                        | .90 X 17.3 =                | 15.57                                                          |
| B                                                  | FRONT/ REAR                                                               | 8'-0"                | 8'-0"                    | 48"                                         | 20'-0"               | 44'-0"                                                                                                        | .90 X 17.3 =                | 15.57                                                          |
|                                                    | LEFT/ RIGHT                                                               | 5'-0"                | 8'-0"                    | 24"                                         | 20'-0"               | 45'-0"                                                                                                        | .90 X 17.3 =                | 15.57                                                          |
| CONTINUOUS SHEATHED BRACING METHOD                 |                                                                           |                      |                          |                                             |                      |                                                                                                               |                             |                                                                |
| MATERIAL                                           | MIN. BRACE MATERIAL THICKNESS OR SIZE                                     |                      | MAX. NOMINAL WALL HEIGHT | MIN. BRACED WALL PANEL WIDTH OR BRACE ANGLE |                      | CONNECTION CRITERIA                                                                                           |                             | MIN. FACINGS MIN. SPACING                                      |
| CS-WSP (CONTINUOUS SHEATHED WSP)                   | 3/8" FOR MAX. 16" O.C. STUD SPACING, 7/16" FOR MAX. 24" O.C. STUD SPACING |                      | 12'-0"                   | SIZES WILL VARY REFER TO TABLE 321.25-F1    |                      | 5d COMMON NAIL OR 5d BOX NAIL (2 3/8" LONG X 0.113" DIA.) OR 7/16" - OR 1/2" CHOWN 16-GAGE SPACED 1 1/4" LONG |                             | 6" EDGES, 12" FIELD (NAILS)<br><br>3" EDGES, 6" FIELD (SCREWS) |
| GYPSUM BOARD BRACING METHOD - (IF APPLICABLE)      |                                                                           |                      |                          |                                             |                      |                                                                                                               |                             |                                                                |
| GB - GYPSUM BOARD (INSTALLED ON BOTH SIDE OF WALL) | 1/2" FOR MAX. 24" O.C. STUD SPACING                                       |                      | 10'-0"                   | 96"                                         |                      | 5d COOLER NAILS OR #6 SCREWS                                                                                  |                             | 7" EDGES, 7" FIELD (INCLUDING TOP & BOTTOM PLATES)             |

NEW DUPLEX RESIDENCE FOR:  
D&J AND SONS LLC  
GRAHAM STREET  
LOTS 1 AND 2 IN BLK 1 - GRAHAM & BLOM'S MAPLEWOODS SUBD.  
NEW BERLIN, WISCONSIN

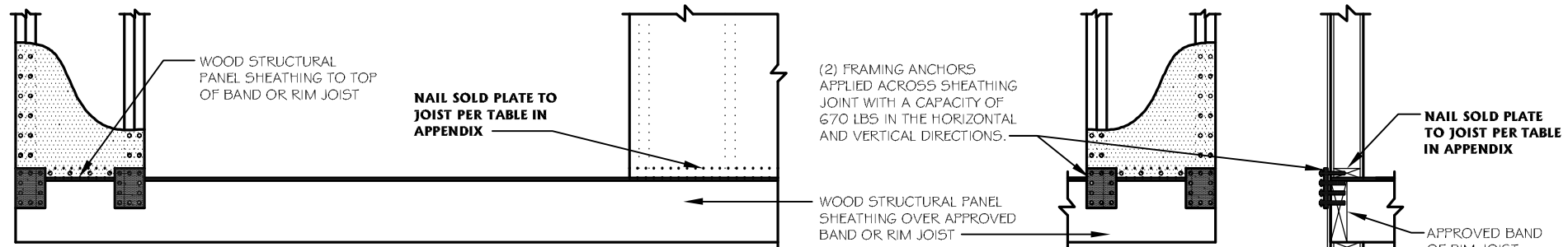
|             |
|-------------|
| PLAN DATE   |
| OCT 25 2023 |
| JOB NUMBER  |
| 0623        |
| SHEET       |
| A6          |

D&J AND SONS LLC  
S95W14509 Ryan Drive  
Muskego, WI. 53150

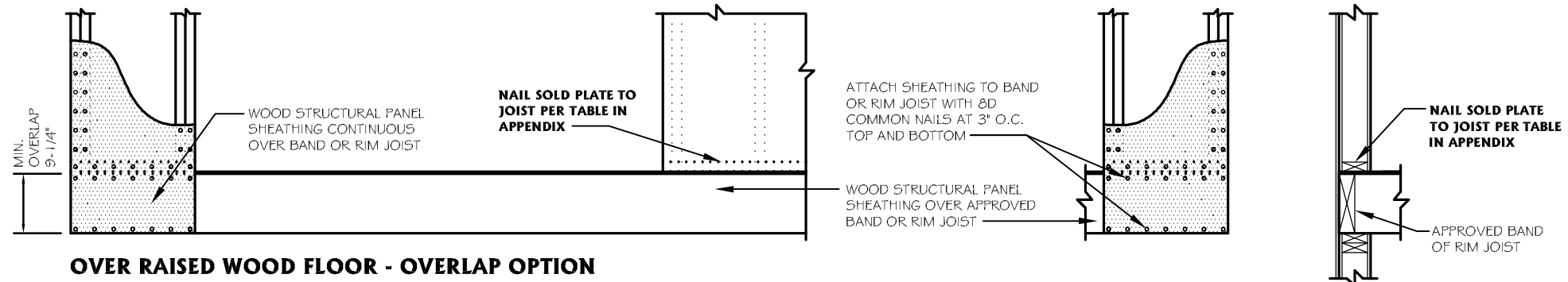
|                 |
|-----------------|
| OWNERS APPROVAL |
|                 |
| REVISIONS       |
|                 |
|                 |
|                 |



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

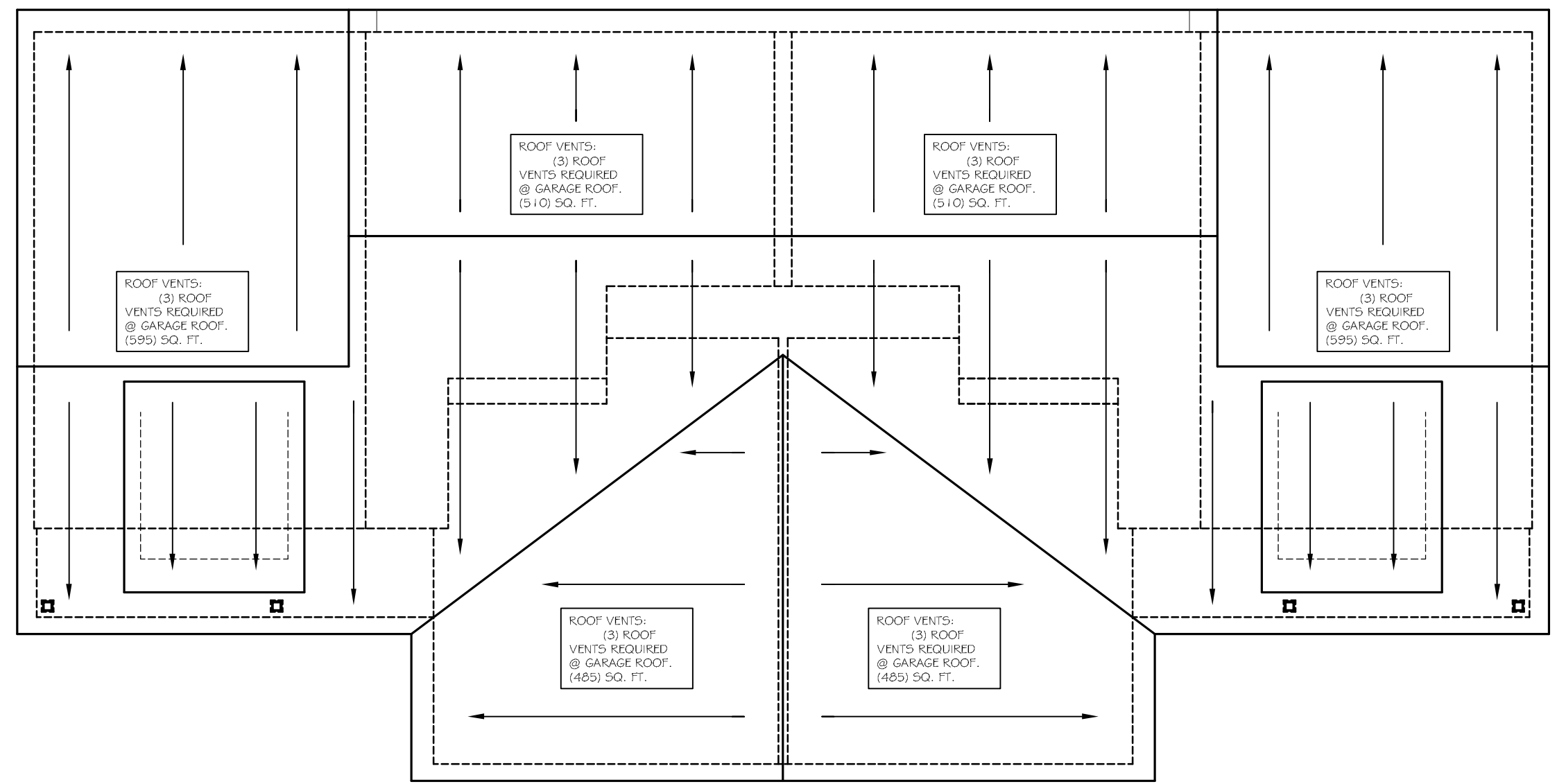


OVER RAISED WOOD FLOOR - OVERLAP OPTION

FRONT ELEVATION

SECTION

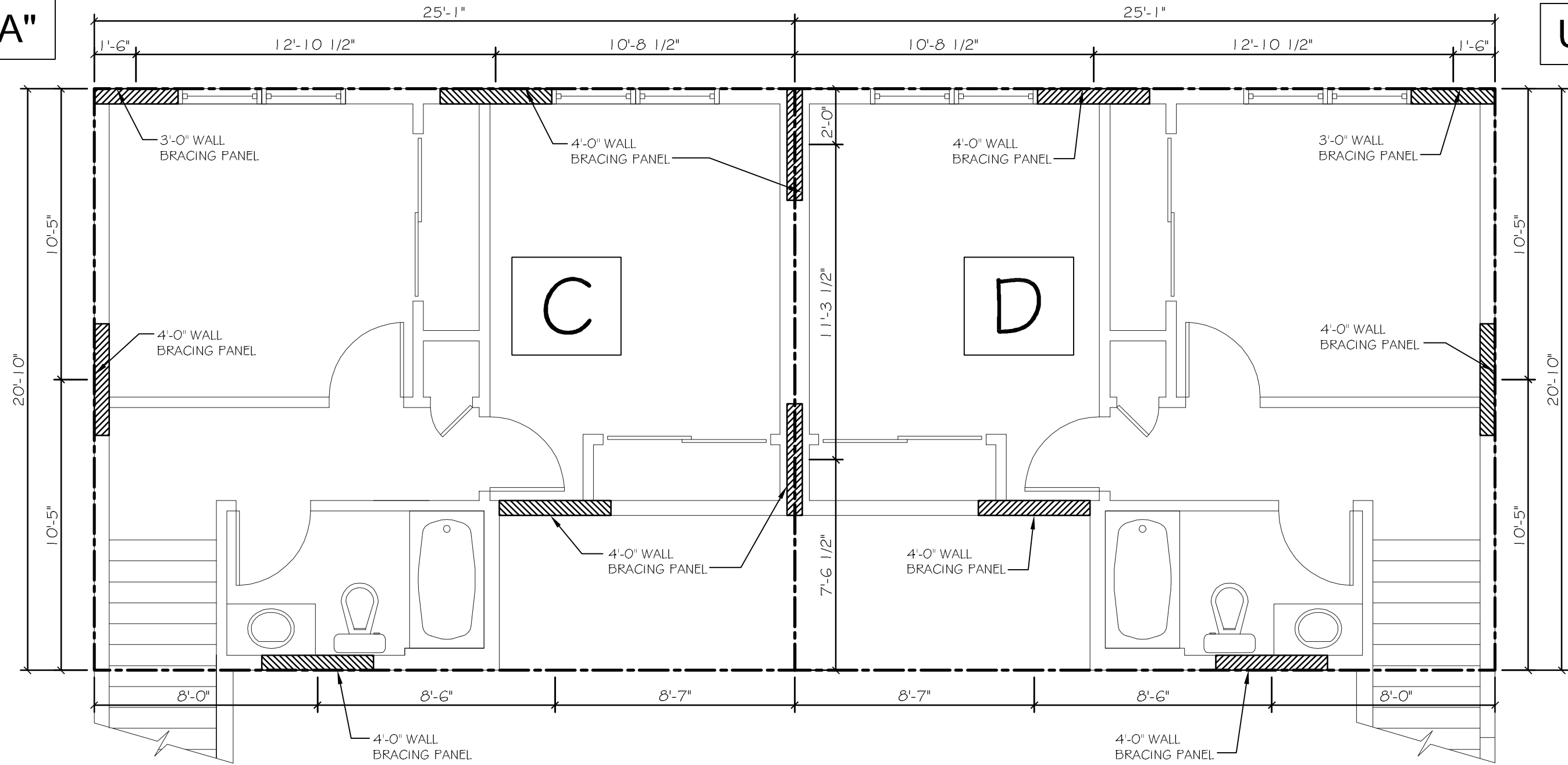
2 PORTAL FRAMED DETAIL  
A7 NO SCALE



3 ROOF PLAN  
A7 1/8" = 1'-0"

UNIT "A"

UNIT



1 SECOND FLOOR WALL BRACING PLAN  
A7 1/4" = 1'-0"

| WALL BRACING SCHEDULE                              |                                                                             |                          |                                             |                                                                                                        |                                                    |                              |                             |                                                   |
|----------------------------------------------------|-----------------------------------------------------------------------------|--------------------------|---------------------------------------------|--------------------------------------------------------------------------------------------------------|----------------------------------------------------|------------------------------|-----------------------------|---------------------------------------------------|
| RECTANGLE                                          | PARALLEL LINES                                                              | LARGEST WALL OPENING     | MAJORITY HEIGHT OF WALL                     | MIN. WALL PANEL (IN.)                                                                                  | EAVE TO RIDGE HEIGHT                               | LENGTH OF PERPENDICULAR SIDE | WALL HEIGHT CALC ADJUSTMENT | MIN. NUMBER OF PANELS (IN FEET) REQUIRED PER SIDE |
| C                                                  | FRONT/ REAR                                                                 | 5'-0"                    | 8'-0"                                       | 24"                                                                                                    | 10'-0"                                             | 20'-10"                      | .90 X 4.3 =                 | 3.87                                              |
|                                                    | LEFT/ RIGHT                                                                 | 0'-0"                    | 8'-0"                                       | 24"                                                                                                    | 10'-0"                                             | 25'-1"                       | .90 X 4.3 =                 | 3.87                                              |
| D                                                  | FRONT/ REAR                                                                 | 5'-0"                    | 8'-0"                                       | 24"                                                                                                    | 10'-0"                                             | 20'-10"                      | .90 X 4.3 =                 | 3.87                                              |
|                                                    | LEFT/ RIGHT                                                                 | 0'-0"                    | 8'-0"                                       | 24"                                                                                                    | 10'-0"                                             | 25'-1"                       | .90 X 4.3 =                 | 3.87                                              |
| CONTINUOUS SHEATHED BRACING METHOD                 |                                                                             |                          |                                             |                                                                                                        |                                                    |                              |                             |                                                   |
| MATERIAL                                           | MIN. BRACE MATERIAL THICKNESS OR SIZE                                       | MAX. NOMINAL WALL HEIGHT | MIN. BRACED WALL PANEL WIDTH OR BRACE ANGLE | CONNECTION CRITERIA                                                                                    |                                                    |                              |                             |                                                   |
| CS-WSP (CONTINUOUS SHEATHED WSP)                   | 3/8" FOR MAX. 16' O.C. STUD SPACING<br>7/16" FOR MAX. 24' O.C. STUD SPACING | 12'-0"                   | SIZES WILL VARY<br>REFER TO TABLE 321.25-H  | 6d COMMON NAIL OR 8d BOX NAIL @ 36" LONG X 0.112" DIA.<br>OR 7d 16" CROWN 16-GAUGE STAPLES 1 1/4" LONG |                                                    |                              |                             |                                                   |
| 6" EDGES, 12" FIELD (NAILS)                        |                                                                             |                          |                                             |                                                                                                        |                                                    |                              |                             |                                                   |
| 3" EDGES, 6" FIELD (STAPLES)                       |                                                                             |                          |                                             |                                                                                                        |                                                    |                              |                             |                                                   |
| GYPSUM BOARD BRACING METHOD - (IF APPLICABLE)      |                                                                             |                          |                                             |                                                                                                        |                                                    |                              |                             |                                                   |
| GB - GYPSUM BOARD (INSTALLED ON BOTH SIDE OF WALL) | 1/2" FOR MAX. 24' O.C. STUD SPACING                                         | 10'-0"                   | 96"                                         | 5d COOLER NAILS OR #6 SCREWS                                                                           | 7" EDGES, 7" FIELD (INCLUDING TOP & BOTTOM PLATES) |                              |                             |                                                   |

D&J AND SONS LLC  
S95W14509 Ryan Drive  
Muskego, WI. 53150

OWNERS APPROVAL

REVISIONS

NEW DUPLEX RESIDENCE FOR:  
D&J AND SONS LLC  
GRAHAM STREET  
LOTS 1 AND 2 IN BLK 1 - GRAHAM & BLOM'S MAPLEWOODS SUBD.  
NEW BERLIN, WISCONSIN

PLAN DATE

OCT 25 2023

JOB NUMBER

0623

SHEET

A7