

Community Development Authority MEETING AGENDA



March 7, 2024 - 8:00 AM
Council Chambers
3805 S. Casper Dr.

Published 2/26/2024

AGENDA

1. **CALL TO ORDER, PLEDGE OF ALLEGIANCE**
2. **ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE**
3. **APPROVAL OF MINUTES**
 - A. November 2, 2023 Meeting Minutes
4. **ADMINISTRATIVE REPORTS**
5. **OLD BUSINESS**
6. **NEW BUSINESS**
 - A. (3) KH UA-2400103 Anderson Ashton on behalf of Wenthe-Davidson - 16300 W. Rogers Drive - Use, Site and Architecture Approval to construct 27,183 square foot building addition.
7. **COMMUNICATIONS**
8. **ADJOURN**

Supplemental Information:

- *The meeting agenda and agenda packet are available online at www.NewBerlin.org. The minutes are published online and are approved at the next regularly scheduled meeting.*
- *It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order.*
- *You may provide comments to the City Clerk via email at CitizenComments@NewBerlin.org. Comments will be forwarded to the Mayor and members of the governing body. Emailed comments are not read during the meeting.*
- *The City of New Berlin strives to host inclusive, accessible meetings that enable all individuals to engage and participate fully. Any person who has a qualifying disability under the Americans with Disabilities Act that requires that the meeting be accessible, please contact City Clerk Rubina R. Medina at (262) 786-8610 or via email at CityClerk@NewBerlinWI.gov at least 48 hours before the scheduled meeting time. Efforts will be made to accommodate the needs of disabled individuals through appropriate aids and/or services.*
- *It is also possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to in the above notice.*



Community Development Authority MEETING MINUTES

November 2, 2023 - 8:00 AM
Council Chambers
3805 S. Casper Dr.

Please note: Minutes are unofficial until approved at the next regular scheduled meeting.

MINUTES

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE

Mayor Ament called the Community Development Authority meeting to order at 08:02 AM.

Mayor Ament led the Pledge of Allegiance.

2. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Deputy City Clerk Godshall took the roll call as follows:

Present: Mayor Ament, Alderperson Horbinski, Alderperson Hopkins, Commissioner Felda, Commissioner Patterson, Commissioner Vaclav, Commissioner Schulpus

Excused:

Staff Present: DCD Deputy Director Nikki Jones, Principal Planner Kristen Hogan, City Attorney Mark Blum, Deputy City Clerk Megan Godshall

3. APPROVAL OF MINUTES

A. August 3, 2023

MOTION: Motion to Approve

VOTE: Motion by: Alderperson Hopkins
Second by: Commissioner Patterson
Motion Passed 7-0

4. ADMINISTRATIVE REPORTS

None

5. NEW BUSINESS

A. (2) KH UA-2301360 Metalcraft - 16805 W. Victor Road - Use, Site and Architecture approval for a 5,293 square foot addition

Kevin Parish with Survey & Parish Engineering, 122 Wisconsin St., West Bend answered Commissioners

questions

MOTION: Motion to Approve

VOTE: Motion by: Alderperson Hopkins
Second by: Alderperson Horbinski
Motion Passed 7-0

6. COMMUNICATIONS

None

7. ADJOURN

MOTION: Motion to Adjourn at 8:09 AM

VOTE: Motion by: Commissioner Felda
Second by: Commissioner Schulpius
Motion Passed 7-0

***Respectfully Submitted,
Megan Godshall, Deputy City Clerk***

STAFF REPORT

EXECUTIVE SUMMARY

APPLICANT/PROJECT: Rob Sterr with Anderson Ashton Design Build / Wenthe-Davidson Addition

LOCATION: 16300 W. Rogers Drive

REQUEST: Use, Site and Architecture approval for a 27,183 square foot building addition for Wenthe-Davidson located at 16300 W. Rogers Drive

D.R.C. RECOMMENDATION: Approval of the Use, Site and Architecture application for Wenthe-Davidson located at 16300 W. Rogers Drive, subject to the application, plans on file and the following conditions of approval:

1. Planning

- a. Plan of operation shall be consistent with submitted plans on file. The applicant is proposing to construct a 27,183 square foot addition for Warehousing and Manufacturing for Wenthe-Davidson.
 - i. Hours of Operation: 24/7
 - ii. Number of Employees: 197
 1. 1st shift – 107 employees
 2. 2nd shift – 55 employees
 3. 3rd shift – 6 employees
 4. Office – 29 employees
- b. The Architecture Review Committee approved the plans at the February 5, 2024 meeting.
- c. Dumpsters shall be properly screened from the street and public view in accordance with §275-56 of the Zoning Code.
- d. All permanent and temporary signs require a Sign Application to be filed prior to installation.
- e. Approval of the Landscaping Plan and payment of all installation and maintenance sureties is required, per §275-56C. Landscape plans shall meet all the requirements of §275-39F(2), as well as §275-53 through §275-56 of the Zoning Code.

2. Building Inspection:

- a. Inspection CU - STATE REVIEW REQUIRED
- b. Building plans shall be signed and stamped by a licensed architect or professional engineer per the Wisconsin Enrolled Commercial Building Code (SPS.361.31).
- c. Building plans MUST be approved by the State of Wisconsin Department of

Commerce Safety and Buildings Division (SPS.361.60).

- d. State letter AND State stamped plan set required with building permit application.
- e. Apply and obtain appropriate building, HVAC, electric, plumbing and fire permits from the City of New Berlin Building Inspection Division.
- f. Zoning approval will be required BEFORE applying for the building permit.
- g. Separate application and plans (4 sets) are required.
- h. The building shall be fully accessible from the parking lot to the interior elements SPS.363.1101 and ICC/ANSI A117.1)

3. Engineering:

- a. Drive aisles shall be 24' wide for two way traffic.
- b. All areas designated on approved site plans for vehicular parking, loading, or circulation and used for any such purpose after sunset shall provide artificial illumination in such areas, exclusive of approved anti-vandal lighting. For nonresidential developments, the minimum lighting level should be 0.4 fc.
- c. Additional parking spaces may be required, such that the occupancy, use or intensity of use changes, as outlined in §275-57A(9)(d) and §275-57A(9)(e).

4. Fire Department:

- a. Maintain fire sprinkler coverage throughout for NEW AND EXISTING BUILDING.
- b. Additional fire wall hydrants shall be required at NBFD discretion.
- c. Fire alarm required throughout if over 150 occupancy.
- d. Provide fire extinguishers every 75' of travel.
- e. Maintain egress/emergency lighting throughout.
- f. Maintain 24' fire lane access width throughout with signage.

5. Storm Water Utility:

- a. WDNR NOI is required.
- b. MMSD Chapter 13 is required.
- c. Floodplain fill and building required to be 2 feet above BFE for removal from floodplain.
- d. Compensatory storage is required.
- e. CLOMR-F can be submitted pending CDA approval.
- f. Building permit can not be applied for until CLOMR-F has FEMA approval.
- g. LOMR-F will be required prior to occupancy.
- h. Recommend cleaning of the existing porous pavement to improve functionality.

DETAILS IN ATTACHED STAFF REPORT

**CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
COMMUNITY DEVELOPMENT AUTHORITY STAFF REPORT**

Meeting of March 7, 2024

**Rob Sterr with Anderson Ashton Design Build / Wenthe-Davidson Addition
16300 W. Rogers Drive**

DATE STAFF REPORT CREATED: 2/9/2024

APPLICANT / OWNER(S): Rob Sterr with Anderson Ashton Design Build / Wenthe-Davidson Engineering Co.

REQUEST / DESCRIPTION OF PROJECT: Use, Site and Architecture approval for a 27,183 square foot building addition for Wenthe-Davidson located at 16300 W. Rogers Drive.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 1/18/24

DATE OF COMPLETENESS DETERMINATION: 1/19/24

PRE-APPLICATION CONFERENCE HELD: Yes

Date(s) of Meeting(s): 3/13/2023, 1/8/2024

Site Visit(s): 2/23/24

CONCEPTUAL PLAN: N/A

SIZE OF DEVELOPMENT / PARCEL(S): 27,183 square foot building addition / 10.5 acres

CURRENT ZONING: M-2 SPO (General Industrial District and New Berlin Industrial Park Special Plan Overlay District) and C-2 (Shoreland Wetland Holding District)

CURRENT LAND USE: Industrial

PROPOSED ZONING: N/A

PROPOSED LAND USE: Building Addition

PROPOSED LOT SIZE: N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North: Zoning: M-2, P-1 & C-2

South: Zoning: M-2 SPO & C-2

East: Zoning: M-2 SPO & C-2

West: Zoning: M-2 SPO

Land Use: Railroad, New Berlin Recreational Trail, Park

Land Use: Industrial

Land Use: Industrial

Land Use: Industrial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 13: Neighborhood C: New Berlin Industrial Park: The submittal meets the intent of this Chapter.

Planning Context / Vision / Development Policies

Vision:

- *The New Berlin Industrial Park will continue to be a major economic engine and job center for the City. Public and private reinvestment should focus on upgrading both the infrastructure and building quality to ensure long-term viability. Whenever possible, sustainable development guidelines should be followed for new development and redevelopment as outlined in this Plan. The primary land use should continue to be business, with some limited retail and service businesses located along the eastern edge of the Industrial Park.*

Development Policies:

- *The Industrial Park should remain oriented to business and light industrial uses, attracting incubator businesses when possible.*
- *The City should develop standards that are designed to gradually upgrade the architectural quality and sustainability of the building stock as businesses expand or reconstruct in the future.*
- *The City should explore land coverage and density strategies for allowing building expansions in the Industrial Park.*

Land Use:

- *Future Land Use Map: Business Park Industrial*

ZONING CODE (Chapter 275): Yes, this request is consistent with §275-35B(5) and §275-39 of the Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: No

CONDITIONAL USE REQUIRED: No

USE / SITE / ARCHITECTURAL REVIEW:

Use Approval Required: Yes

Site Plan Required: Yes

Architectural Review Required: Yes, the Architectural Review Committee approved this request at their February 5, 2024 meeting.

PROPOSED ARCHITECTURE: See attached plans. Precast will be used for the addition.

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Yes, Secondary Environmental Corridor

Wetland On Property: Wetlands were delineated by Wetland & Waterway Consulting, LLC on 4/14/2023. Wetlands have been registered on the City's Zoning Map.

Conservancy Districts (C-1, C-2): C-2

NRCS Map Classification: Not Inventoried

Floodplain: Yes

Topography / Geologic: Site is flat with little grade change.

BIKE & PEDESTRIAN FACILITIES PLAN: No improvements identified.

PARK & OPEN SPACE PLAN: No improvements identified.

NATURAL RESOURCES PROTECTION:

Limits of Disturbance (LOD): Shown on plans.

Woodland, Tree, and Vegetation Protection: Trees to be removed and trees to be protected during construction are identified on the plans. Applicant has submitted a landscape plan.

Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: Trees to be removed and trees to be protected during construction are identified on the plans. Wetlands were delineated by Wetland & Waterway Consulting, LLC on 4/14/2023. Wetlands have been registered on the City's Zoning Map.

STORM WATER MANAGEMENT / DRAINAGE: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development. Applicant has submitted a stormwater management plan.

SANITARY SEWER PROVISION:

Within Current Sewer Service Area: Yes

Sewer Shed Capacity Available: Yes

Adequate Linkage: N/A

Onsite System Required: No

WATER USAGE CALC.: Will be reviewed at time of building permit.

TRAFFIC IMPACT: TIA is not required. Traffic Impact Statement submitted.

SCHOOL DISTRICT IMPACT: N/A

Notice Sent to Affected School District(s): No

PREVIOUS ACTION:

1967	Building constructed (PU-223)
1972	Building addition (PU-597)
9/12/1988	Plan Commission approval of an addition (U-112-88)
1994	Building addition (U-45-94)
11/6/1995	Plan Commission approval of a loading dock (U-68-95)
5/1/2000	Plan Commission approval of a building addition (U-23-00)
3/5/2001	Plan Commission approval of an Office Addition (U-74-00)
5/5/2011	Plan Commission approval of a building addition (UA-11-15)

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Plan of operation shall be consistent with submitted plans on file. The applicant is proposing to construct a 27,183 square foot addition for Warehousing and Manufacturing for Wenthe-Davidson.
 - a. Hours of Operation: 24/7
 - b. Number of Employees: 197
 - i. 1st shift – 107 employees

- ii. 2nd shift – 55 employees
 - iii. 3rd shift – 6 employees
 - iv. Office – 29 employees
- 2. The Architecture Review Committee approved the plans at the February 5, 2024 meeting.
- 3. The proposed plans adhere to the development standards of the M-1 SPO Zoning District:
 - a. Building setbacks have been met: 50' front, 10' side (30' total), 25' rear.
 - b. Lot coverage requirements have been met: 50% Maximum Coverage by Buildings, 75% Maximum Coverage by Impervious Surfaces, 25% Minimum Coverage by Open Space and Landscaping.
- 4. Per §275-57A(3): *Minimum number of required spaces. Table 275-57-1 sets forth the minimum number of parking spaces required for each use unless the applicant follows §275-57A(2)(f):*
 - a. Proposed parking
 - i. Warehouse: 39,482 SF x 1 space / 2,000 SF = 20 spaces
 - ii. Office: 8,890 SF x 1 space / 300 SF = 30 spaces
 - iii. Manufacturing: 87,768 SF x 1 space / 500 SF = 176 spaces
 - iv. Requirement = 225 spaces (Proposed parking = 191 spaces)
 - b. After review, staff can support approval of a 15% reduction for a total of 191 spaces based upon:
 - i. Per §275-57A(9)(b)[1], the actual parking demands will be less than the requirements of this chapter. Peak employees with proposed addition: 191 employees between 1 pm – 3 pm (shift change)
 - ii. Per §275-57A(9)(b)[5], alternative transportation will be used.
 - iii. Additional parking spaces may be required, such that the occupancy, use or intensity of use changes, as outlined in §275-57A(9)(d) and §275-57A(9)(e).

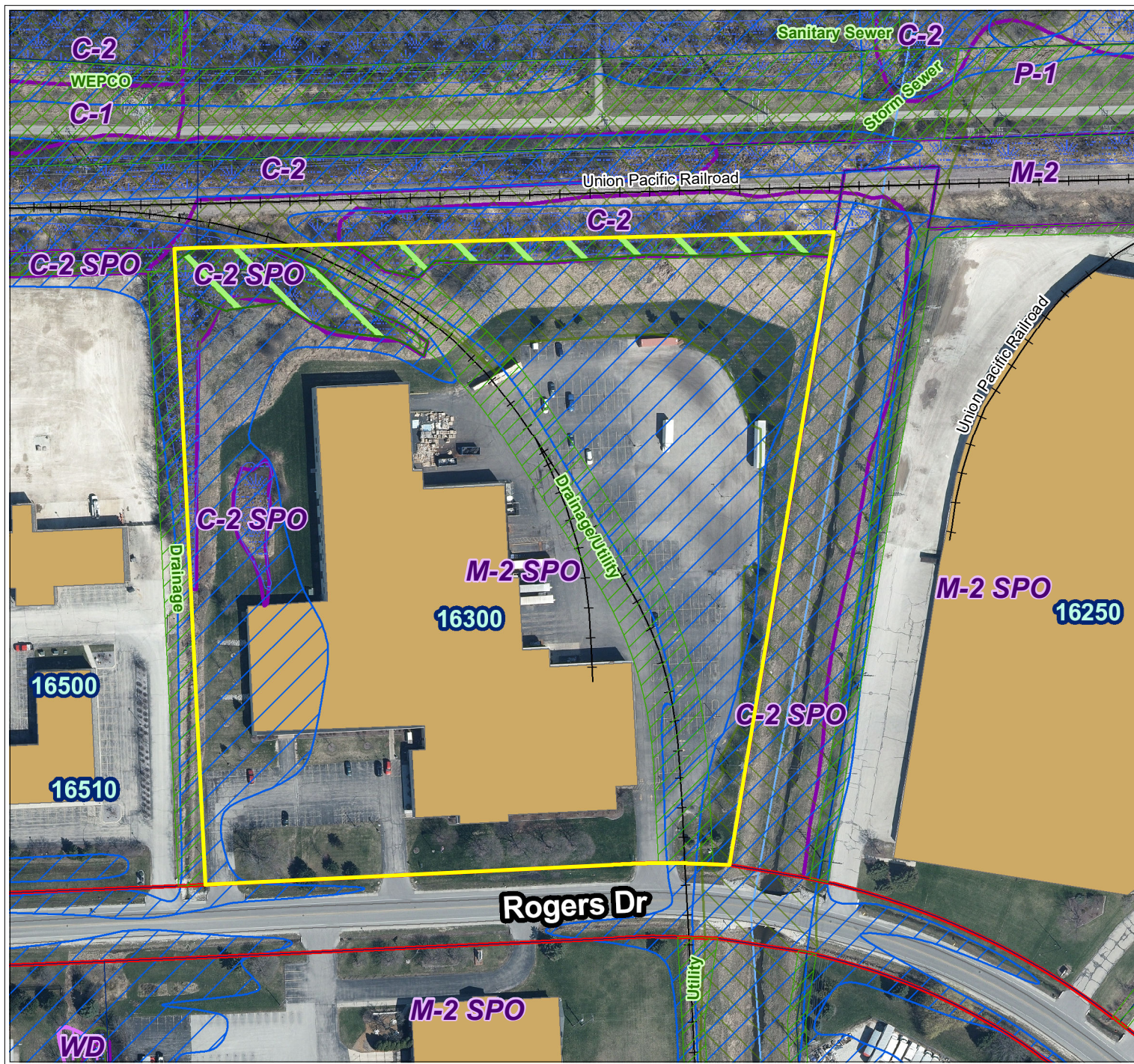
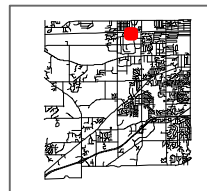
D.R.C. RECOMMENDATION:

Approval of the Use, Site and Architecture application for Wenthe-Davidson located at 16300 W. Rogers Drive, subject to the application, plans on file and the following conditions of approval:
See Executive Summary.

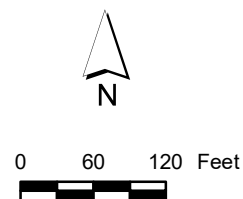
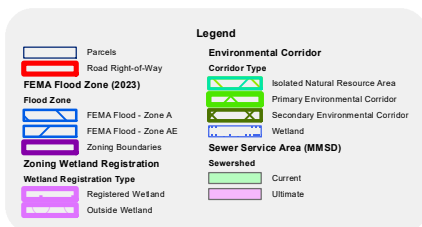
ATTACHMENTS:

Location Map
Plan of Operation
Civil Plans

UA-2400103
Wenthe Davidson Addition
16300 W. Rogers Drive



City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org



The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

Wenthe-Davidson

ENGINEERING CO.

City of New Berlin
Planning Commission
3805 S. Casper Drive
New Berlin, WI 53151

RE: Plan of Operation

Dear Commission,

This letter is in response to permits we are seeking to build a 27,183 square foot addition to our property at 16300 West Rogers Drive, in New Berlin, Wisconsin. We are looking to add to our existing 109,557 square foot facility. This would bring all our Employee Owners and temporary employees under one roof. Our current manufacturing and office footprint includes renting a property at 5325 South Moorland Road in New Berlin. This rented facility includes 15,260 square feet of manufacturing/ warehouse space and 6,940 square feet of office space (22,200 square feet total). Our rental property had four shop employees and four office employees occupying at our peak. We will be moving out of that facility upon completion of the project. We have contracted with Anderson Ashton and intend, with approval, to start construction in April of 2024 and complete the project in November of 2024. The plan includes rain water runoff mitigation that meets requirements. CJ Engineering is submitting the plans for Federal approval.

We are a manufacturing company that supplies high quality products in a short lead-time using lean manufacturing techniques. The carbon and stainless-steel products are used in electric motor frames (housings), generator frames, and cylindrical components for gas and diesel emissions control components. The additional space will allow us to grow in these industries and others that utilize the same manufacturing techniques that we deploy. The parking lot on the east side of the building will be modified to accommodate more parking and allow for truck traffic as well.

We have already moved the Office Associates back to the Rogers Drive location from the rental property. After the completion of the addition, the four remaining shop associates would return here as well. This brings our total number of headcount to the following.

- 1st shift – 5:30 am to 2:00 pm – 107 employees
- 2nd shift – 2:00 pm to 10:30 pm – 55 employees
- 3rd shift – 9:30 pm to 5:30 am – 6 employees
- Office – 7:00 am to 3:30 pm – 29 employees

Future growth on the shop floor would be focused on the off shifts. If traffic becomes a concern between first and second shift, we will change the schedule to include a gap between the shifts. This would likely mean that first shift would end at 2:00 pm as it does currently, and second shift

Wenthe-Davidson

ENGINEERING CO.

would begin at 2:15 pm. We rarely if ever work Sundays, but do work overtime on Saturdays on occasion as required to meet customer demand. This is generally limited to specific areas. We do work all 12 months of the year (5 days per week) with little seasonality to our overall production requirements. Naturally, we are closed on Holidays. Our traffic is limited to personal automobiles and light trucks with our employee owners, our 24 foot box truck for local deliveries and pickups, and tractor trailers that supply us with raw materials and ship products to the customers. This truck traffic averages no more than 12 per day.

As for the square footage base on use, we have the following. There are no residential occupants.

- 2012 approval (109,557 sf total)
 - Warehouse – 26,406 sf
 - Office – 8,890 sf
 - Manufacturing – 74,261 sf
- 2024 approval that we seek (136,740 sf total)
 - Warehouse – 39,482 sf
 - Office – 8,890 sf
 - Manufacturing – 87,768 sf

We are excited about the future and look to remain a long standing good corporate citizen in New Berlin. If you have any questions, please reach out.

Very truly yours,



Frederick M. Anderson
President/ CEO
Wenthe-Davidson Engineering Co.
16300 W Rogers Drive
New Berlin, Wisconsin 53151
262-782-1550 ext 225
fanderson@wenthe-davidson.com



2746 South 166th Street
New Berlin, WI 53151
262.786.4640 P
262.786.4675 F
andersonashton.com

January 19, 2024

City of New Berlin
Community Development Authority
3805 S. Casper Drive
New Berlin, WI 53151

RE: Waiver request for number of parking stalls

Dear Commission,

We are requesting a waiver for the number of parking stalls. Attached is a letter from Mr. Fred Armstrong of Wenthe -Davidson, to outline the justification of the request.

Best regards,

A handwritten signature in black ink, appearing to read 'Rob Sterr', with a long horizontal flourish extending to the right.

Rob Sterr
Senior Project Manager
Anderson Ashton Design/Build

Wenthe-Davidson **ENGINEERING CO.**

City of New Berlin
Planning Commission
3805 S. Casper Drive
New Berlin, WI 53151

RE: Traffic Impact Study and Parking

Dear Commission,

This letter is in response to permits we are seeking to build a 27,183 square foot addition to our property at 16300 West Rogers Drive, in New Berlin, Wisconsin. We are looking to build an addition to our current 109,557 square foot facility. This would bring all of our our Employee Owners and temporary under one roof. Our current manufacturing and office footprint includes renting a property at 5325 South Moorland Road in New Berlin. This rented facility includes 15,260 square feet of manufacturing/ warehouse space and 6,940 square feet of office space (22,200 square feet total). Our rental property had four shop employees and four office employees occupying at our peak. We will be moving out of that facility.

The impact to the property on Rogers Drive will be negligible to the previous traffic studies. Previously, it was estimated that 12 to 14 maximum tractor trailer rigs would be coming and going during two shifts (2012 approval). Even with the building consolidation, we will not see levels of trucking increase over that density. One reason is as we grow, we put more density of a load onto each trailer for customers. The other reason is that every company is changing their approach to shipping costs and are utilizing combined shipments on one truck that head to a distribution site to be loaded for each facility we supply to. We are currently experiencing maximum daily levels at 10 to 12 tractor trailer rigs to both facilities.

We have already moved the Office Associates back to the Rogers Drive location. After the completion of the addition, the four remaining shop associates would return here as well. This brings our total number of headcount to the following.

- 1st shift – 5:30 am to 2:00 pm – 107 employees
- 2nd shift – 2:00 pm to 10:30 pm – 55 employees
- 3rd shift – 9:30 pm to 5:30 am – 6 employees
- Office – 7:00 am to 3:30 pm – 29 employees

The planned parking is 139 in the east parking area for the shop resources and 37 for the office. Many of our employees' carpool or use the new FlexRide service to get to work. Future growth on the shop floor would be focused on the off shifts. If traffic becomes a concern between first and second shift, we will change the schedule to include a gap between the shifts. This would

Wenthe-Davidson

ENGINEERING CO.

likely mean that first shift would end at 2:00 pm as it does currently, and second shift would begin at 2:15 pm.

As for the square footage base on use, we have the following.

- 2012 approval (109,557 sf total)
 - Warehouse – 26,406 sf
 - Office – 8,890 sf
 - Manufacturing – 74,261 sf
- 2024 approval that we seek (136,740 sf total)
 - Warehouse – 39,482 sf
 - Office – 8,890 sf
 - Manufacturing – 87,768 sf

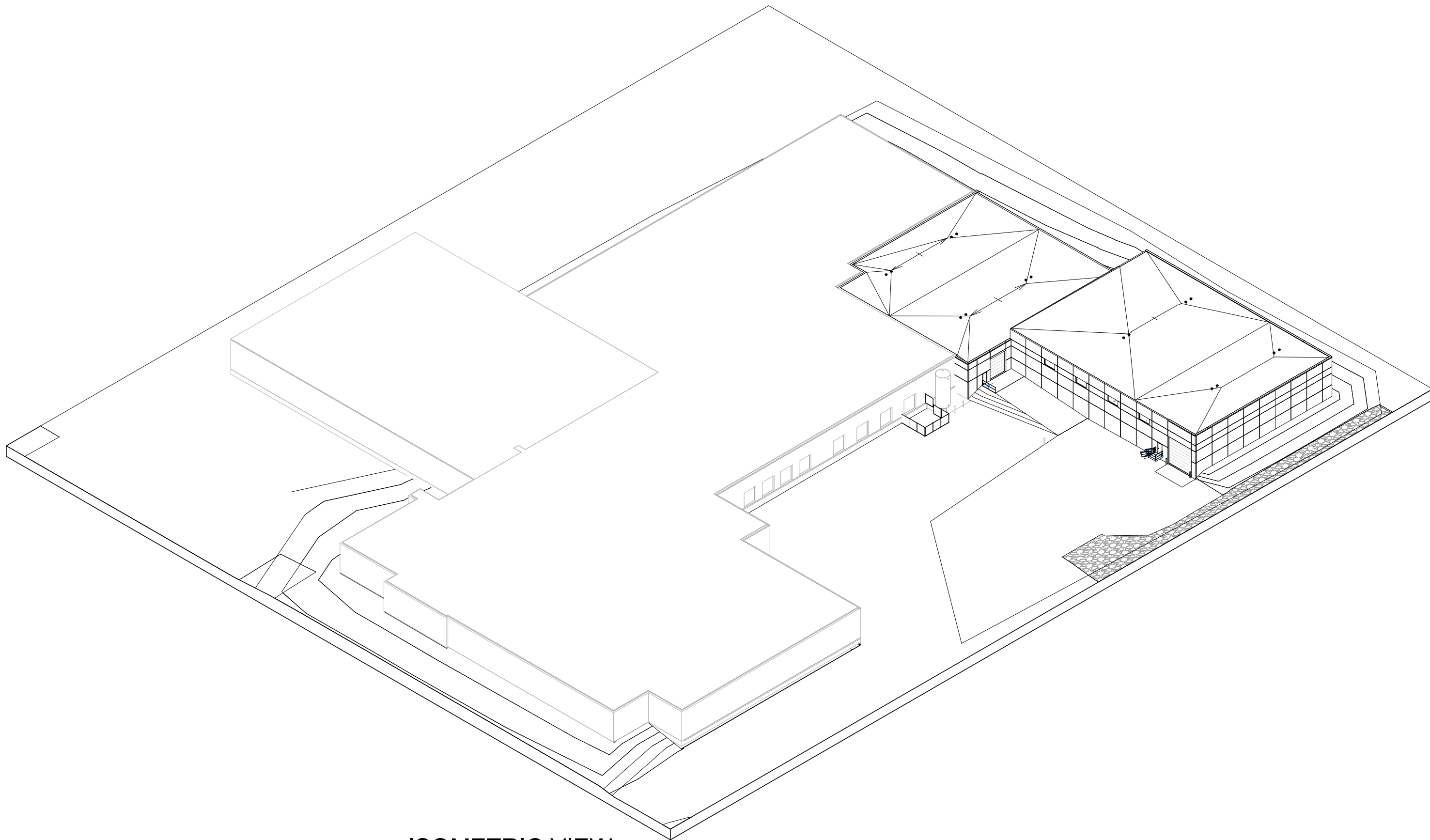
We understand that there are standards of parking spots per square footage based on regulations. We ask that we could show your commission the differences we experience in our type of business. In our warehouse, for example, we will generally have no more than one forklift in that area at any time and it is not for the full duration of the shift. In the manufacturing areas, we are a bit ahead of the industry curve and utilize many robotic cells and CNC equipment that allows us to properly utilize the building to our plan with less than the standard density of one person per 500 square feet in manufacturing. Our plans for the building addition includes an automated laser system that can run production without an operator (lights out). Compared to old manufacturing processes, this creates a six to one advantage on headcount.

We are excited about the future and look to remain a long standing good corporate citizen in New Berlin. If you have any questions, please reach out.

Very truly yours,



Frederick M. Anderson
President/ CEO
Wenthe-Davidson Engineering Co.
16300 W Rogers Drive
New Berlin, Wisconsin 53151
262-782-1550 ext 225
fanderson@wenthe-davidson.com



ISOMETRIC VIEW

WENTHE-DAVIDSON

16300 W. ROGERS DR.
NEW BERLIN, WI 53151

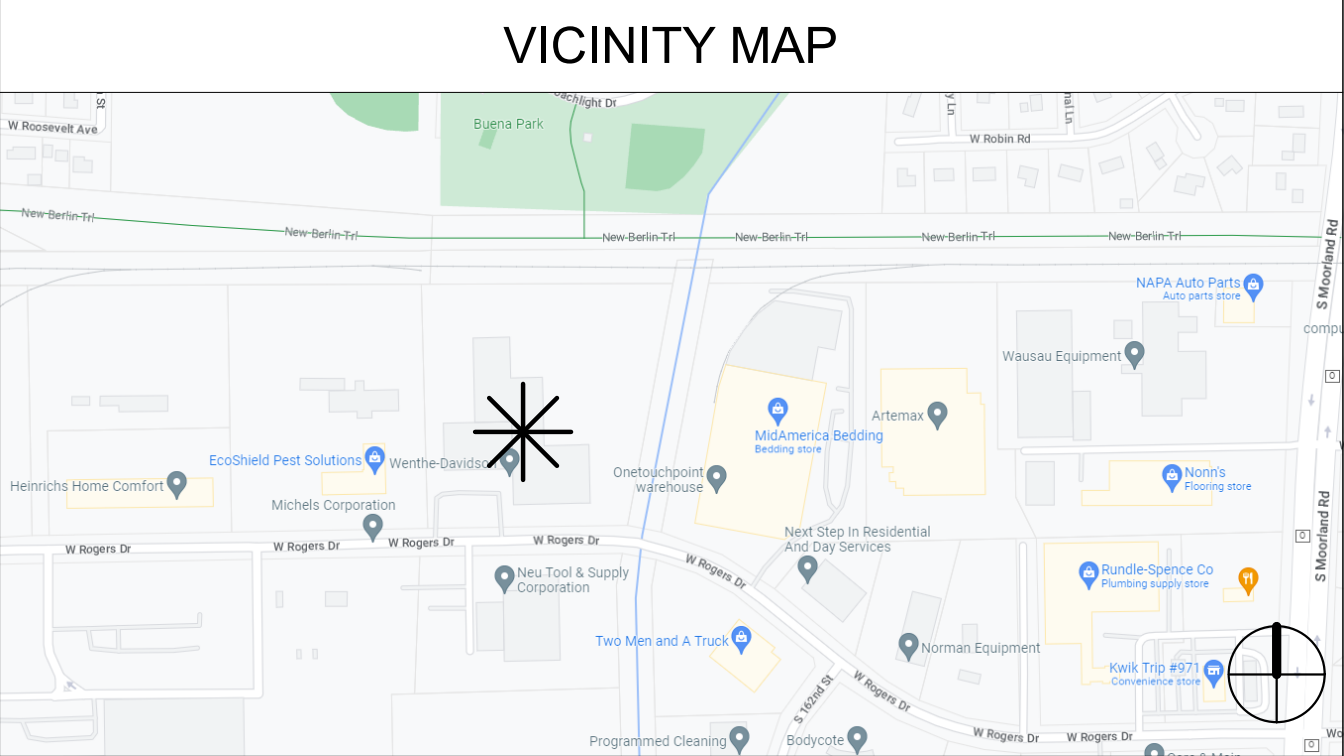
SYMBOLS OF MATERIALS			
	EARTH		GYPSUM BOARD
	GRAVEL		STEEL
	CONCRETE		CAST STONE
	CONCRETE MASONRY UNIT		BATT INSULATION
	BRICK		RIGID INSULATION
	WOOD ROUGH		ALL METALS - SMALL SCALE
	PLYWOOD		

DRAWING KEY			
	A	---	GRID LINES
	#	A	SECTION NUMBER
	#	A	SHEET NUMBER
	#	A	DETAIL NUMBER
	#	A	ROOM NUMBER
	#	A	DOOR NO. ON PLAN
	#	A	REVISION NO.
	#	A	WALL TYPE
	#	A	KEYNOTE TAG

DRAWING INDEX	
CIVIL	
P-0	PLAT OF SURVEY WITH TOPOGRAPHY
C1.0	SITE PLAN
C2.0	SITE GRADING & UTILITY PLAN
C3.0	SITE EROSION CONTROL PLAN
A-SITE	
AS01	ARCHITECTURAL SITE PLAN
LANDSCAPING	
L100	LANDSCAPE PLAN
DEMOLITION	
D101	DEMOLITION PLANS
ARCHITECTURAL	
A101	FLOOR PLAN
A102	ENLARGED PLANS & WALL TYPES
A200	ELEVATIONS
ELECTRICAL	
E101	SITE LIGHT PLAN

OWNER MAILING ADDRESS	
FRED ANDERSON WENTHE-DAVIDSON 16300 W. ROGERS DR, NEW BERLIN, WI 53151	
SUPERVISING PROFESSIONAL	PROFESSIONAL STAMP & DATE
THESE PLANS ARE THE SOLE PROPERTY OF ANDERSON-ASHTON, INC. AND SHALL NOT BE COPIED OR USED BY ANY COMPANY OR INDIVIDUALS UNLESS SPECIFICALLY AUTHORIZED BY THE FOLLOWING SUPERVISING PROFESSIONAL LISTED BELOW: ROBERT R. STENSBERG, #12238-5 NADINE LOVE-FILER, #34212-6 2746 S. 166TH STREET NEW BERLIN, WI 53151	

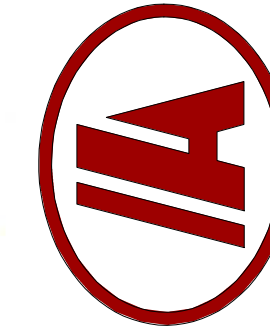
ISSUED FOR		
REV	DESCRIPTION	SHEETS
	STATE REVIEW SUBMITTAL	ALL SHEETS
		DATE
		02/9/2024



REVISIONS

02/9/2024

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 166th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PROPOSED ADDITION BUILDING FOR:
WENTHE-DAVIDSON
16300 W. ROGERS DR.
NEW BERLIN, WI 53151

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 2/16/2024 8:35:22 AM
SUBMITTAL DATE: 2/9/2024
DESIGN NO. 4049
CONSTRUCTION NO. #####

COVER SHEET & PLAN
REVIEW INFORMATION

T101

COPYRIGHT PROTECTED 2024

LEGAL DESCRIPTION:

PARCEL 1 AND PARCEL 2 OF CSM 794, IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHWEST 1/4 OF SECTION 3, TOWN 6 NORTH, RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN.
CONTAINING: 456,208 SQUARE FEET OR 10.4731 ACRES.

NOTES

1. LEGAL DESCRIPTION FROM WAUKESHA COUNTY PUBLIC RECORD AND CSM 794.
 2. SUBJECT PROPERTY ZONED: M-2 GENERAL INDUSTRIAL WITH SPECIAL PLAN OVERLAY AND SHORELAND-WETLAND CONSERVANCY.
 3. SETBACKS AS SHOWN ARE FOR PROPERTIES ZONED M-2 AND ARE BASED ON THE CITY OF NEW BERLIN ZONING CODE AS FOLLOWS:
STREET = 50'
SIDE = 15'
REAR = 25'
WETLAND = 10'
4. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
5. PORTIONS OF SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION AC SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 50133C0228H, WITH A DATE OF IDENTIFICATION OF 10/29/2023 IN COMMUNITY NO. 550487, THE CITY OF NEW BERLIN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
6. SITE BENCHMARK: NORTH RIM OF MANHOLE AS SHOWN HEREON.
7. SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83(2011)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WSCORS & GEOD 12A).

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

LEGEND		
— SAN —	SANITARY SEWER	⊗ ELECTRIC TRANSFORMER
— ST —	STORM SEWER	⊗ ELECTRIC METER
— W —	WATER MAIN	⊗ ELECTRIC PEDESTAL
— TEL —	BURIED TELEPHONE LINE	⊗ ELECTRIC BOX AT GRADE
— E —	BURIED ELECTRIC LINE	⊗ TELEPHONE BOX AT GRADE
— F —	BURIED FIBER OPTIC LINE	⊗ TV PEDESTAL
— CAN —	BURIED CABLE TELEVISION LINES	⊗ GAS METER
— COMB —	COMBINATION SEWER	⊗ AIR CONDENSER
— METAL FENCE —	METAL FENCE	⊗ UTILITY POLE
— EDGE OF TREES AND BRUSH —	EDGE OF TREES AND BRUSH	⊗ WOOD SIGN
— 100 YEAR FLOOD LINE —	100 YEAR FLOOD LINE	⊗ METAL SIGN
— WETLAND LINE AS LOCATED MAY 2, 2023 —	WETLAND LINE AS LOCATED MAY 2, 2023	⊗ WETLAND FLAG
845.38 DS (CONC.)	800M SL ELEVATION	⊗ BOLLARD
⚡	FIRE DEPARTMENT CONNECTION	⊗ BOLLARD LIGHT
		⊗ YARD LIGHT
		⊗ HYDRANT
		⊗ WATER VALVE
		⊗ GAS VALVE
		⊗ MANHOLE
		⊗ STORM MANHOLE
		⊗ CATCH BASIN
		⊗ CURB INLET
		⊗ METAL LIGHT POLE
		⊗ CONCRETE LIGHT POLE
		⊗ WOOD LIGHT POLE
		⊗ MAIL BOX
		⊗ FIBER OPTIC MARKER
		⊗ GUY WIRE
		⊗ CLEANDOT

PLAT OF SURVEY WITH TOPOGRAPHY

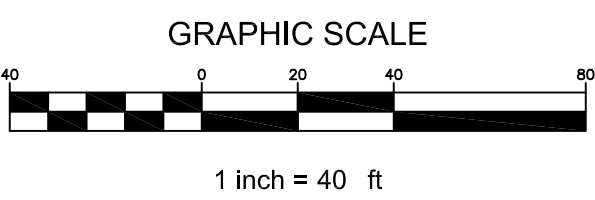
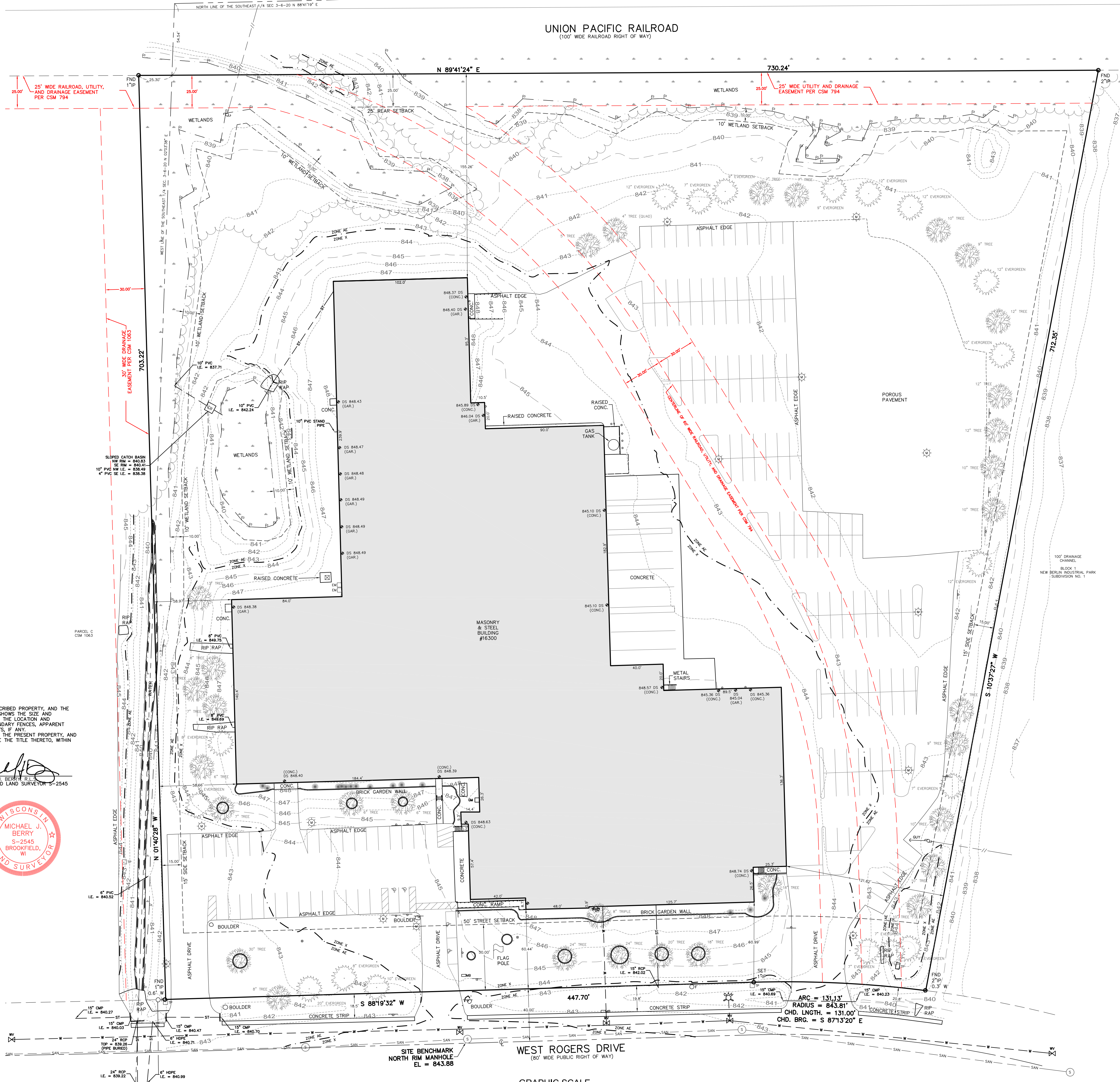
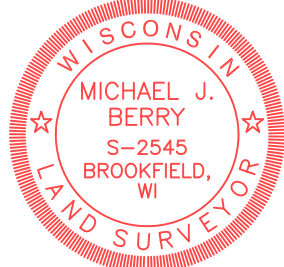
FOR
WENTHE - DAVIDSON
16300 W. ROGERS DR.
NEW BERLIN, WI

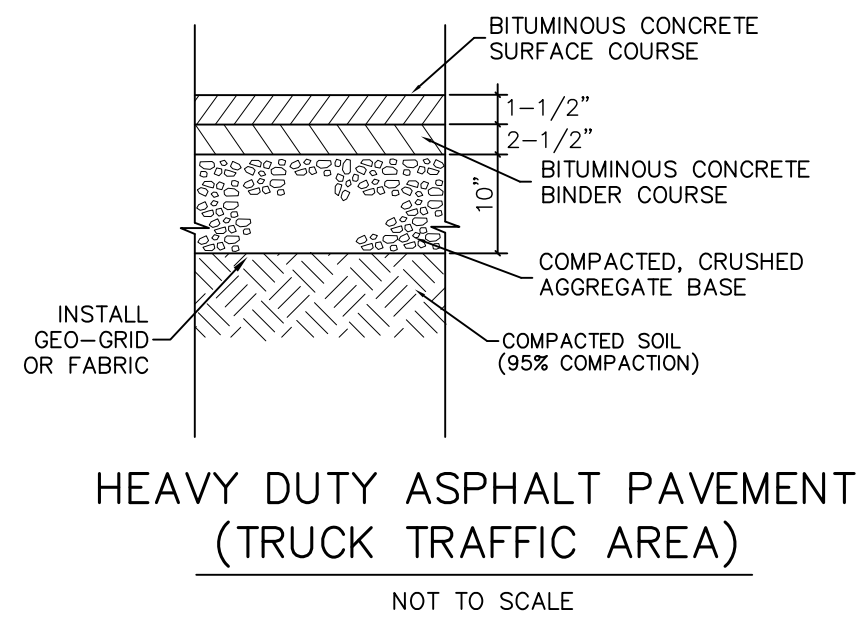
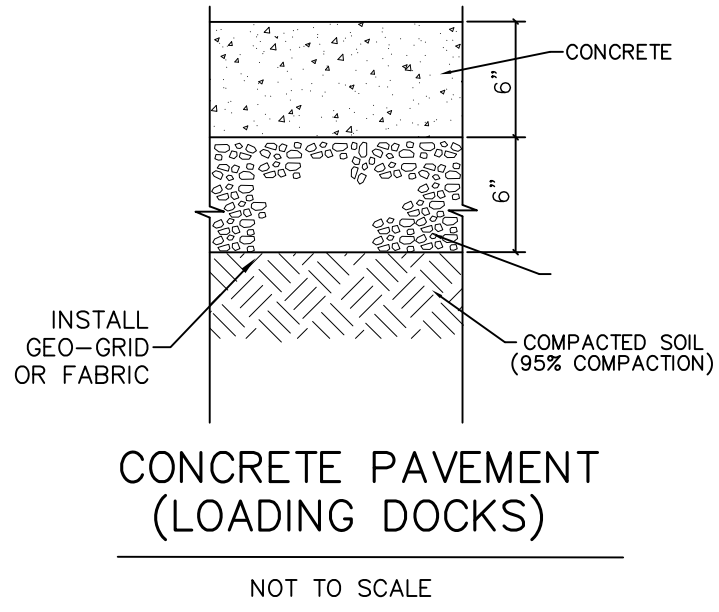
DRAWN BY:	NJF	DATE:	MAY 2, 2023
CHECKED BY:	NJF	DRAWING:	P-0
CSE JOB NO.:	23-30	SHEET	1 OF 1

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERE TO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

MAY 2, 2023
DATE

MICHAEL J. BERRY
S-2545
REGISTERED LAND SURVEYOR





SITE AREAS

EXISTING BUILDING FOOTPRINT = 109,480 S.F. (2.513 ACRES)
EXISTING PAVEMENT = 114,946 S.F. (2.639 ACRES)
EXISTING POROUS PAVEMENT = 30,569 S.F. (0.702 ACRES)
EXISTING TOTAL PAVEMENT = 145,515 S.F. (3.341 ACRES)
EXISTING IMPERVIOUS AREA = 254,995 S.F. (5.854 ACRES) [56% OF THE SITE]
EXISTING OPEN SPACE = 201,213 S.F. (4.619 ACRES) [44% OF THE SITE]

PROPOSED BUILDING ADDITION FOOTPRINT = 27,183 S.F. (0.642 ACRES)
PROPOSED TOTAL BUILDING AREA = 136,663 S.F. (3.137 ACRES)

PROPOSED PAVEMENT = 88,450 S.F. (2.031 ACRES)
PROPOSED POROUS PAVEMENT = 26,760 S.F. (0.614 ACRES)

PROPOSED TOTAL PAVEMENT = 115,210 S.F. (2.645 ACRES)

PROPOSED IMPERVIOUS AREA = 251,873 S.F. (5.782 ACRES) [55% OF THE SITE]
PROPOSED OPEN SPACE = 204,335 S.F. (4.691 ACRES) [45% OF THE SITE]

TOTAL SITE AREA = 456,208 S.F. (10.473 ACRES)

DISTURBED AREA = 70,000 S.F. (1.607 ACRES)

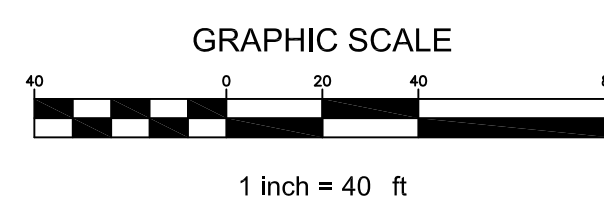
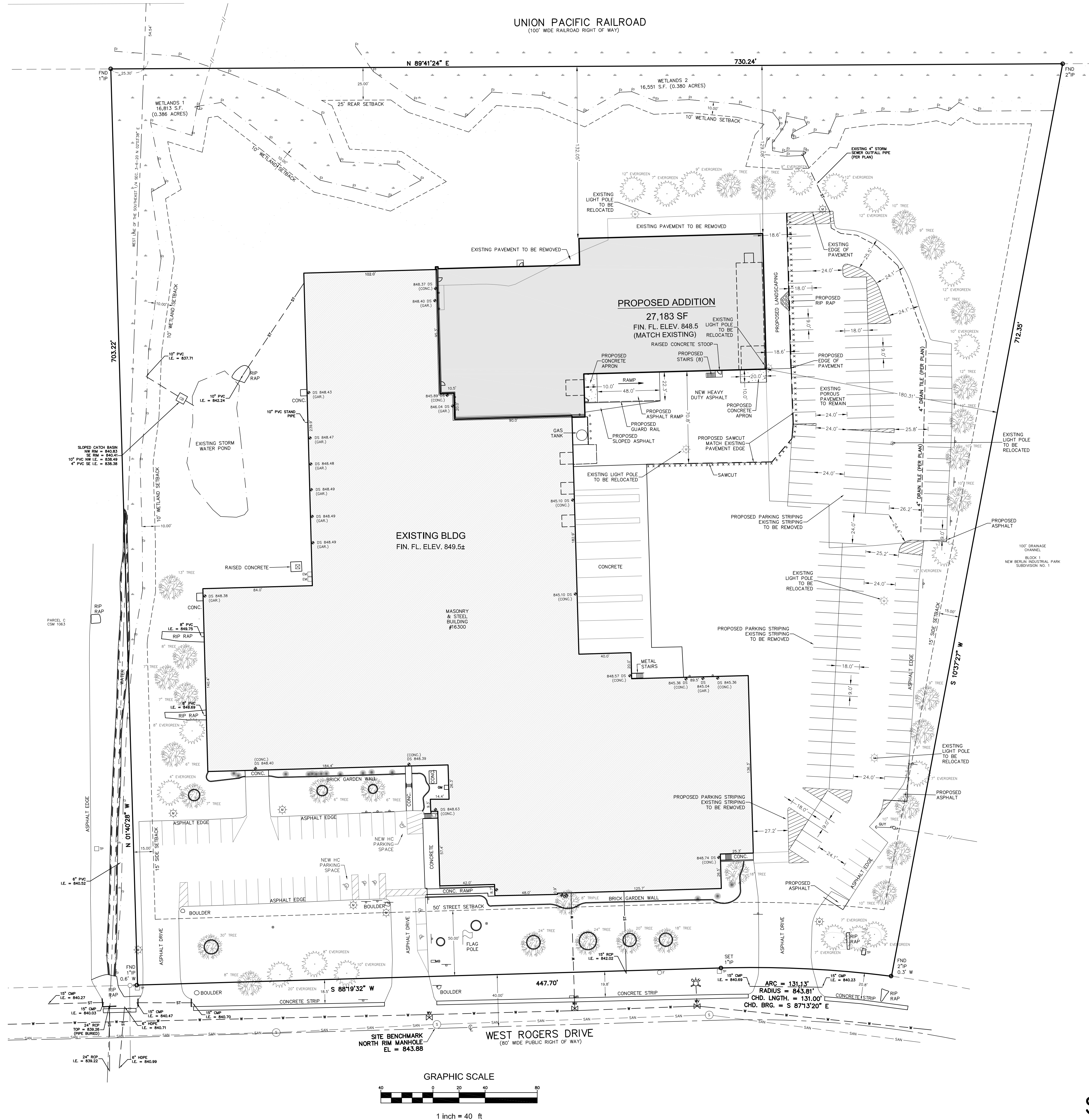
PROPOSED SURFACE PARKING

186 REGULAR SPACES
6 HANDICAPPED SPACES (ADA COMPLIANT ACCESSIBLE SPACES)
192 TOTAL SPACES

NOTES

- EXISTING CONDITIONS PER SURVEY BY CAPITOL SURVEY ENTERPRISES..
- APPROXIMATE DISTURBED AREA 70,000 S.F. (1.61 ACRES).
- THE PROJECT WILL RESULT IN NO INCREASE IN IMPERVIOUS AREA AND A DECREASE IN SURFACE PAVEMENT.
- WETLAND AS SHOWN ARE PER THE DELINEATION BY DAVE MEYERS OF WETLAND AND WATERWAYS CONSULTANTS, LL, DATED 07-18-2023.
- FLOOD PLAIN LIMITS AND BASE FLOOD ELEVATIONS DETERMINED PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C02386, WITH A DATE OF IDENTIFICATION OF 11/05/2014 IN COMMUNITY NO. 550487, THE CITY OF NEW BERLIN.
- FLOOD PLAIN MODIFICATIONS AS SHOWN ARE SUBJECT TO CITY OF NEW BERLIN AND FEMA REVIEW AND APPROVAL.
- SITE BENCHMARK: NORTH RIM OF MANHOLE AS SHOWN HEREON.
- SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISCORS & GEOID 12A).

www.DiggersHotline.com



SITE PLAN

FLOOD PLAIN MITIGATION SUMMARY

PROPOSED
FLOOD PLAIN
FILL AREA

FILL AREA = 26,750 S.F.
FILL VOLUME = 20,200 C.F.

PROPOSED
FLOOD PLAIN
CUT AREA

CUT AREA 1
CUT AREA = 9,100 S.F.
CUT VOLUME = 10,900 C.F.
CUT AREA 2
CUT AREA = 13,600 S.F.
CUT VOLUME = 16,300 C.F.
TOTAL CUT VOLUME = 27,200 C.F.

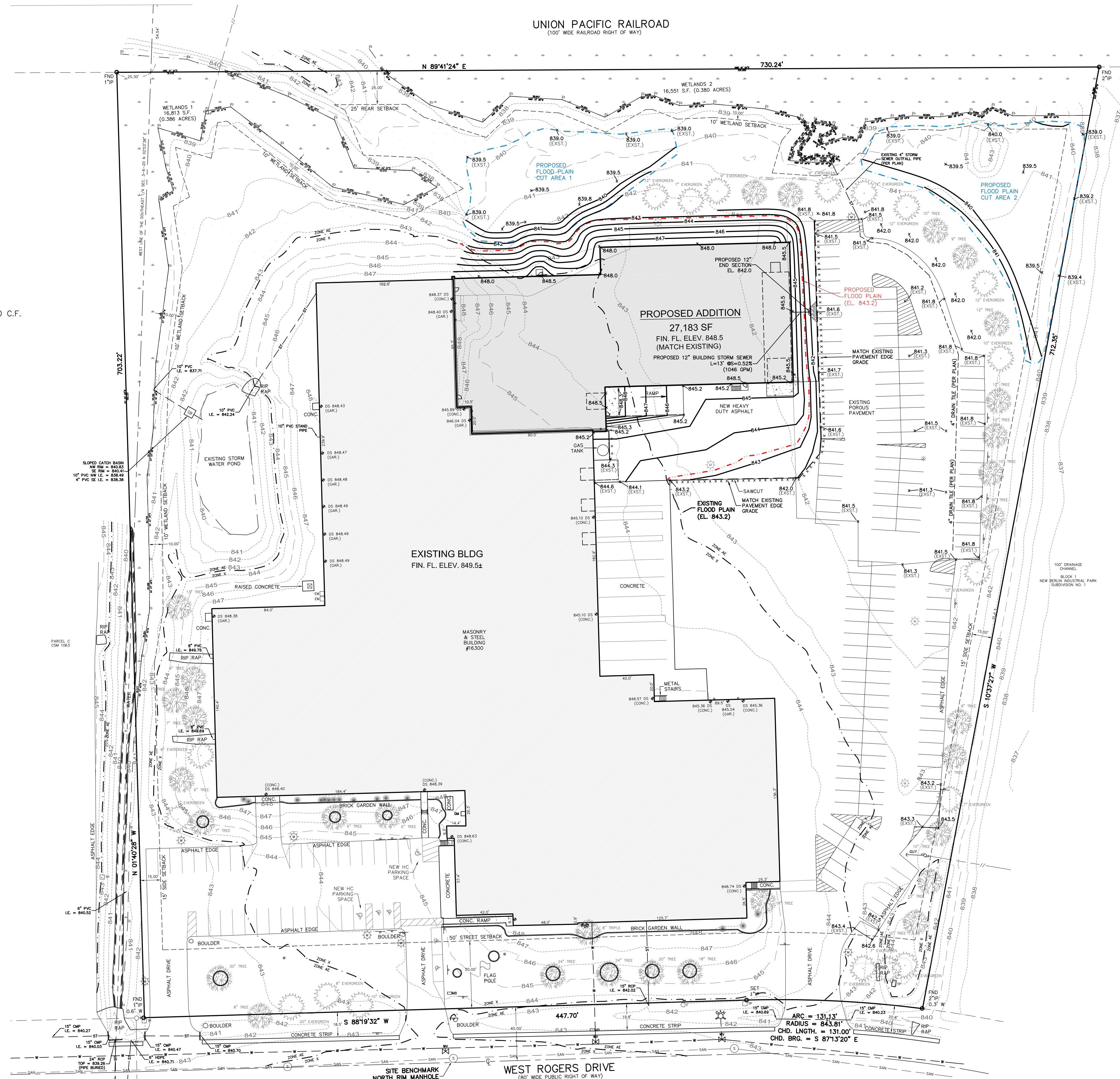
NOTES

1. EXISTING CONDITIONS PER SURVEY BY CAPITOL SURVEY ENTERPRISES.
2. APPROXIMATE DISTURBED AREA 70,000 S.F. (1.61 ACRES).
3. THE PROJECT WILL RESULT IN NO INCREASE IN IMPERVIOUS AREA AND A DECREASE IN SURFACE PAVEMENT.
4. WETLAND AS SHOWN ARE PER THE DELINEATION BY DAVE MEYERS OF WETLAND AND WATERWAYS CONSULTANTS, LL, DATED 07-18-2023.
5. FLOOD PLAIN LIMITS AND BASE FLOOD ELEVATIONS DETERMINED PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C02386, WITH A DATE OF IDENTIFICATION OF 11/05/2014 IN COMMUNITY NO. 550487, THE CITY OF NEW BERLIN.
— FLOOD PLAIN MODIFICATIONS AS SHOWN ARE SUBJECT TO CITY OF NEW BERLIN AND FEMA REVIEW AND APPROVAL.
6. SITE BENCHMARK: NORTH RIM OF MANHOLE AS SHOWN HEREON.
7. SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCSS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)). USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WSCORS & GEOD 12A).
8. ALL STORM SEWER MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF NEW BERLIN REQUIREMENTS.
9. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
10. EXISTING WATER AND SANITARY TO SERVICE PROPOSED BUILDING ADDITION.
11. STORM SEWER: PVC ASTM D3034, RCP ASTM C76, OR ADSN-12 HDPE
*MATERIAL PER CITY REQUIREMENT. CONTRACTOR TO VERIFY.
12. CONTRACTOR TO PROVIDE TRACER WIRE OR OTHER METHOD OF LOCATING FOR ALL UNDERGROUND EXTERIOR NON-METALLIC SANITARY, STORM AND WATER PIPE PER WISCONSIN PLUMBING CODE SECTION 182.0715(2r).

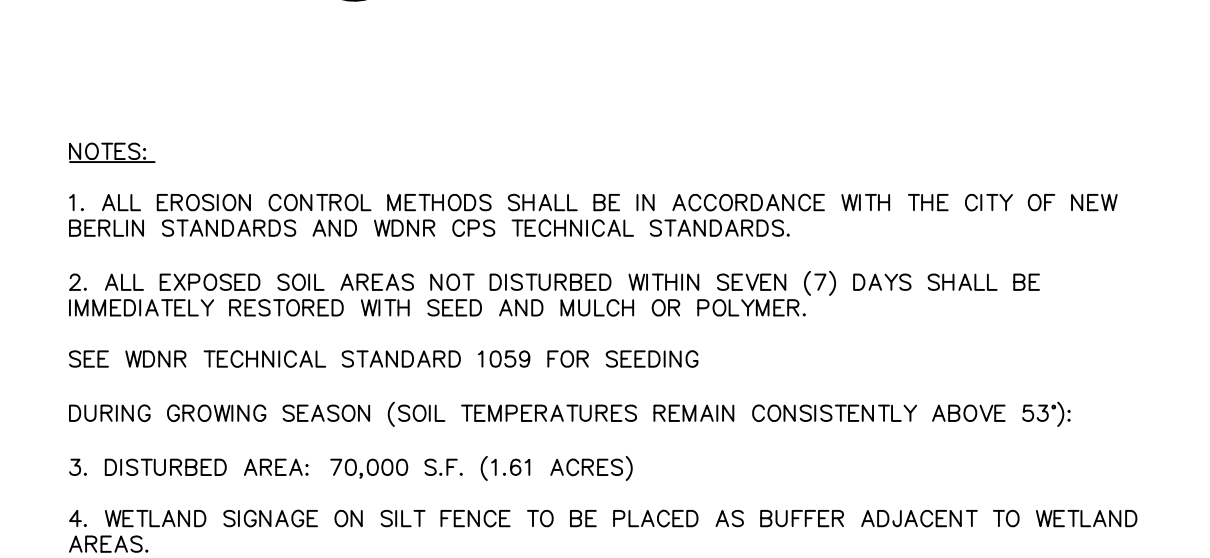
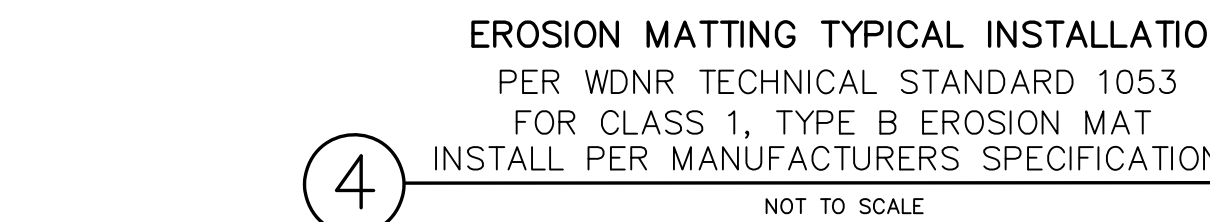
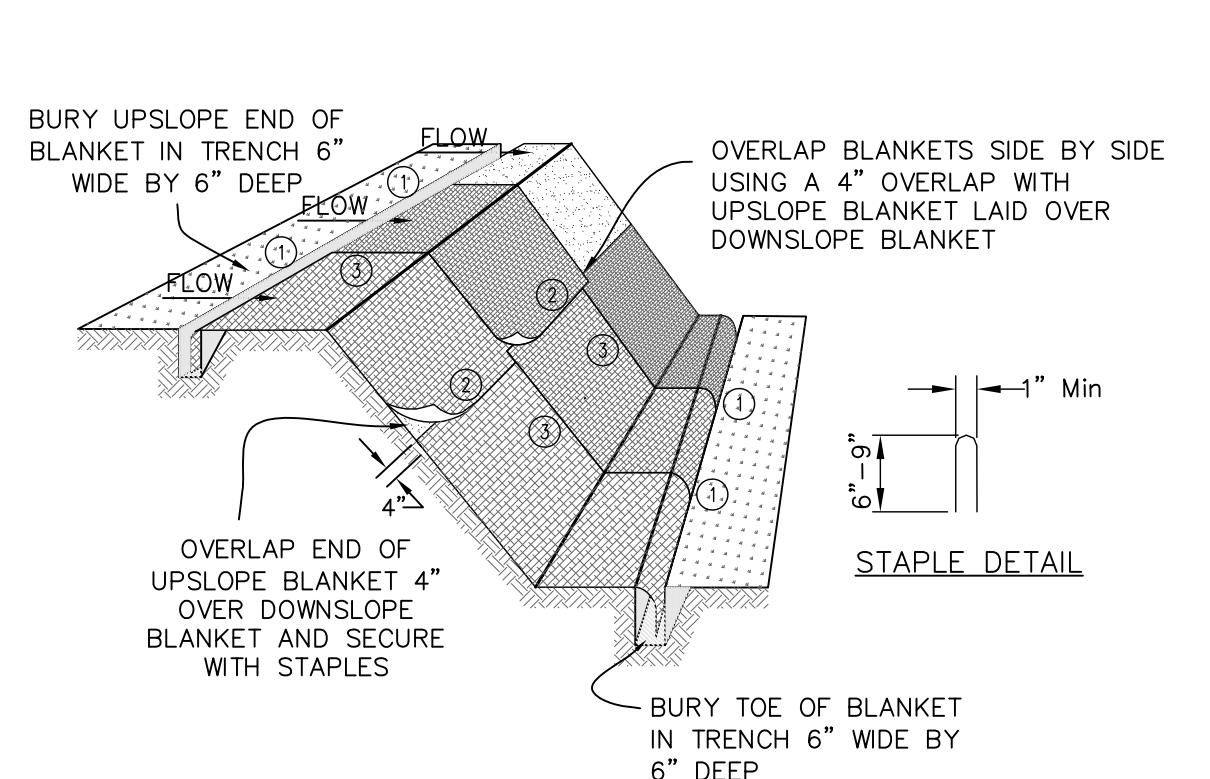
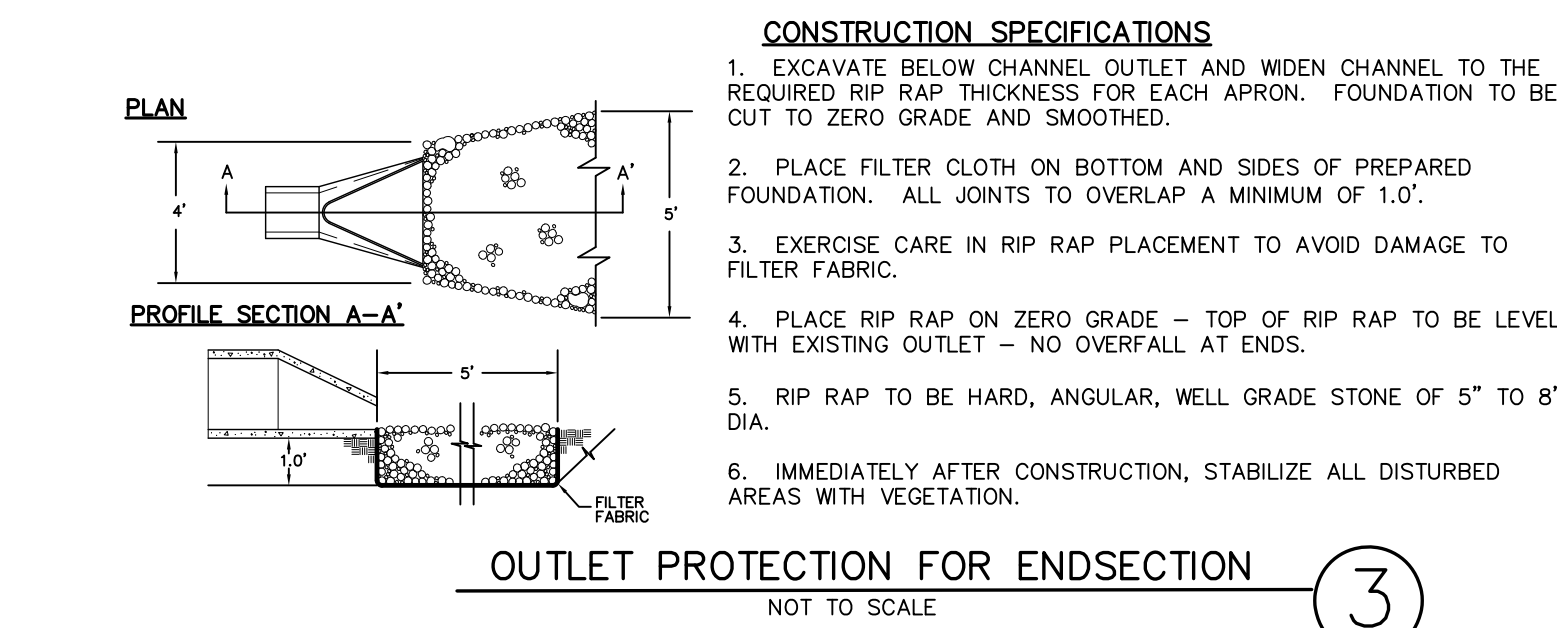
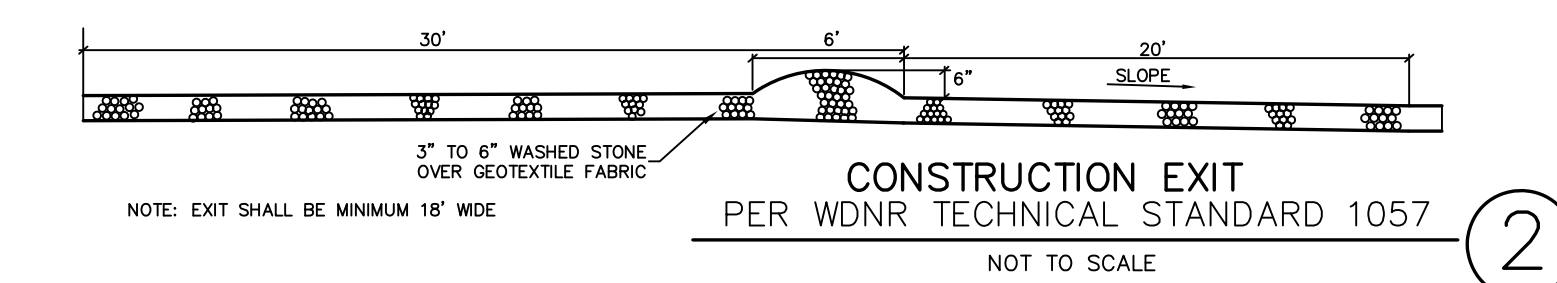
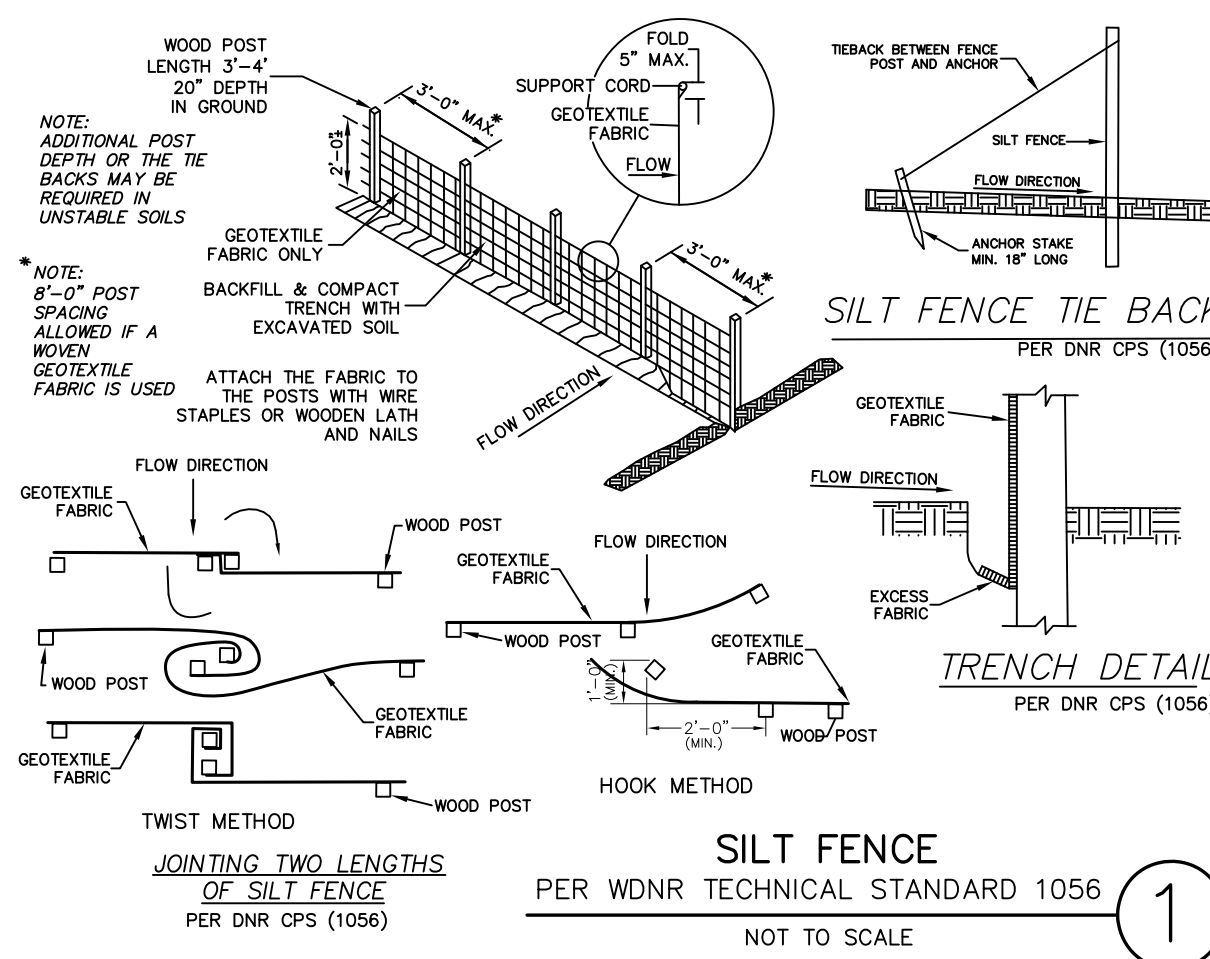
LEGEND

842 ——— EXISTING CONTOUR
843 ——— PROPOSED CONTOUR
x 839.5 ——— PROPOSED ELEVATION
ST ——— PROPOSED STORM SEWER
x x x x x x x x x x ——— PROPOSED SAW CUT

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511



GRAPHIC SCALE
1 inch = 40 ft



WINTER CONDITIONS

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDN TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

PRESCRIPTIVE COMPLIANCE AREAS:
PER WDN NR151.11 WS. ADM. CODE
MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDER DAYS)	LAND DISTURBANCE BETWEEN SEPT. 16TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPT. 15TH

TEMPORARY STABILIZATION METHODS

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

* Fall Seeding

LAND APPLICATION OF ADDITIVES:
DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDN TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.

2. DEMO PAVEMENT IN AREA OF PROJECT AREA.

3. REMOVE ALL DEMOLISHED MATERIALS FROM SITE

4. INSTALL CONSTRUCTION EXIT.

5. INSTALL SILT FENCE.

6. STRIP AND STOCK PILE TOP SOIL AS NEEDED. SURROUND TOP SOIL STOCK PILE WITH SILT FENCE AND TEMP. STABILIZE. LOCATION OF STOCK PILE TO BE DETERMINED BY CONTRACTOR.

7. ROUGH GRADE PROJECT AREA & BEGIN BUILDING ADDITION CONSTRUCTION.

8. UTILIZE DEWATERING BAG AS NECESSARY DURING EXCAVATION FOR BUILDING CONSTRUCTION. DIRECT RUNOFF FROM BAG TO EXISTING STORM WATER FACILITIES.

9. INSTALL PROPOSED STORM SEWER FROM BUILDING.

10. INSTALL OUTLET PROTECTION.

11. INSTALL BASE COURSE OF PAVEMENT.

12. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAINTAIN ALL DISTURBED AREAS.

13. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.

14. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

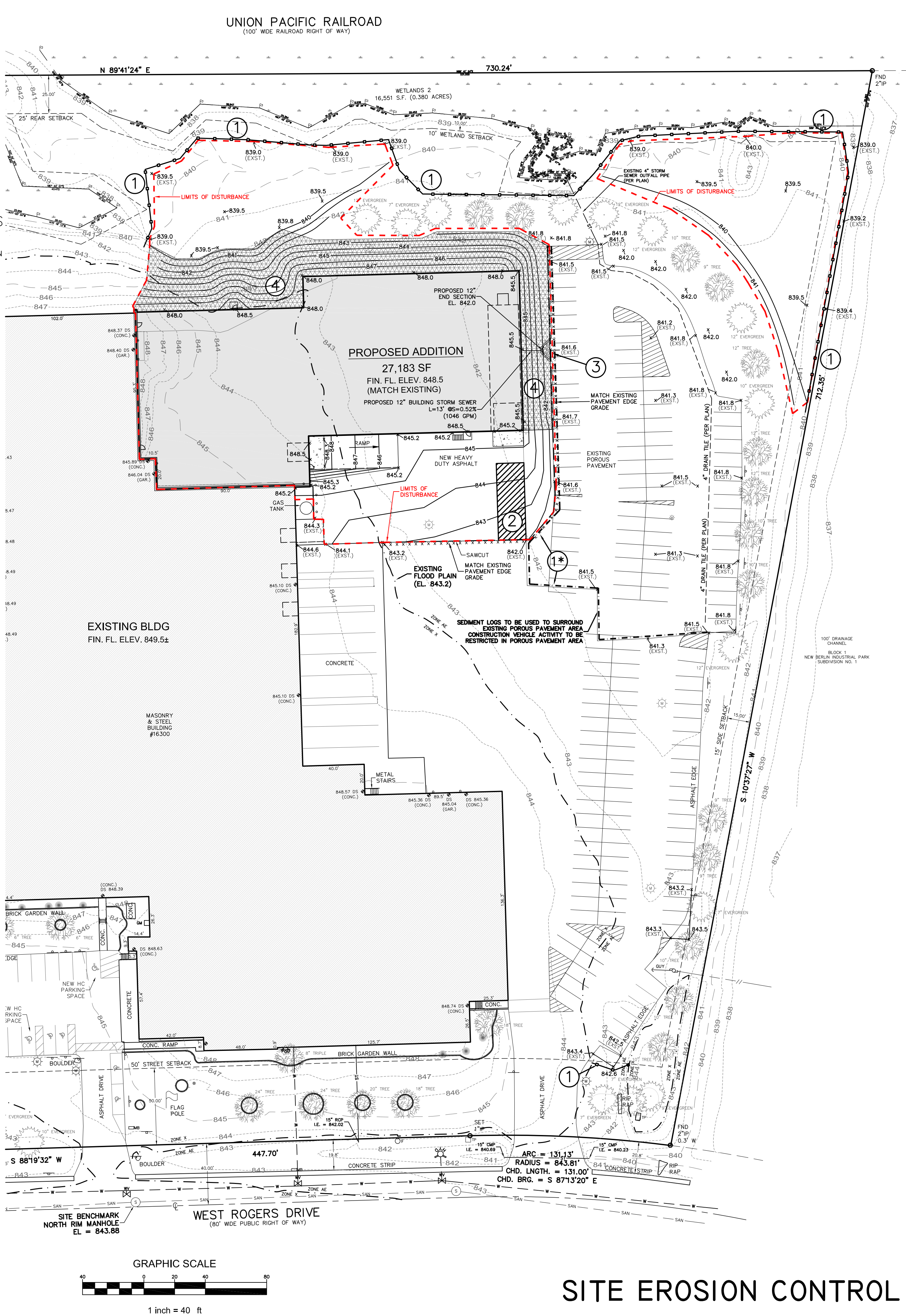
MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.

2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.

3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



ZONED:	M-2
MIN. BUILDING SETBACKS (FT):	STREET YARD: 50' INTERIOR SIDE YARD: 15' REAR YARD: 25'
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: 60'

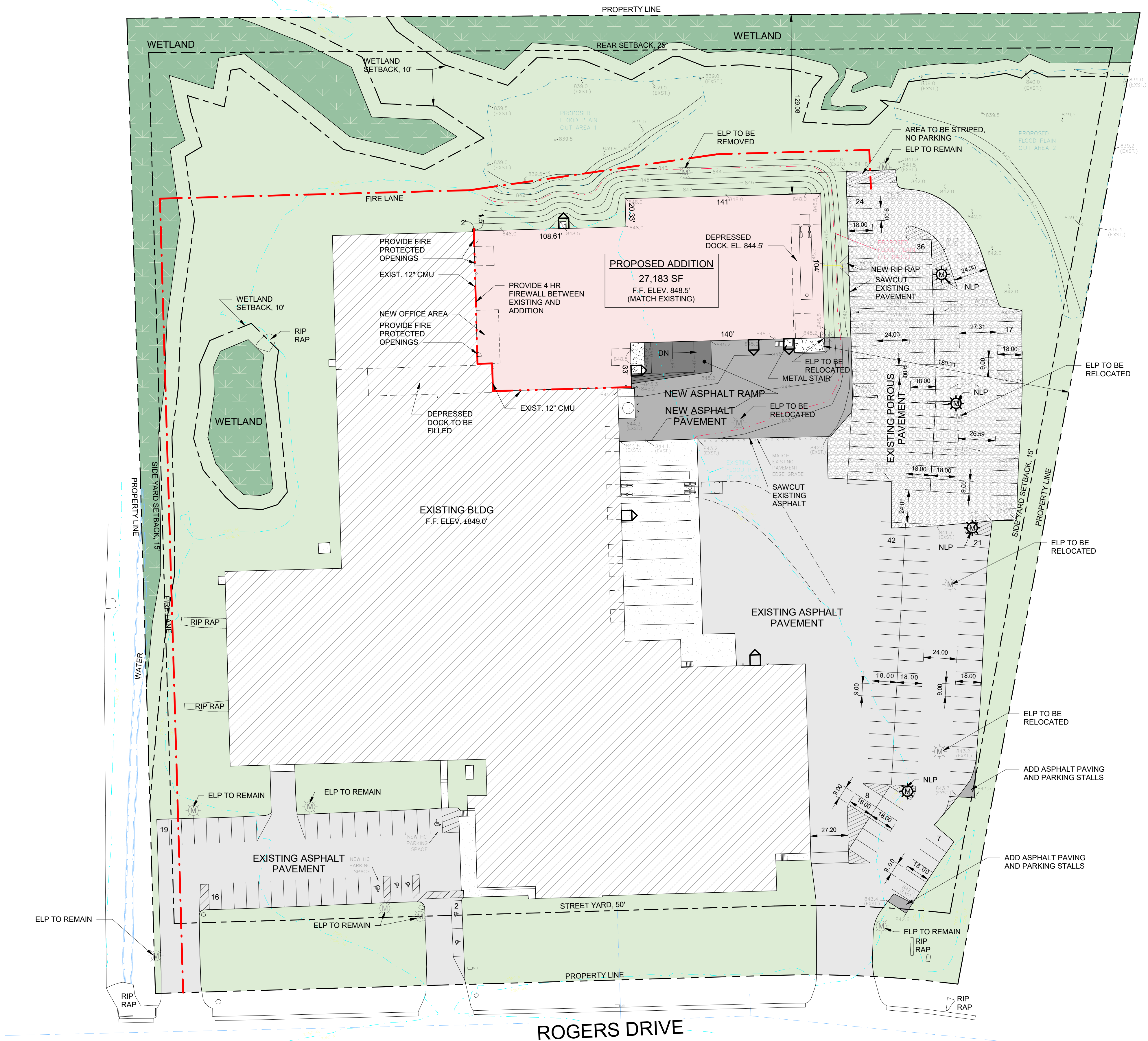
SITE STATISTICS		
NAME	AREA	AREA RATIO
BUILDING FOOTPRINT		
EXISTING BLDG	109,480 SF	24%
PROPOSED ADDITION	27,183 SF	6%
BUILDING FOOTPRINT	136,663 SF	30%
IMPERVIOUS SURFACE		
EXISTING ASPHALT PAVEMENT	66,615 SF	15%
EXISTING CONCRETE	10,762 SF	2%
METAL STAIR	0 SF	0%
NEW ASPHALT PAVEMENT	9,755 SF	2%
NEW ASPHALT RAMP	1,276 SF	0%
NEW CONCRETE	468 SF	0%
IMPERVIOUS SURFACE	88,876 SF	19%
OPEN SPACE		
EXISTING POROUS PAVEMENT	26,986 SF	6%
LANDSCAPE	166,469 SF	36%
WETLAND	37,221 SF	8%
OPEN SPACE	230,676 SF	51%
GRAND TOTAL	456,215 SF	100%

<u>MUNICIPAL PARKING REQUIREMENTS:</u>	
MINIMUM STALL SIZE:	9' x 18'
MINIMUM AISLE WIDTH:	24'
TOTAL STALLS REQUIRED:	1 SPACE PER 500 SF LIGHT MANUF + 1 SPACE PER 300 SF OFFICE SPACE + 1 SPACE PER 2,000 SF WAREHOUSE 175 + 30 + 20 = 225 STALLS 225 x 85% = 192 STALLS
15% REDUCTION	
TOTAL ACCESSIBLE STALLS REQUIRED:	225 x 2% = 5
<u>OWNERSHIP PARKING REQUIREMENTS:</u>	
TOTAL STALLS REQUIRED:	120 STALLS
<u>PROVIDED PARKING:</u>	
TOTAL STALLS PROVIDED:	192 STALLS
TOTAL ACCESSIBLE STALLS PROVIDED:	6 STALLS

NOTE:
UNSUITABLE SOILS TO BE REMOVED AND REPLACED WITH SUITABLE
COMPACTABLE MATERIAL.

	EXISTING ASPHALT PAVEMENT
	EXISTING BLDG
	EXISTING CONCRETE
	EXISTING POROUS PAVEMENT
	LANDSCAPE
	NEW ASPHALT PAVEMENT
	NEW ASPHALT RAMP
	NEW CONCRETE
	PROPOSED ADDITION
	WETLAND
	EXISTING LIGHT POLE (ELP)
	EXISTING LIGHT POLE (ELP) TO BE REMOVED/RELOCATED
	NEW LIGHT POLE (NLP)
	NEW WALLPACK

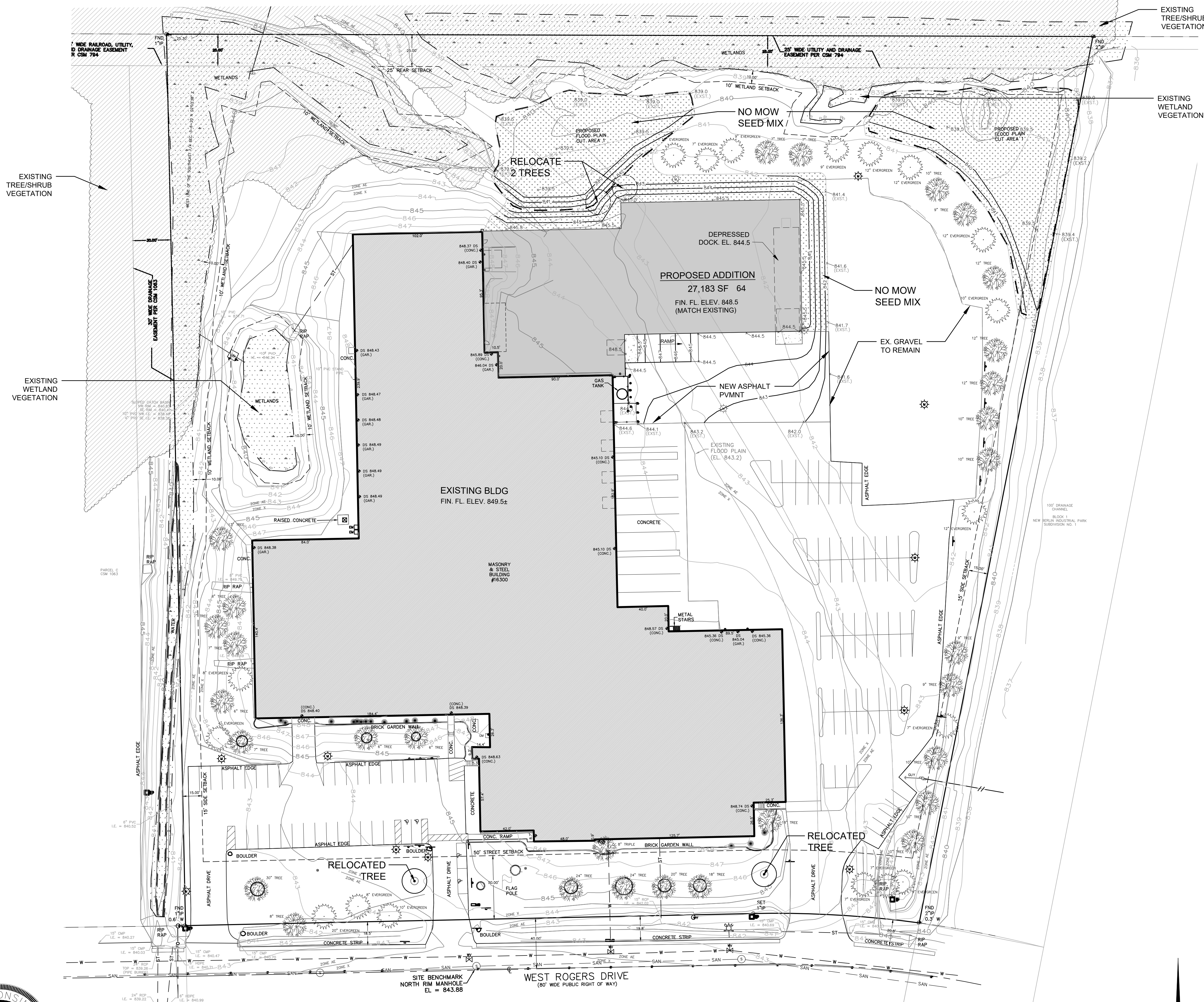
4-HR FIREWALL



 **1** PRELIMINARY ARCHITECTURAL SITE PLAN
1" = 40'-0"



WISCONSIN'S LARGEST
TREE TRANSPLANTERS



Premier Landscapes

LANDSCAPE DEVELOPMENT FOR
WENTHE-DAVIDSON
16300 WEST RODGERS AVENUE
NEW BERLIN, WISCONSIN 53151

LANDSCAPE
ARCHITECTURE

DESIGN BY: GAR

DRAWN BY: GAR

DATE: 1/9/2024

REVISED:

SCALE: 1"=40'-0"

SHEET: L100

**TREES
ON THE MOVE**

5611 S. Calhoun Road
New Berlin, WI 53151
Phone: (262) 679-5200
treesonthemove.com

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



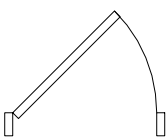
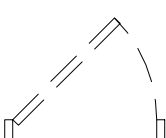
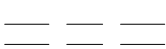
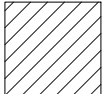
Gerard A. Rewolinski



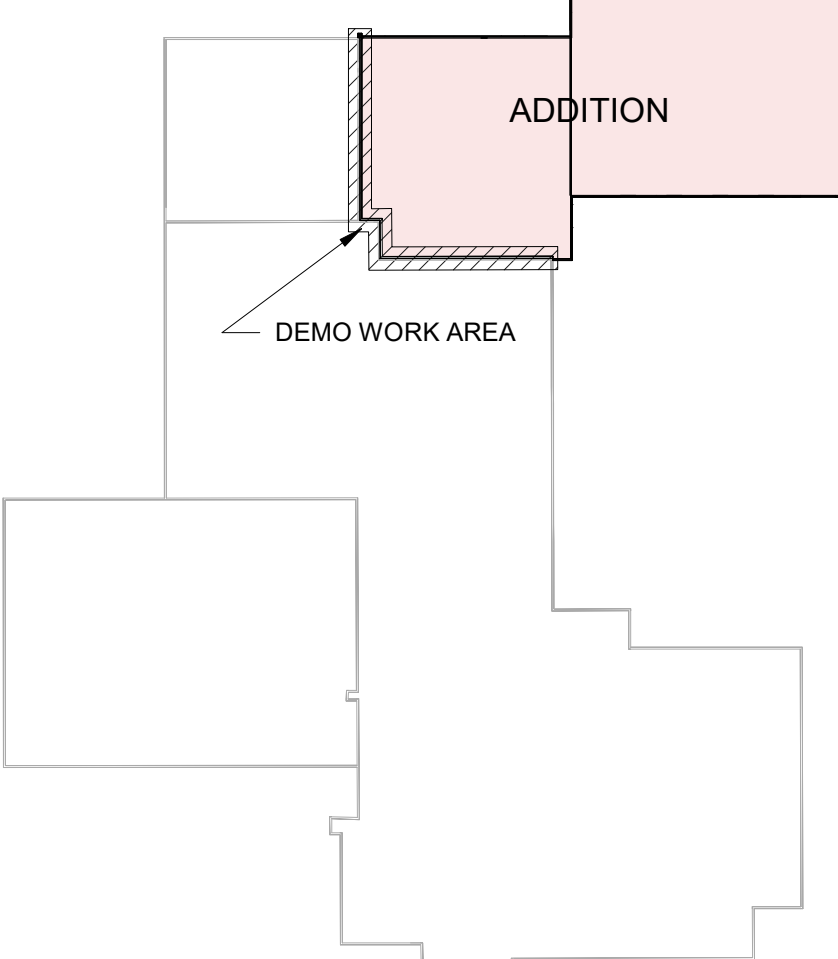
PLANTINGS, STRUCTURES AND OTHER REPRESENTATIONS SHOWN ON THIS PLAN ARE FOR THE PURPOSE OF CONVEYING LANDSCAPE DESIGN FEATURES. REFER TO PREPARED CONTRACT DOCUMENTS FOR SPECIFIC ITEMS INCLUDED IN ANY PARTICULAR PHASE OF LANDSCAPE CONSTRUCTION.

LANDSCAPE PLAN

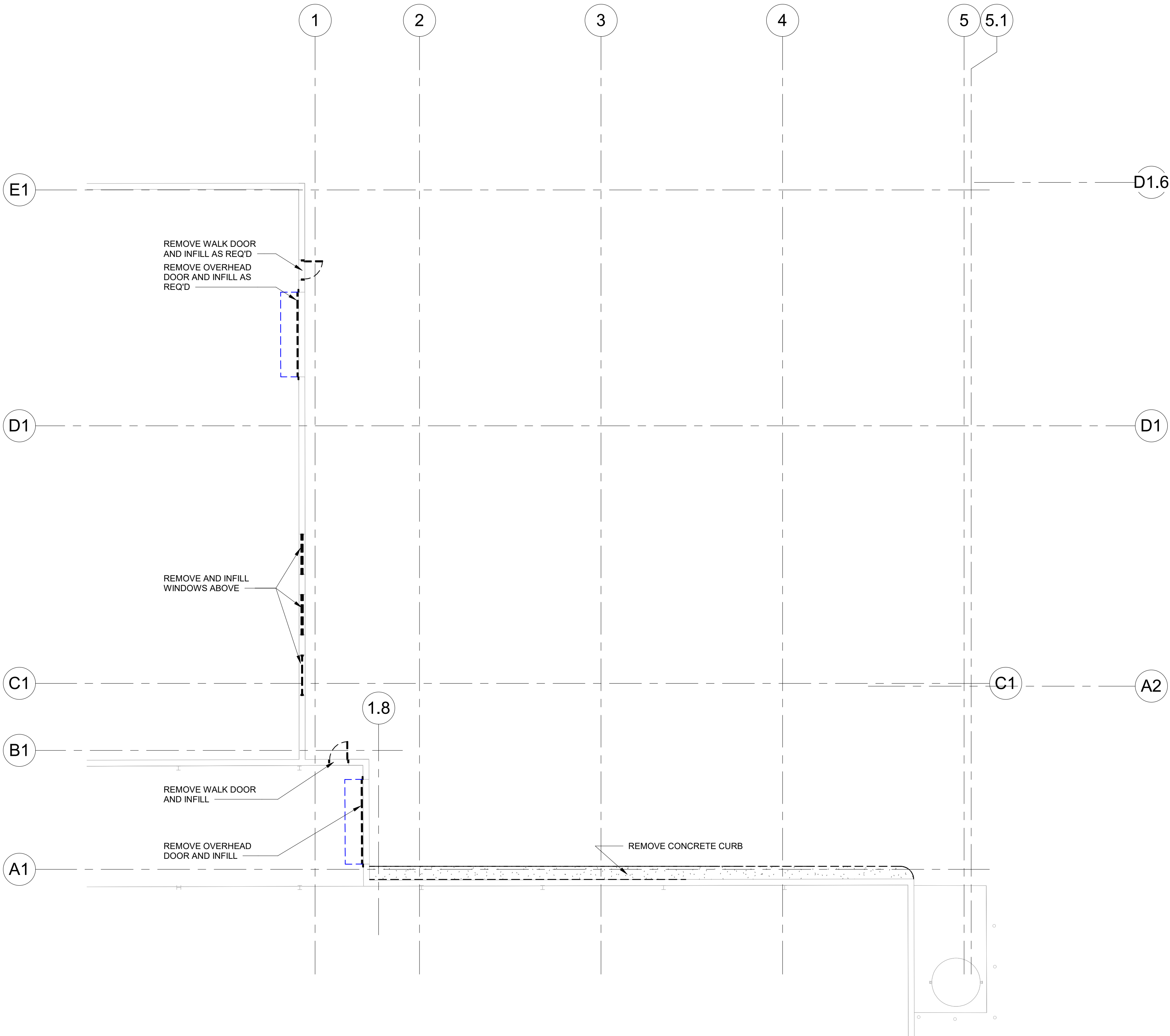
0 40' 80'

DEMOLITION LEGEND:	
	EXISTING DOOR TO REMAIN
	DOOR & FRAME TO BE REMOVED
	EXISTING WALL TO BE REMOVED W/ ASSOC. ELEC & UTILITIES WITH IN WALL - CAP AS NEEDED
	WORK AREA

GENERAL NOTES - DEMOLITION:		
1. EXISTING CONDITIONS MAY VARY FROM THOSE INDICATED. NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.	7. ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.	13. CONTRACTOR SHALL TERMINATE ALL ELECTRICAL, IT, PLUMBING, TELECOM/DATA LINES AND PROVIDE FOR UNINTERRUPTED SERVICE TO THE FACILITY BEFORE COMMENCING DEMOLITION WORK.
2. REMOVE INTERIOR PARTITION WALLS, INTERIOR DOORS, ACOUSTIC CEILING SYSTEMS, ACOUSTIC TILES, LIGHTING AND ELECTRICAL ACCESSORIES AS REQUIRED BY FINAL PLANS.	8. PROVIDE TEMPORARY SUPPORT AND STABILIZE ANY PARTITIONS THAT BECOME UNBRACED DUE TO SELECTIVE OR PARTIAL DEMOLITION. NO DEMOLITION WORK SHALL INTERRUPT, COMPROMISE, DAMAGE, OR REMOVE ADJACENT STRUCTURE OR FINISHES NOT SPECIFIED FOR DEMOLITION.	14. WHERE APPLICABLE, REMOVE ALL LOOSE PAINT ENCOUNTERED ON SURFACES RELATED TO THE WORK, AND DISPOSE PER CODE REQUIREMENTS.
3. CONFIRM WITH OWNER FOR ANY INTENT TO SALVAGE ANYTHING FROM DEMOLITION WORK.	9. PATCH OUT FLOORS AND WALLS AT REMOVED PARTITIONS TO MATCH EXISTING ADJACENT FINISHES WHERE NEW FINISHES ARE NOT SCHEDULED.	15. REMOVE ALL EXISTING FLOORING FINISHES, PROTRUDING OBJECTS (BOLTS, ETC.), AND LOOSE PIECES OF CONCRETE. ALL UNEVEN SURFACES TO BE GROUND DOWN, REMEDIATE IDENTIFIED HAZARDOUS MATERIALS AS REQUIRED BY CODE AND APPLICABLE LAWS & REGULATIONS. STRIP CONCRETE FLOOR AND RESEAL PER FINAL PLANS.
4. DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING ELEMENTS REQUIRED BY THE GENERAL DEMOLITION, BUT NOT INDICATED, SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. EACH TRADE CONTRACTOR SHALL COORDINATE THEIR DEMOLITION WITH EACH OTHER AND WITH THE SCOPE OF THE FINISHED WORK.	10. FILL AND/OR GRIND FLOORS AT REMOVED PARTITIONS AS REQUIRED TO PROVIDE A SMOOTH TRANSITION, SLOPE NOT TO EXCEED 1/16" PER FOOT.	16. REMOVE EXISTING CMU WALLS, FILL AND/OR GRIND FLOORS AT REMOVED PARTITIONS AS REQUIRED TO PROVIDE A SMOOTH TRANSITION.
5. CONTRACTOR TO VERIFY STRUCTURAL INTEGRITY OF ALL ADJACENT FRAMING PRIOR TO REMOVING WALLS, HEADERS, ETC. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED BETWEEN DEMOLITION AND NEW CONSTRUCTION WORK.	11. REMOVE ALL CARPETING, RUGS, TILE, SHEET FLOORING, AND OTHER FINISHES COMPLETELY TO EXISTING SUBFLOOR AS REQUIRED BY FINAL PLANS.	17. REMOVE EXISTING ABANDONED ELECTRICAL EQUIPMENT. GC TO COORDINATE WITH OWNER TO IDENTIFY FIXTURES AND EQUIPMENT FOR SALVAGE, RECYCLING, OR REMOVAL. GC SHALL PROVIDE CREDIT TO OWNER FOR ANY MATERIAL THAT CAN BE SALVAGED FOR REUSE/RECYCLING.
6. CONTRACTOR SHALL PATCH FLOOR, FILL VOIDS AND DEPRESSIONS TO MAKE FLOOR LEVEL TO ACCEPT NEW FLOOR FINISHES PER MANUFACTURER'S RECOMMENDATIONS.	12. REMOVE ALL ELECTRICAL FIXTURES, OUTLETS, SUPPLY BOXES, AND WIRES AS REQUIRED BY FINAL PLANS. TERMINATE LINES BELOW SUBFLOOR (MINIMUM) OR AT MAIN PANEL.	



KEY PLAN



1 DEMOLITION PLAN
3/32" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 166th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

PROPOSED ADDITION BUILDING FOR:
WENTHE-DAVIDSON
16300 W. ROGERS DR.
NEW BERLIN, WI 53151

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 2/14/2024 6:00:49 PM
SUBMITTAL DATE: 2/9/2024
DESIGN NO. 4049
CONSTRUCTION NO. ####

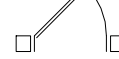
DEMOLITION PLANS

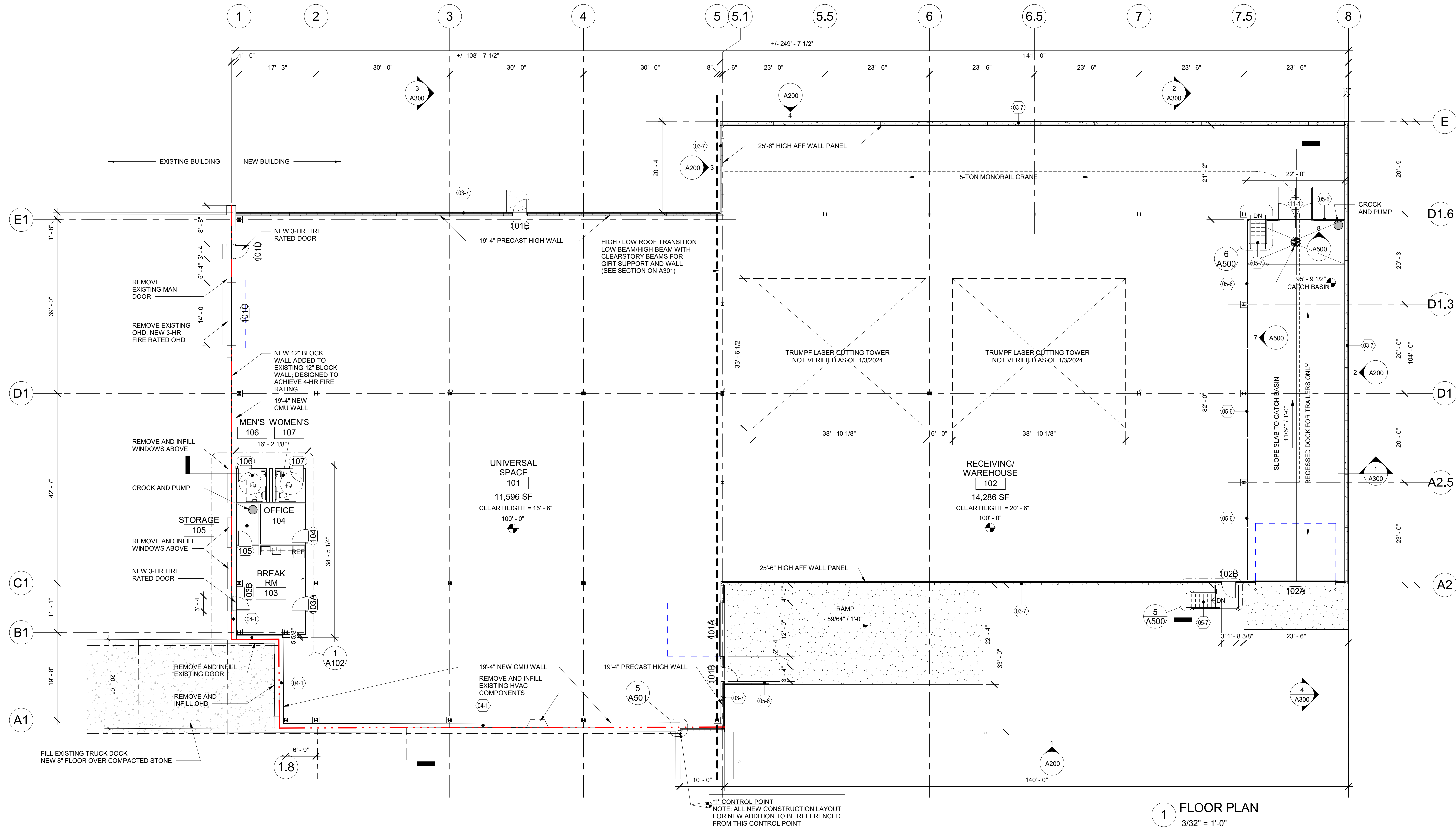
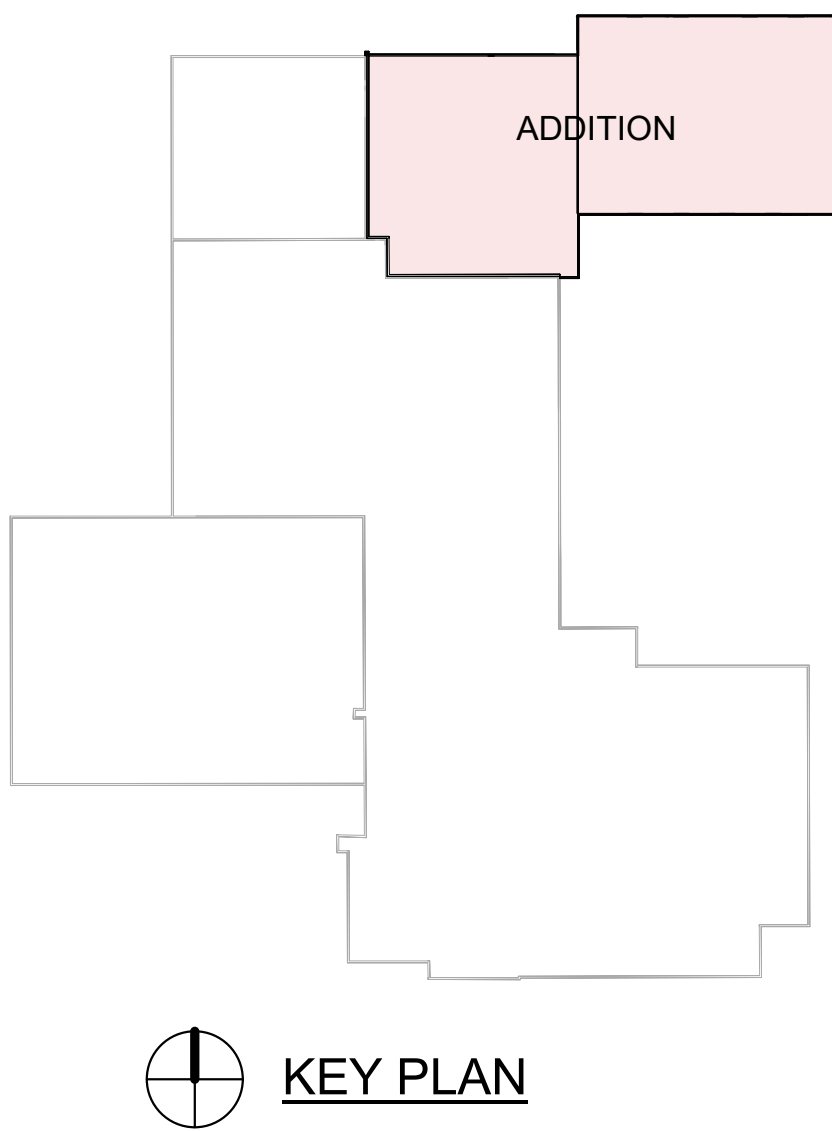
D101

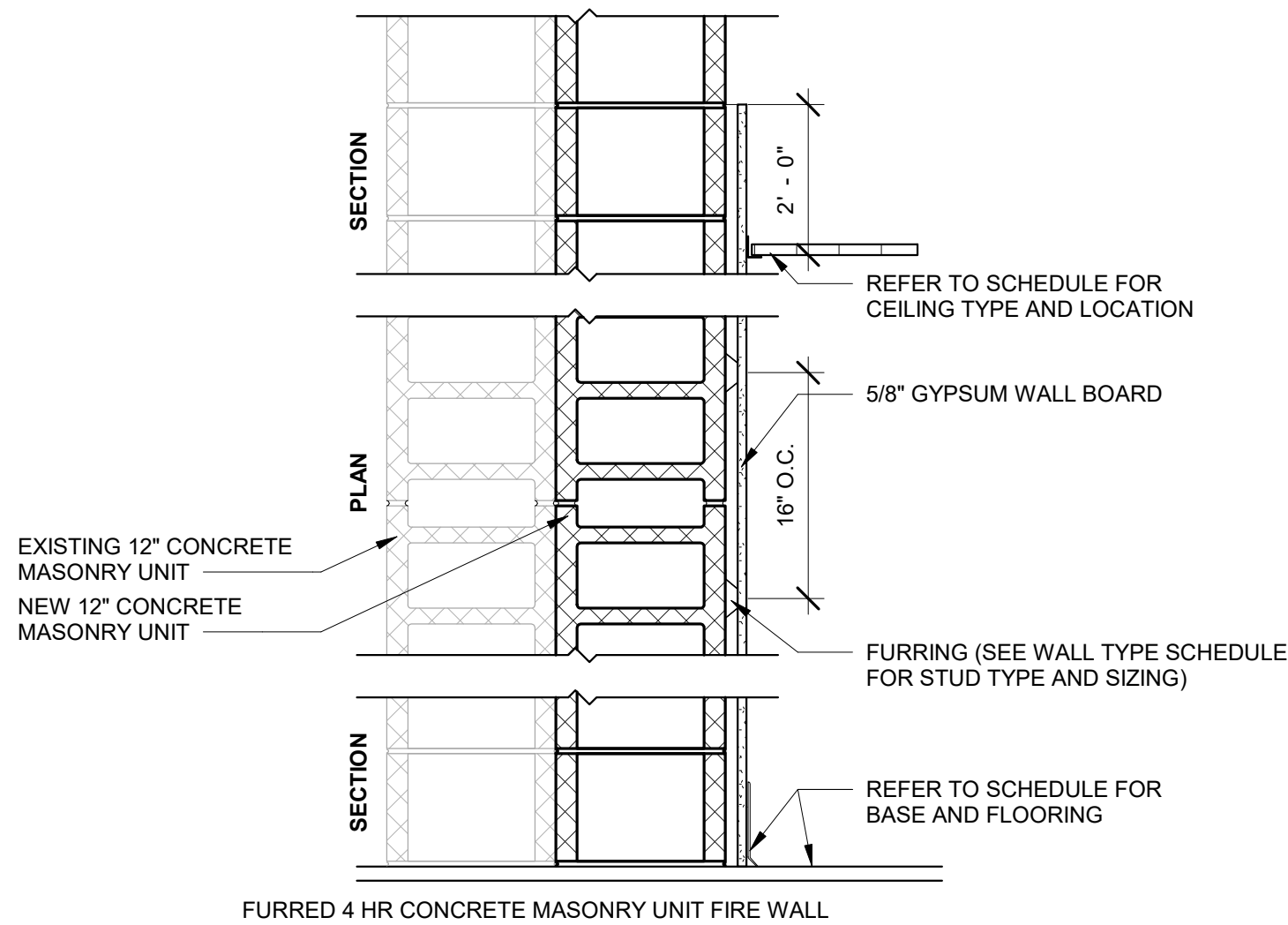
20

Page 23 of 27

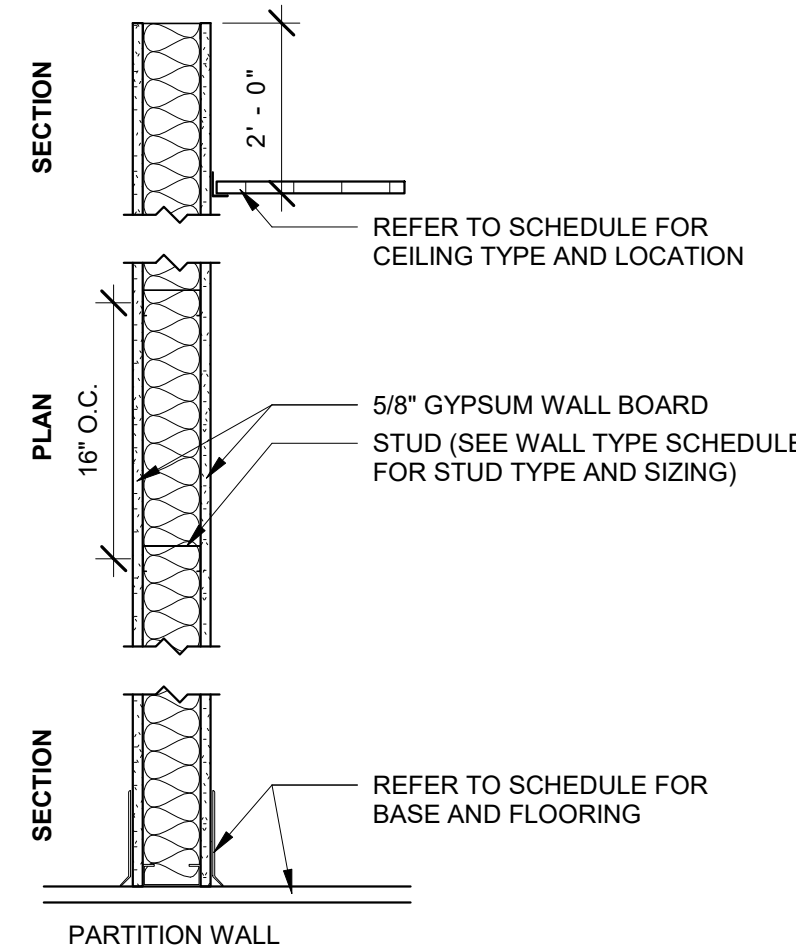
FLOOR PLAN LEGEND

ROOM	ROOM NAME	EXIT	EXIT LIGHT
	ROOM NUMBER		INDICATES 1-HOUR CONSTRUCTION
	DOOR NUMBER		NEW CONSTRUCTION
	EXISTING DOOR TO REMAIN NUMBER		
	PARTITION TYPE		NEW DOOR & FRAME
	PLAN NOTES		EXISTING DOOR & FRAME TO REMAIN
	SURFACE MOUNTED FIRE EXTINGUISHER		5" CONCRETE FILLED GALVANIZED COLLARD W/ YELLOW BOLLS
	EXIT / EXIT DISCHARGE TO A PUBLIC WAY		





7 WALL TYPE 2
1" = 1'-0"



6 WALL TYPE 1
1" = 1'-0"

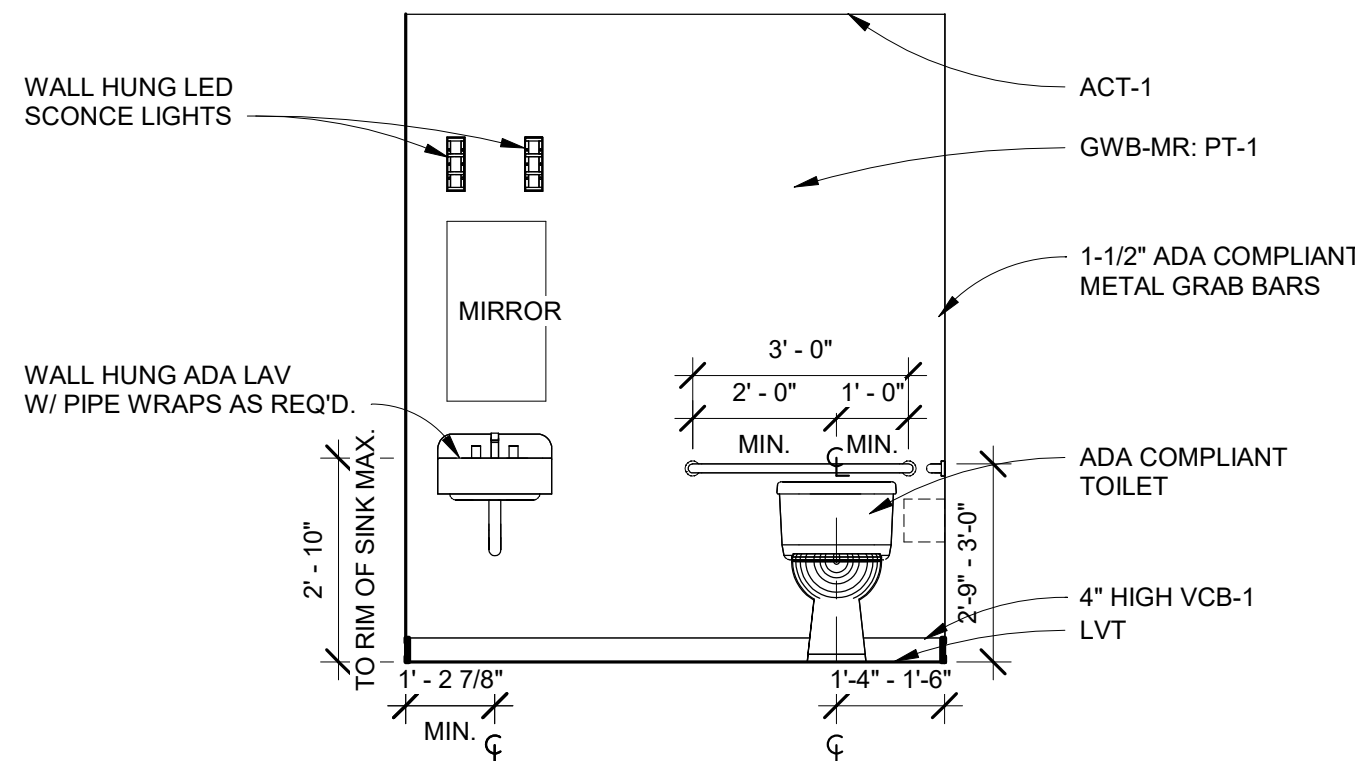
FLOOR PLAN LEGEND			
ROOM	ROOM NAME	EXIT	EXIT LIGHT
100	ROOM NUMBER	---	INDICATES 1-HOUR CONSTRUCTION
100	DOOR NUMBER	---	NEW CONSTRUCTION
EX	EXISTING DOOR TO REMAIN NUMBER	---	NEW DOOR & FRAME
#	PARTITION TYPE	---	EXISTING DOOR & FRAME TO REMAIN
1	PLAN NOTES	---	5" CONCRETE FILLED GALVANIZED BOLLARD W/ YELLOW COVERS
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER	---	
↑	EXIT / EXIT DISCHARGE TO A PUBLIC WAY	---	

CEILING NOTES
- REFER TO ROOM FINISH SCHEDULE FOR CEILING MATERIALS AND FINISHES

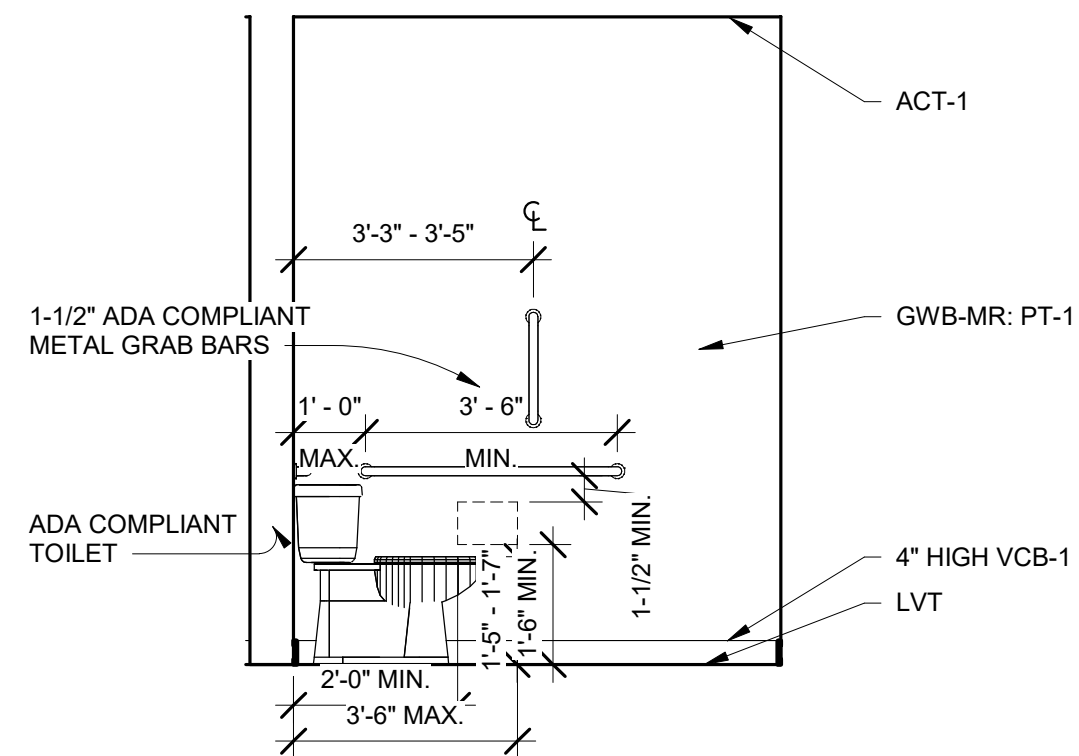
WALL SCHEDULE					
TYPE MARK	FIRE RATING	DESCRIPTION	ACTUAL WIDTH	STUD SIZE	WALL INSULATION TYPE
1	-	T.O. WALL = 11'-0" A.F.F.	0'-4 7/8"	3 5/8"	-
1A	-	T.O. WALL = 11'-0" A.F.F.	0'-7 1/4"	6"	-
2	-	T.O. WALL = 11'-0" A.F.F.	0'-1 1/2"	7/8"	-

NOTE:
1. CARPENTER TO INCLUDE SLIP TRACK @ ROOF TRUSSES FOR ALL FULL HEIGHT INTERIOR WALLS
2. CARPENTER TO PROVIDE CONTINUOUS BLOCKING AT CEILING LINE WITHIN ROOMS WITH CEILINGS - BLOCKING TO ACT AS SMOKE BARRIER
3. CARPENTER TO PROVIDE FOR MOVEMENT AT PERIMETER ROOF WALL DRYWALL JUNCTIONS
4. PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT WET/ DAMP LOCATIONS
5. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON APPLIED WALL FINISHES
6. CARPENTER TO PROVIDE BLOCKING AS NEEDED FOR BATHROOM ACCESSORIES

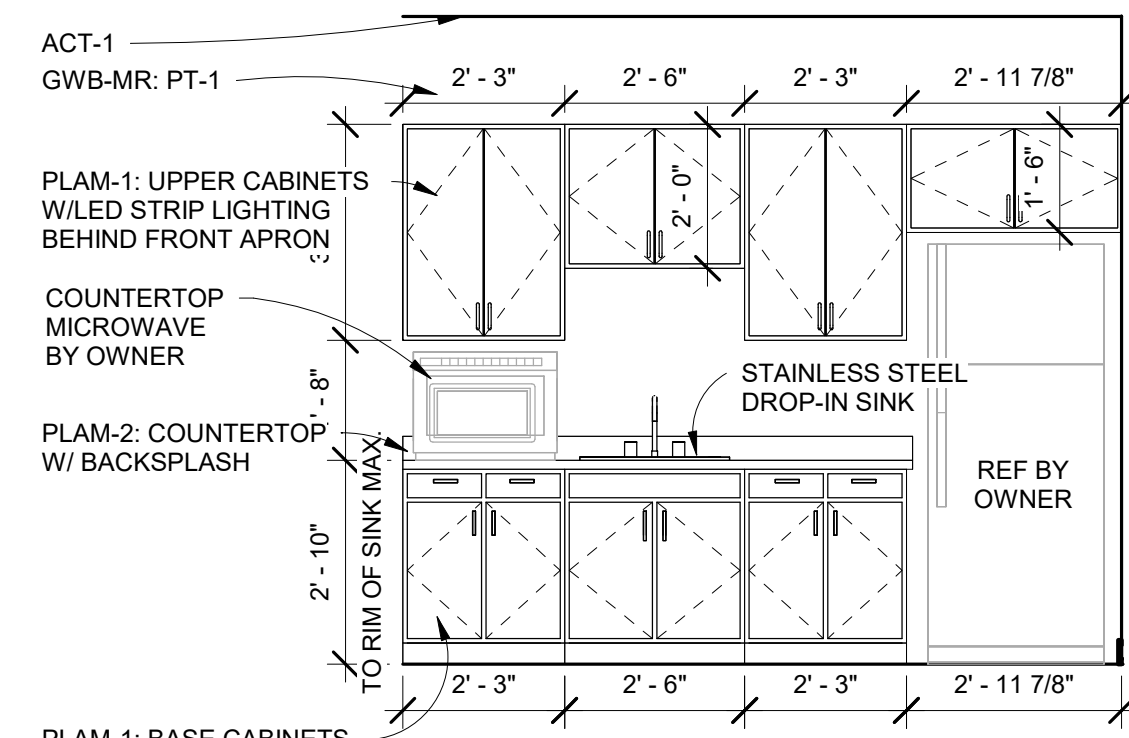
KEYNOTE LEGEND	
TAG	DESCRIPTION
04-1	CONCRETE MASONRY UNIT (CMU) WALL, 24" THICK, DESIGNED AS 4 HR FIRE-RATED FIREWALL
09-3	ACOUSTICAL CEILING TILE, 5/8" x 24" WHITE METAL GRID
22-5	FLOOR DRAIN (TO SANITARY) - SEE PLUMBING FOR RIM ELEVATIONS
26-1	LIGHT FIXTURES SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR FINAL DESIGN, EMERG. EGRESS LIGHTING, AND TYPES AND LOCATIONS OF LIGHT FIXTURES - TYP.



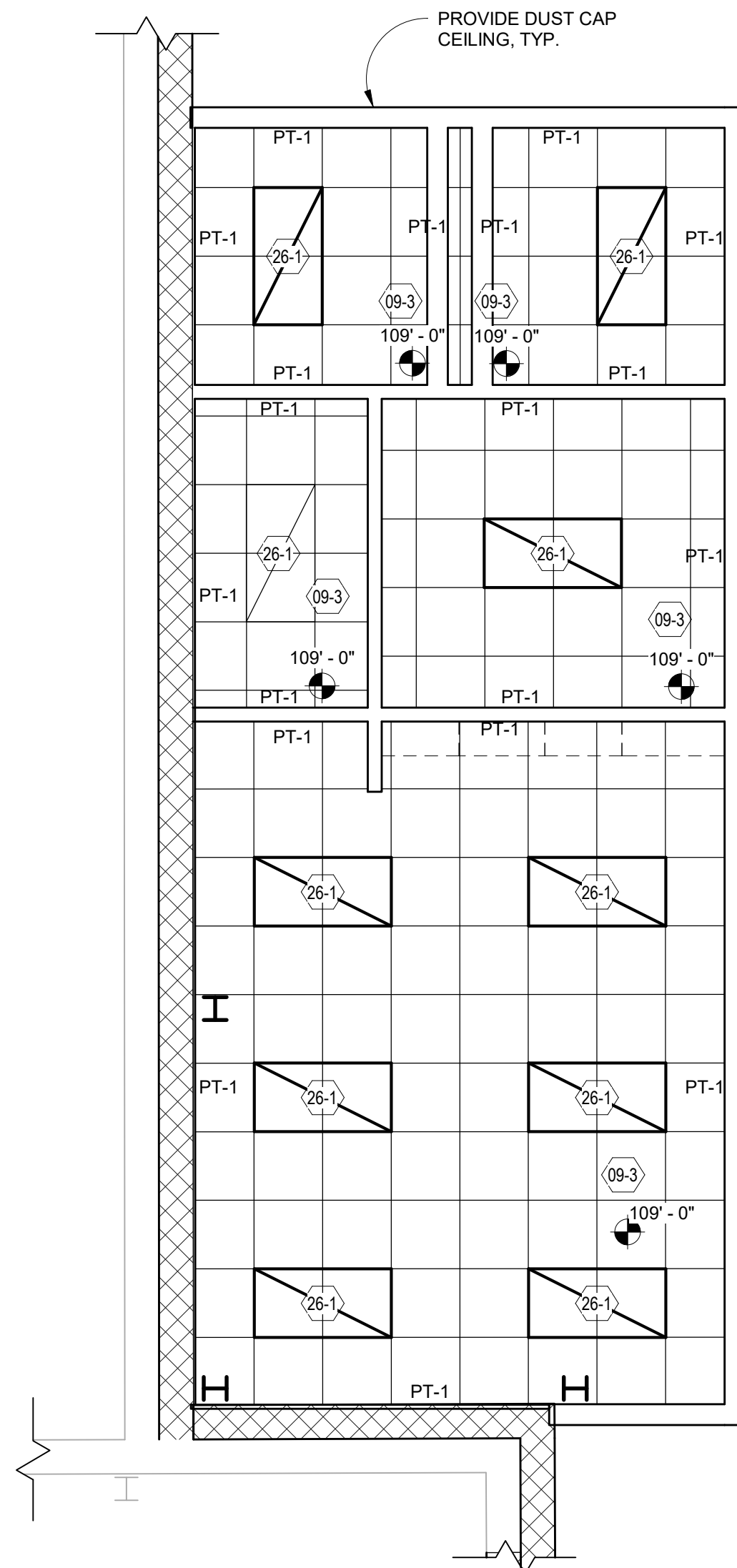
4 MENS 106 SIDE & (WOMENS 107 SIDE OPP.)
3/8" = 1'-0"



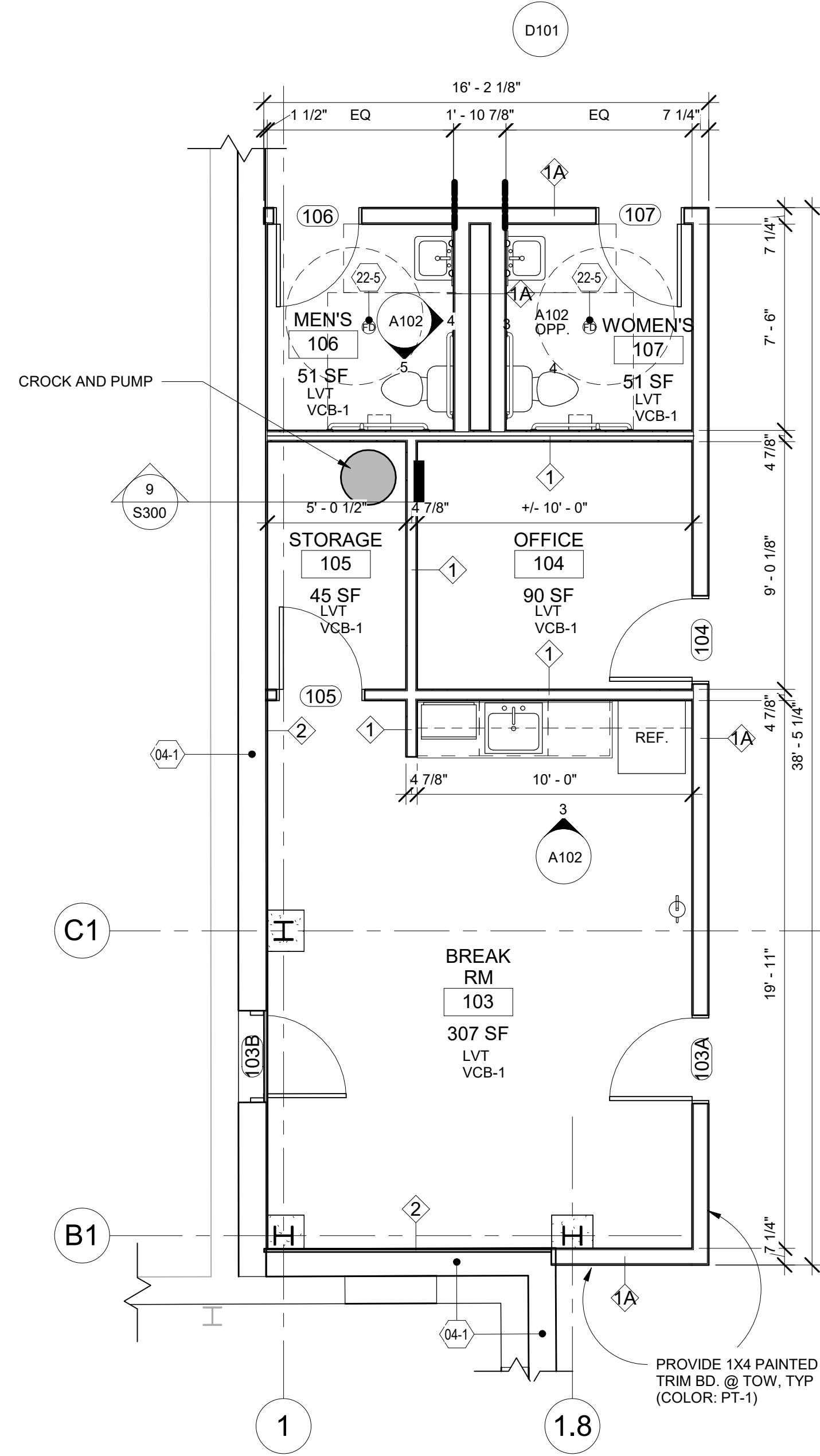
5 MENS 106 TOILET & (WOMENS 107 TOILET OPP.)
3/8" = 1'-0"



3 BREAK ROOM 103 KITCHENETTE
3/8" = 1'-0"



2 REFLECTED CEILING PLAN
1/4" = 1'-0"



1 OFFICE LAYOUT
1/4" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD
2746 South 166th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PROPOSED ADDITION BUILDING FOR:
WENTHE-DAVIDSON

PROPOSED ADDITION BUILDING FOR:

DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 2/14/2024 6:02:25 PM
SUBMITTAL DATE: 2/9/2024
DESIGN NO. 4049
CONSTRUCTION NO. #####
ENLARGED PLANS & WALL TYPES

A102

COPYRIGHT PROTECTED 2024

SW7678
COTTAGE
CREAM PAINT
COLOR: 03-7
(COLOR TO
MATCH
EXISTING)

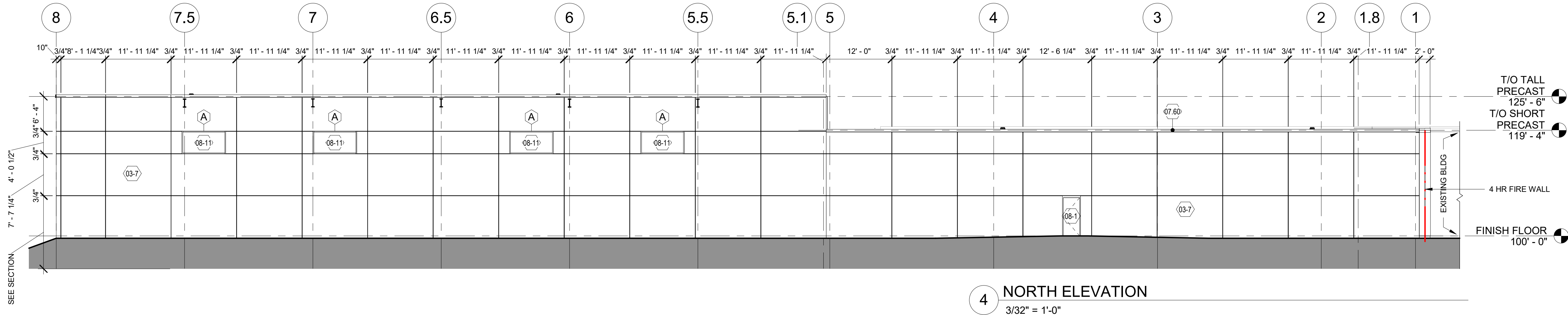
CLEAR
ANODIZED
STOREFRONT
SYSTEM
08-11

CLEAR
LOW-E
GLAZING
08-11

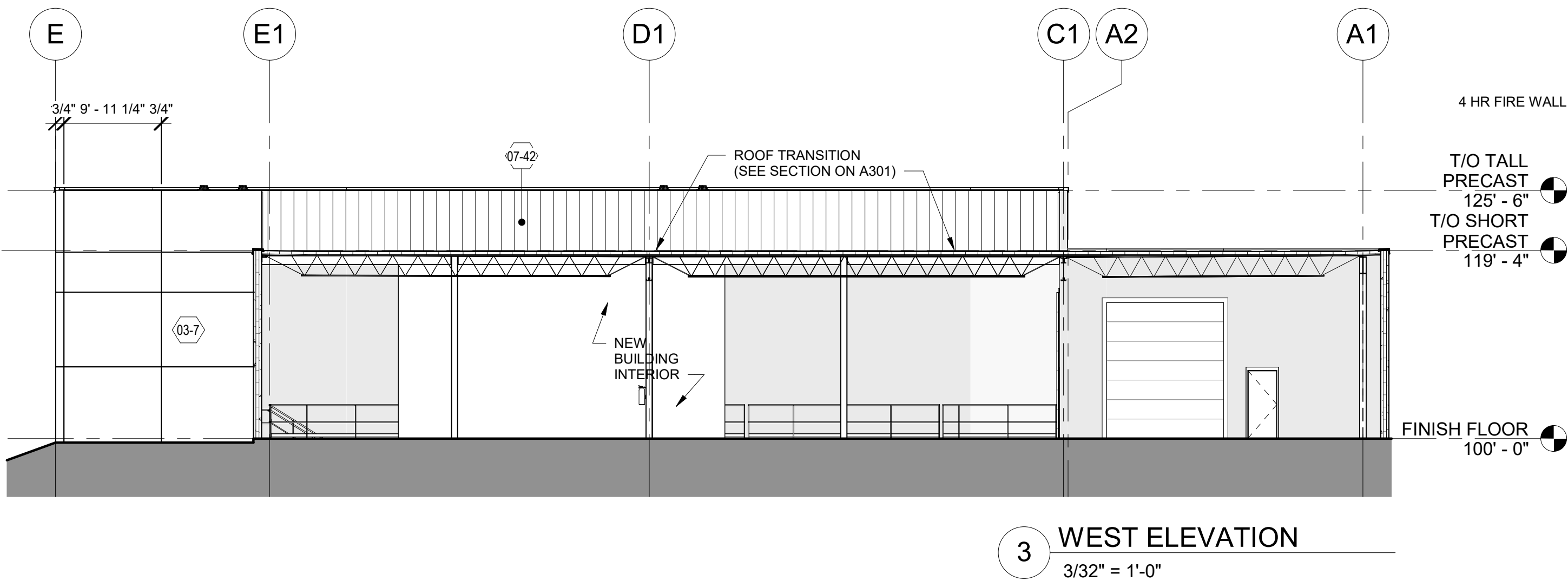
5Materials Board

3" = 1'-0"

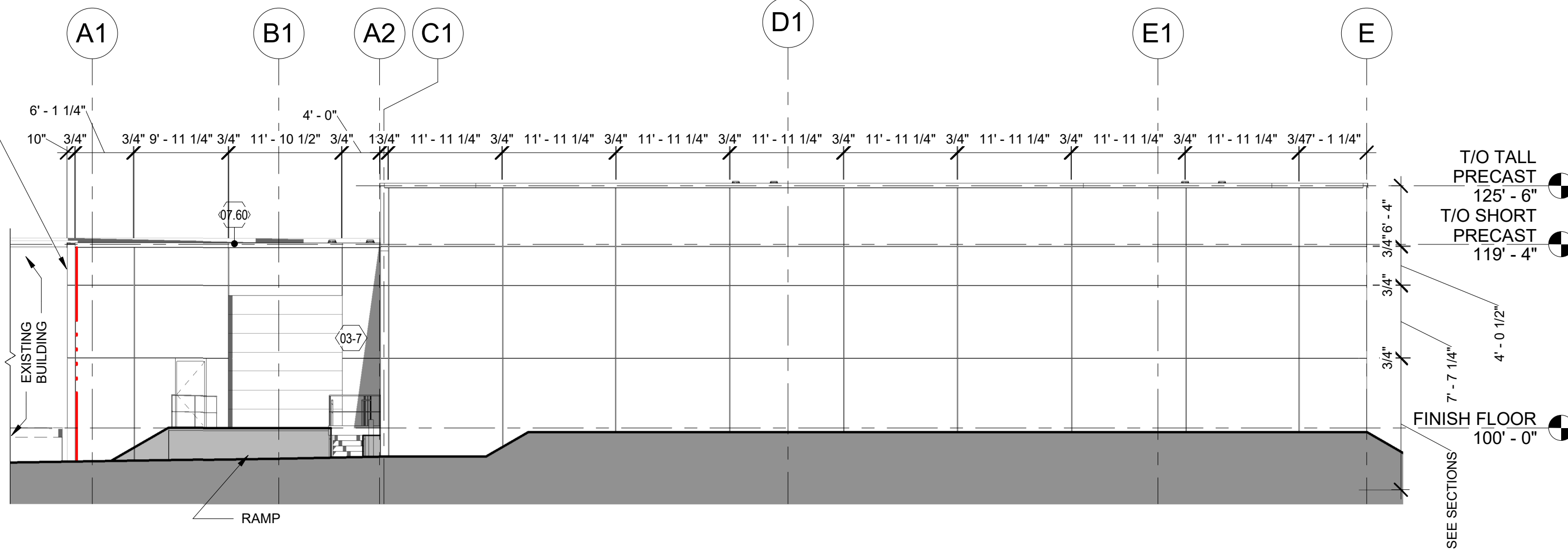
KEYNOTE LEGEND	
TAG	DESCRIPTION
03-7	STRUCTURAL PRECAST WALL (PAINTED); 10" W/ 4" INSULATION; R-15
05-6	METAL GUARD RAILINGS; 1-1/2" DIA. STEEL PIPE AT 42" H. W/ INTERMEDIATE RAILS PER FABRICATOR RECOMMENDATION
05-7	METAL STAIR W/ BAR GRATE TREADS W/ 2" SOLID DIAMOND PLATE NOSING & OPEN RISERS W/ SCH.40 PIPE RAILINGS; 1-1/2" DIA. STEEL PIPE HANDRAIL AT 36" AND 1-1/2" DIA. STEEL PIPE GUARDRAIL AT 42" W/ INTERMEDIATE RAILS PER FABRICATOR RECOMMENDATION
07-42	PREFINISHED EXTERIOR METAL PANEL: MBCI/SHADOW RIB/SANDSTONE. ON 1.5" HAT CHANNEL, FULLY ADHEREED/HEALING MEMBRANE, 1/2" CDX PLYWD, 6" COLD FORMED STL STUD
07.60	FLASHING AND SHEET METAL
08-1	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING
08-4	INSULATED OVERHEAD DOOR (OHD); 18'-0" X 18'-0"; FACTORY FINISHED
08-11	GLAZING; THERMAL BROKEN ANODIZED ALUMINUM FRAMING; CLEAR ANODIZED W/ 1" LOW-E GLAZING



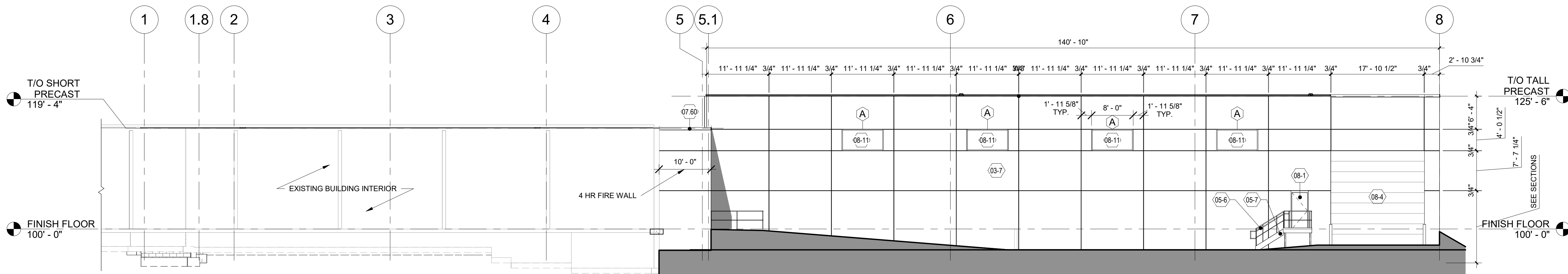
4 NORTH ELEVATION
3/32" = 1'-0"



3 WEST ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

REVISIONS

ANDERSON
ASHTON
DESIGN / BUILD

2746 South 166th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM

PROPOSED ADDITION BUILDING FOR:

WENTHE-DAVIDSON

16300 W. ROGERS DR.
NEW BERLIN, WI 53151

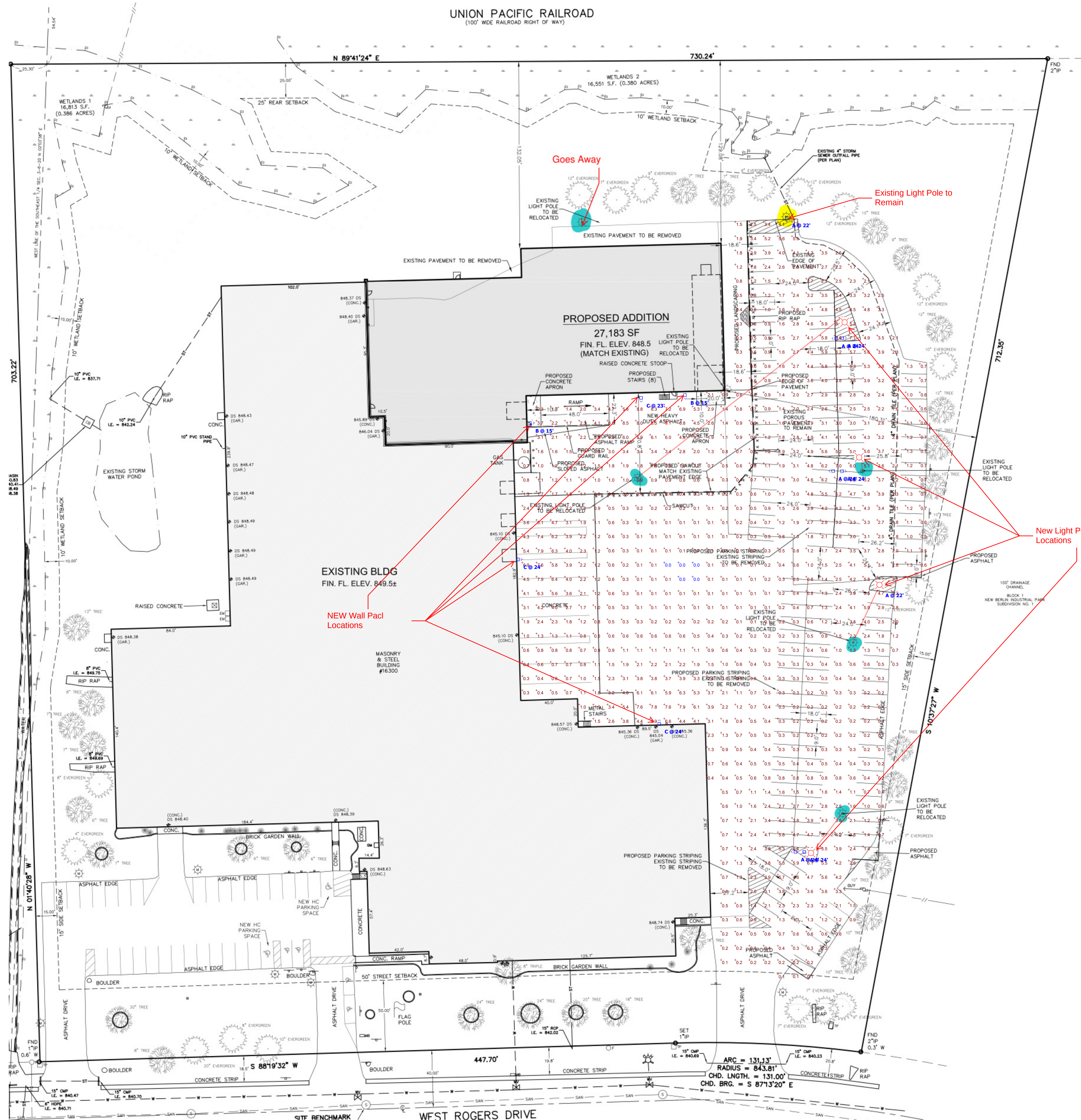
DRAFTED BY: MFP
DESIGNER: RRS
ISSUE: 2/16/2024 8:26:47 AM
SUBMITTAL DATE: 2/9/2024
DESIGN NO. 4049
CONSTRUCTION NO. #####

ELEVATIONS

A200

23

Page 26 of 27



Schedule	Label	Quantity	Material	Notes	Notes	Notes
1	A	1	100' WETLAND SETBACK	100' WETLAND SETBACK	100' WETLAND SETBACK	100' WETLAND SETBACK
2	B	1	100' WETLAND SETBACK	100' WETLAND SETBACK	100' WETLAND SETBACK	100' WETLAND SETBACK
3	C	1	100' WETLAND SETBACK	100' WETLAND SETBACK	100' WETLAND SETBACK	100' WETLAND SETBACK

Luminaire Locations									
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y
2	A	15.92	67.38	24.00	24.00	268.83	0.00	15.92	67.38
3	A	-18.95	152.50	22.00	22.00	180.40	0.00	-18.95	152.50
4	A	19.98	-26.16	24.00	24.00	87.27	0.00	19.98	-26.16
5	A	13.76	-26.00	24.00	24.00	269.16	0.00	13.76	-26.00
6	A	46.80	-108.27	22.00	22.00	270.00	0.00	46.80	-108.27
10	A	20.11	67.67	24.00	24.00	87.27	0.00	20.11	67.67
1	B	-90.69	27.50	15.00	15.00	172.96	0.00	-90.69	27.50
2	B	-199.78	7.65	15.00	15.00	88.92	0.00	-199.78	7.65
1	C	-121.54	25.52	23.00	23.00	179.46	0.00	-121.54	25.52
4	C	-208.15	-88.33	24.00	24.00	90.00	0.00	-208.15	-88.33
11	A	-6.53	-294.46	24.00	24.00	87.27	0.00	-6.53	-294.46
12	A	-12.75	-294.31	24.00	24.00	269.16	0.00	-12.75	-294.31
5	C	-108.73	-204.25	24.00	24.00	0.00	0.00	-108.73	-204.25

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	2.0 fc	9.1 fc	0.0 fc	N/A	N/A

WENTHE ADDITION

Designer

Date

01/17/2024

Scale

Not to Scale

Drawing No.

Summary