

Parks, Buildings and Grounds Commission MEETING AGENDA



November 13, 2023 - 5:30 PM
Mayor's Conference Room
3805 S. Casper Dr.

Posted 11/8/2023

AGENDA

1. **CALL TO ORDER**
2. **ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE**
3. **APPROVAL OF MINUTES**
 - A. October 9, 2023 PBG Minutes
4. **NEW BUSINESS**
 - A. Discussion and Recommendation to the Common Council to approve Resolution Number 2023-33
 - B. Discussion and Recommendation to Common Council to Approve the Sprengel House Restoration Contract Award
5. **UPDATES**
6. **ADJOURN**

Supplemental Information:

- The meeting agenda and agenda packet are available online at www.NewBerlin.org. The minutes are published online and are approved at the next regularly scheduled meeting.
- It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order.
- You may provide comments to the City Clerk via email at CitizenComments@NewBerlin.org. Comments will be forwarded to the Mayor and members of the governing body. Emailed comments are not read during the meeting.
- The City of New Berlin strives to host inclusive, accessible meetings that enable all individuals to engage and participate fully. Any person who has a qualifying disability under the Americans with Disabilities Act that requires that the meeting be accessible, please contact City Clerk Rubina R. Medina at (262) 786-8610 or via email at CityClerk@NewBerlinWI.gov at least 48 hours before the scheduled meeting time. Efforts will be made to accommodate the needs of disabled individuals through appropriate aids and/or services.
- It is also possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to in the above notice.



Parks, Buildings and Grounds Commission MEETING MINUTES

October 9, 2023 - 5:30 PM
Mayor's Conference Room
3805 S. Casper Dr.

Please note: Minutes are unofficial until approved at the next regular scheduled meeting.

MINUTES

1. CALL TO ORDER

Mayor Ament called the meeting to order at 5:32PM

2. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Mayor Ament took the roll call as follows:

Present: Mayor Ament, Alderperson Horbinski, Commissioner Ferrante, Commissioner Rafel, Commissioner Wicichowski

Staff Present: Recreation Specialist II, Katie Roth and Yourh Sport Specialist Sam Blonien

3. APPROVAL OF MINUTES

A. September 11, 2023 Parks, Buildings & Grounds Commission Meeting Minutes

MOTION: Motion to Approve the September 11, 2023 PBG Minutes

VOTE: Motion by: Commissioner Wicichowski
Second by: Commissioner Ferrante
Motion Passed 5-0

4. NEW BUSINESS

A. Discussion and possible action on vendor agreement with 1848 Coffee, LLC to provide beverages for the Halloween event on October 28, 2023, at Malone Park. This approval is subject to consent by the vendor and is further subject to the approval as to final form by staff and the Mayor.

Discussion: Alderman Horbinski note there was no fees listed. Katie noted the fees are \$125 for each of the three requests, based on rates provided by Josh.

MOTION: Motion to Approve

VOTE: Motion by: Commissioner Wicichowski
Second by: Commissioner Rafel
Motion Passed 5-0

B. Discussion and possible action on vendor agreement with 1840 Brewing Company, LLC to provide a beer garden for the Halloween event on October 28, 2023, at Malone Park. This approval is subject to consent by the vendor and is further subject to the approval as to final form by staff and the Mayor

MOTION: Motion to Approve

VOTE: Motion by: Alderperson Horbinski
Second by: Commissioner Ferrante
Motion Passed 5-0

- C.** Discussion and possible action on vendor agreement with Flour Girl & Flame, LLC to provide pizza and related food items for the Halloween event on October 28, 2023, at Malone Park. This approval is subject to consent by the vendor and is further subject to the approval as to final form by staff and the Mayor.

MOTION: Motion to Approve

VOTE: Motion by: Commissioner Ferrante
Second by: Commissioner Wicichowski
Motion Passed 5-0

5. ADJOURN

MOTION: Motion to Adjourn at 5:37PM

VOTE: Motion by: Commissioner Wicichowski
Second by: Commissioner Rafel
Motion Passed 5-0

Respectfully Submitted,

Robert T. Rafel MBA
PB & G Commission Secretary



REQUESTED ACTION STATEMENT

DATE: November 7, 2023

TO: Mayor
Common Council
Parks, Buildings and Grounds Commission

FROM: Josh Radomski – Director of Public Works

ISSUE:

Resolution Number 2023-33: A Resolution Amending the 2023 Capital Projects Budget

REQUESTED:

Recommend Council to approve Resolution Number 2023-33: A Resolution Amending the Capital Projects Budget in the following ways:

EXPENDITURES - Increase

04059100-61120-C2023	HISTORIC PARK-SPRENGEL HOUSE	\$ 100,000
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EXPENDITURES - Decrease

04252900-61127-C2023	LIGHTING – MALONE PARK	\$ 100,000
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FISCAL IMPACT:

The Lighting – Malone Park project came in significantly under budget earlier this year and \$100,000 from that account can be transferred to the Historic Park – Sprengel House project. There will be no additional funds borrowed for this project.

RATIONALE:

The Sprengel House at the New Berlin Historic Park is in need of a number of repairs due to water leaks entering the front side of the building. After consultation with Perspective Design, Inc, it was determined that the building needed a number of critical alterations including but not limited to:

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- Replacement of the upstairs windows with smaller windows to allow for more space between the roof line and the bottom of the window. New windows would be properly framed as part of this project.
- Replacing a number of internal studs that were inadequate for the building structure.
- Roof realignment and replacement over the porch to remove the need for a flat roof section.
- Drywall and Painting work.

The bid for the work came back at \$87,235 with a need for a 15 percent contingency brings the total transfer request to \$100,000.

RESOLUTION NUMBER 2023-33

A RESOLUTION AMENDING THE 2023 CAPITAL PROJECTS BUDGET

WHEREAS, after the bid opening it was determined that the Sprengel House in the Historic Park needs repairs that need to be done to prevent further damage. This is a critical project that needs to be completed. Source of funds would be the Malone Park Lighting project which came in under budget. The best option at this point in time is to amend the Capital Projects Budget to cover the expected costs.

WHEREAS, It was determined that the Capital Projects Budget had to be amended to accomplish this goal.

NOW THEREFORE BE IT RESOLVED, by the Common Council of the City of New Berlin that the Capital Projects Fund Budget be reallocated as follows:

EXPENDITURES - Increase

04059100-61120-C2023	HISTORIC PARK-SPRENGEL HOUSE	\$ 100,000
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EXPENDITURES - Decrease

04252900-61127-C2023	LIGHTING – MALONE PARK	\$ 100,000
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BE IT FURTHER RESOLVED that the City Clerk is hereby directed to publish this resolution in the Waukesha County NOW within 10 days of adoption by the Common Council.

RESOLUTION ADOPTED by the New Berlin Common Council this 14th day of November 2023.

David Ament, Mayor

Countersigned:

Rubina M Medina, City Clerk



REQUESTED ACTION STATEMENT

DATE: November 7, 2023

TO: Mayor
Common Council
Parks, Buildings and Grounds Commission

FROM: Josh Radomski – Director of Public Works

ISSUE: Sprengel House Restoration

REQUESTED:

Recommend Council to approve Resolution 2023-33 and award the Sprengel House Restoration project to the lowest, responsive and responsible bidder, John Beres Builders, Inc.

FISCAL IMPACT:

Monies come from the Historic Park – Sprengel House CIP account #04059100-61120-C2023 for the contract amount of \$87,235.00 with a 15% contingency of \$12,765.00 for a total construction cost of \$100,000.

RATIONALE:

John Beres Builders, Inc., was the lowest, responsive and responsible bidder.

INVITATION TO BID

Project: **BG-2023-6**
New Berlin Historic Museum – Sprengel House Restoration
19855 W. National Ave.
New Berlin, WI 53151

1. Bids will be prepared in accordance with Contract Documents prepared by ***Perspective Design, Inc.*** Phone 414-302-1780, Fax 414-302-1781, 11525 W. North Ave., Wauwatosa, WI 53226, and dated July 19, 2023.
2. Notice is hereby given that sealed Bids are due in the New Berlin City Hall – City Clerk office, by 9:00 a.m. CST/CDT on September 6, 2023. (Reference Bid Form, Item 2)
3. Bids will be publicly read at 9:00 a.m. on September 6, 2023 in the Council Chambers at New Berlin City Hall located at 3805 S. Casper Dr.
4. Oral, faxed or e-mailed Bids will be rejected.
5. All blanks on the Bid Form shall be filled in by typewriter print or manually in ink. If the filled areas are illegible, the Bid shall be rejected. The Bidder shall make no additional stipulations on the Bid Form or qualify the Bid in any manner.
6. Where so indicated on the Bid Form, the values shall be expressed in both words and figures. In the event of discrepancy between the words and figures, the amount written in words shall govern.
7. Bids will be submitted using the Bid Forms provided herein. Bid security shall be by a qualified surety in the form of a bid bond, in the amount of ten percent (10%) of Bid amount, and shall be submitted with the Bid. Bidders shall agree to not withdraw the Bid for a period of ninety (90) days after due date of Bids.
8. Accepted Bidders will be required, as a condition precedent to award of Contract, to furnish in the amount of 100% of the contract prices, satisfactory Performance Bond, Labor and Material Payment Bond and Certificate of Insurance.
9. Bidding Documents will be available on August 16, 2023. Bidders may obtain Bidding Documents only from the following site: Quest ebid doc #8622755 – Bid/RFP Listing. Documents will available for download. Documents will not be mailed. **It is the responsibility of prospective Bidders to check this website for any future amendments, questions, revisions, etc., prior to the opening date. All addenda must be acknowledged on the signature page in the area provided. Failure to do so may result in your response being rejected.**

10. Pre-Bid meeting and walkthrough on August 30, 2023 at 9:00 AM. Meeting location is the Sprengel House within the New Berlin Historic Park located at 19855 W. National Ave., New Berlin, WI. **Please be on time as no accommodations will be made for late arrivals. NOTE: This will be the only opportunity for a walk through, therefore, be sure to bring all potential subcontractors. Vendors are also reminded to review all Bid Documents, etc. prior to arrival.**
12. The right to reject any or all Bids, either in whole or in part, or to waive any informalities or irregularities is reserved by City of New Berlin.

Published by Order of:
City of New Berlin
Buildings and Grounds
(262) 786-8610
3805 S Casper Dr
New Berlin, WI 53151

SUPPLEMENTARY INSTRUCTIONS TO BIDDERS

GENERAL:

Carefully review Project Manual, including Bidding Requirements, General Requirements, Specifications, Alternates, and Amendments, all of which contain provisions applicable to all Bidders. Successful Bidder will be required to execute all Work belonging to their Contract which is stated in the Specifications, or reasonably implied as necessary to complete their Contract, including removal of existing work and preparing present work to receive new, if such be the requirements of actual job conditions.

Visit site to become acquainted with: Adjacent areas; means of approach to the site; present conditions of project site; and facilities for delivering, storing, placing and handling of materials and equipment. Compare Specifications with existing work in place, inspect demolition requirements and inform yourself of all conditions affecting execution of Work, including other new work, if any, being performed.

WORKSITE AVAILABILITY:

A specific window of opportunity exists for completion of the Work, therefore Work shall commence on the date noted in the Bid Form. Construction activities may take place between **7:00 AM and 7:00 PM Monday through Friday, 8:00 AM – 5:00 PM on Saturday and no work will be allowed on Sundays.**

DOCUMENTS:

Bidders shall be familiar with all Bidding Requirements and proposed Contract Documents. See General Conditions for definition of Contract Documents.

BID FORM:

Alterations of or amendments to Bid Form, attachments thereto, or inclusion of any correspondence, or other written or printed matter or details of any nature other than that specifically called for may disqualify Bid. No e-mailed alterations to the Bid will be accepted.

Only Bids which are made on regular Bid Form will be considered. No Bids for any arbitrary subdivision or sub classification of Work required by requested Bid(s) will be accepted.

Requirements of Signing: Include with each Bid full business address of Bidder. Bids by corporations shall be executed in the full legal name of the corporation, giving State of incorporation and be signed by an authorized officer or officers, who shall, in each case, type or print name and corporate title beneath the signature. Partnership Bids shall state the full name of all partners, e.g., “Smith and Jones, a partnership of John S. Smith and William B. Jones”. Such Bids must also be signed by an authorized partner or other representative, typing or printing the name and title of the signer beneath the signature. Individuals operating as a business shall sign Bids, typing or printing the individuals name followed by the words “Sole Proprietor” beneath the signature. When requested by Owner, furnish satisfactory evidence of agency or authority of any person signing on behalf of another.

Submission of Bids: Reference Bid Form, Section 2.

CONTRACT AND CONTRACT DOCUMENTS:

The Contract into which successful Bidder will be required to enter is based on City of New Berlin General Terms and Conditions of Service (as modified by Owner). Familiarize yourself with the provisions of this document.

ACCEPTANCE OF BID (AWARD):

It is the intent of the Owner to award a Contract or accept any Bid which will be in the best interests of the Owner, provided the Bid has been submitted in accordance with the requirements of the Bidding Documents and does not exceed the funds available. The Owner reserves the right to waive informalities or irregularities in a Bid received and to accept the Bid, which in the Owner's judgment, is in the Owner's best interests.

The Owner reserves the right to accept Alternates in any order or combination, unless otherwise specifically provided in the Bidding Documents, and to determine the lowest responsible Bidder on the basis of the Base Bid and Alternates accepted.

WITHDRAWAL OF BIDS:

Matters pertaining to the withdrawal of a Bid and to claims of error, omission or mistake in preparing or submitting a Bid shall be governed by Section 66.0901 of the Wisconsin Statutes.

All Bids shall be effective and open for acceptance for a period of ninety (90) days after date set for opening of Bids.

RESERVATION:

Owner reserves the right to: reject any or all Bids, reject a Bid not accompanied by a required bid security or by other data required by the Bidding Documents, reject a Bid which is in any way incomplete or irregular, waive any irregularities in any Bid, accept any Bid which will be in best interests of Owner.

INADEQUACIES AND OMISSIONS:

Failure to request timely clarification or interpretation of Bidding Documents shall not relieve Bidder/Contractor of responsibility to execute the Work in accordance with the intent of the Contract Documents. Signing of Contract means that the Contractor has thorough comprehension of full intent and scope of Contract Documents.

The Owner and his consultants are not responsible for oral instructions.

INTERPRETATIONS AND CORRECTIONS:

Carefully review and compare all parts of the Bidding Documents with each other, and with other work being bid concurrently or presently under construction to the extent that it relates to the Work for which the Bid is being submitted. Examine the site and local conditions, and immediately report to the Owner errors, inconsistencies or ambiguities discovered.

Bidders and Sub-bidders requiring clarification or interpretation of the Bidding Documents shall submit a written request to the Owner, received in Owner's office at least seven (7) days prior to the date set for receipt of Bids.

Interpretations and corrections of and changes to the Bidding Documents will be made in writing by Addendum only. Interpretations and corrections made in any other manner are not binding. Bidders shall not rely upon verbal instructions or information.

POWER OF ATTORNEY AND BOND REQUIREMENTS:

Submit with each Bid a bond executed by an attorney-in-fact, including a certified and effectively dated copy of his power of attorney. Where the certification is by facsimile, or otherwise does not bear an original signature, the bonding company must be qualified for recognition under facsimile execution.

New Berlin Historic Park – Sprengel House Repairs
Project #BG2023 - 6
19855 W. National Ave., New Berlin, WI 53146

BID FORM

1. **GENERAL DIRECTIONS TO BIDDERS**

- A. All Bids must be submitted on these standard form sheets inclusive without modification. Fill out all blanks on the Bid Form by typing or writing in ink. Sign in ink. Erasures or other changes in Bid must be explained or noted over signature of Bidder. Enter Bid amount in both written words and printed figures in spaces provided on Bid Form. In case of conflict, amount given in written words will govern.
- B. Base Bid(s) must be for Work bid in strict accordance with the Drawings and Specifications. **INCLUDE BOND COSTS IN THE BASE BID(S)**. Bid all requested Alternates. If no change to the Base Bid applies, enter “No Change.”
- C. Bid Forms containing qualifications, conditions, omissions, unexplained erasures, alterations or items not called for in Bid Form or other irregularities of any kind may be rejected at the discretion of the Owner.
- D. Bidders shall examine the provisions of the Project Manual thoroughly to ensure compliance with all bidding requirements.
- E. Bidders shall only submit the Bid Forms included in the Project Manual – DO NOT return the Project Manual.
- F. Bidders shall ensure that all items in the Bid Form such as Work Schedule, Bidders Official Title and Signature, and Proof of Responsibility are properly executed.
- G. A bid must be accompanied by a bid security made payable to Owner in an amount of 10% of bidder’s maximum bid price (determined by adding the base bid and all alternates), and in the form of a certified check, bank money order or a bid bond issued by a surety acceptable to the City. The bid security will be retained by the City until the City awards the contract to such bidder and such bidder has executed the contract documents and met the other conditions of the Notice of Award, where upon the bid security will be released. If the successful bidder fails to execute and deliver the contract documents and furnish the requirements contract security within 15 days after the Notice of Award, the Owner may consider the bidder to be in default and annul the Notice of Award and the bid security of that bidder will be forfeited. Such forfeiture shall be the Owner’s exclusive remedy if the bidder defaults.
- H. The Bidder shall be required to identify any subcontractor, suppliers, individuals or entities to be submitted to the Owner 14 days in advance of the

City's acceptance of the agreement. The apparent successful bidder shall, within 5 days after the bid opening, submit to the Owner a list of all such subcontractors, suppliers, individuals or other entities that will be utilized in the completion of the work. An experience statement with pertinent information regarding similar projects and other evidence of qualification for the work that the subcontractor will be performing is required. If the Owner, after review of such information, determines, in its sole discretion, that such subcontractor, supplier, individual or entity is not satisfactory, the Owner, prior to the Notice of Award, shall give notice to the successful bidder requiring that an acceptable substitute be provided. In the event there is any adjustment to the cost as a result of said substitution, Owner may take that into consideration in making the contract award. In the event that the contractor fails to make the substitution requested, the Owner may award the contract to the next lowest responsive responsible bidder.

- I. Bids not conforming to the above directions may be declared irregular and are subject to disqualification at the discretion of the Owner.

THE BIDDER HEREBY AGREES THAT THIS BID IS INVALID WITHOUT BIDDER'S SIGNATURE APPEARING IN THE SIGNATURE BLOCK ON THE LAST PAGE OF THIS BID FORM.

2. BID SUBMITTAL PROCEDURE

In submitting a Bid, the Bidder represents that:

- He/She thoroughly reviewed and understood the Bidding and Contract Documents and the Bid is made in full accordance with these documents and amendments issued thereto.
- He/She has thoroughly reviewed and understands the Bidding and Contract Documents related to the Work of other portions of the Project, if any, being bid concurrently or presently under construction.
- He/She has thoroughly reviewed informational reports and documents available to him/her, visited the project site, become familiar with actual local conditions under which the Work is to be performed and has correlated his/her evaluations and personal observations with the requirements of the Bidding and Contract Documents.
- The contract for the work, if awarded, will be on the basis of materials and equipment specified or described in the bidding documents, and those or equal or substitute or materials and equipment subsequently approved by the Owner prior to the submittal of bids and identified by addendum. No item of material or equipment will be considered by Owner as an or equal or substitute unless written requests for approval has been submitted by the bidder and has been received by the Owner at least 10 days prior to the date of receipt of bids in the case of a proposed substitute. The burden of proof on the merit of the proposed item is upon the bidder. The Owner's decision of approval or disapproval of a proposed item will be final. If the Owner approves any such proposed items, such approval will be set forth as an addendum issued to all perspective bidders. Bidder shall not rely upon approvals made in any other manner. All prices that Bidder sets forth in this bid shall be based on the presumption that the contractor will furnish the materials and equipment specified or described in the bidding documents as supplemented by any addenda.

- A. After Bid Forms are completed, place one (1) set of signed originals and the Bid Bond in a sealed envelope. Oral, telephonic, e-mailed, or faxed Bids are invalid and will not be considered.
- B. Address the envelope to:
New Berlin Sprengel House Restoration
City Clerks Office
3805 S Casper Dr
New Berlin, WI 53151
- C. Bidders shall affix their name and address to the front upper left-hand corner of the envelope with the words "Sealed Bid Enclosed" written on the outside. Identified in lower left corner should be: Bid number, project name and opening date.

3. BID CLOSING

- A. Bids must be received on or before 9:00 a.m. on September 6, 2023. The Bidder assumes full responsibility for timely delivery at the location designated for receipt of Bids. **Bids received after the time and date for receipt of Bids will be rejected and returned unopened.**

4. BID OPENING

- A. Bids will be publicly read at 9:00 a.m. on September 6, 2023 in the New Berlin City Hall – Common Council Chambers.

(a corporation)

We _____ (a partnership)
_____ (an individual)
(Cross out inapplicable)

Of _____
Street City County State Zip

hereby agree to execute the proposed Contract and to furnish a satisfactory Public Improvement Performance/Labor and Material Payment Bond, in the amount of one hundred percent (100%), and to provide all labor and material required for the construction of the designated Work, for the prices hereinafter set forth, in strict accordance with the Construction Documents released by: **City of New Berlin**, address: 3805 S. Casper Dr, New Berlin, WI dated March 23, 2021.

Including Amendment Nbr(s)._____ dated_____.

5. BASE BID

Base Bid includes all work required to complete the Project, including Building Permits, General Conditions, overhead, profit, insurance, bonds, taxes, and all other expenses. Bid Guarantee ten percent (10%) Bid Bond Cost, Public Improvement Performance Bond and Labor and Materials Payment Bond Cost one hundred percent (100 %) for the sum of:

_____ Dollars (\$ _____)

8. SCHEDULE OF VALUES

- A. Submit schedule of standard rates for all personnel, including personnel of subcontractors, involved with project.
- B. Include schedule of standard markups.

10. COMMENCEMENT, PROGRESS AND COMPLETION OF WORK

- A. If written Notice of Intent to Award Contract is issued not later than September 13, 2023 with a Project commencement of September 25, 2023, can you complete the Work in compliance with the requirements of the Contract Documents by May 15, 2024, in full cooperation and coordination with other Contractors, if any.

Yes ___ No ___ .

If "No", state additional calendar days required _____.

- B. The undersigned understands that time is of the essence and agrees that the specified time period for completion stated above is a reasonable time for the completion of the Work. All time limits shall be binding.

11. BID ACCEPTANCE:

- A. All Bids as stated above are effective and open for acceptance by the Owner for a period of ninety (90) days after date set for opening of Bids.

FIRM NAME _____

BY SIGNATURE _____

TITLE _____

DATED _____

TELEPHONE _____

FAX NBR _____

EMAIL ADDRESS: _____

If a corporation, answer the following:

Incorporated under laws of what state?

SEAL _____ (If Bid is by Corporation)

**CITY OF NEW BERLIN
GENERAL TERMS and CONDITIONS
FOR THE SPRENGEL HOUSE REPAIRS**

1. Introduction. This document (hereinafter referred to as “Terms and Conditions”) is hereby incorporated and part of the contract between the City of New Berlin (hereinafter referred to as “City”) and the vendor identified below (hereinafter referred to as “Vendor”). These Terms and Conditions, along with the Bid Instructions, Bid Forms, Specification, City of New Berlin Insurance Requirements, Certificates of Insurance, Policy Endorsements, bid, payment and performance bonds shall constitute the entire contract for materials, work and other goods and services, collectively referred to as the “Contract” between the City and the Vendor. The work that is being performed herein shall collectively be referred to as the “Project”. It is expressly agreed that no statement, arrangement, warranty or understanding, oral or written, expressed or implied, will be recognized unless it is stated in or otherwise permitted by these Terms and Conditions, and the aforementioned invoices and specifications. These Terms and Conditions are solely for the benefit of the City and the Vendor, and are not intended for the benefit of any other party.

2. Goods and/or Equipment. The goods, services and materials being furnished under this contract shall be as identified in Bid Instructions, Bid Forms and Specifications that are incorporated herewith.

The City shall not be deemed to have accepted the Goods until they have been provided the opportunity to inspect them and to acknowledge, in writing, that they are in accordance with the specifications/invoice and without damage or defect.

3. Contract Time. Time is of the essence with respect to all time limits, milestones (if any), as well as deadlines for substantial completion and completion of the work provided for in the specifications.

The work will be substantially completed on or before May 15, 2024, and completed and ready for final acceptance and payment in accordance with this Agreement on or before June 1, 2024, subject to conditions beyond the control of the Contractor, such as labor or material shortages, weather conditions, strikes, civil unrest or wars. The Owner shall make the final decision as to the adequacy of the justification for the delay. Contractor and Owner recognize that time is of the essence and that the Owner will suffer financial and other losses if the work is not completed and the milestones are not achieved within the time limits specified above. The parties also recognize the delays, expense and difficulties involved in proving, in a legal or arbitration proceedings, the actual loss suffered by the Owner if not completed on time. As a consequence and not as a penalty, but rather to cover the City’s costs if the milestones are not achieved and the work causing public events to be moved or cancelled is not completed by the completion date, the parties agree that the City shall be entitled to liquidated damages in the sum of \$100.00 (one hundred dollars) per day as to when substantial completion is delayed.

4. Contract Price. The City shall pay the Vendor for the completion of the work in accordance with the Contract in the amounts that follow, subject to any applicable adjustments under the Contract:

- a. For all unit price work in an amount equal to the sum of the established unit prices for each separately identified item of unit price work times the actual quantity of that time.
- b. The estimated total of all unit price work for the base bid is \$ _____. These prices are based on estimated quantities.
- c. These quantities shall be adjusted based upon the actual work performed.
- d. For all work at the price as stated in the Contract Bid attached hereto as Exhibit A.

5. Payment Procedures. Contractors shall submit applications for payments in accordance with the terms of this Agreement upon final completion and acceptance of the work. Owner shall have thirty (30) days after receipt of such request to review the request for correctness and to obtain approval for such payment by its Common Council. The Owner may withhold payment for any portion of the work which is not completed in accordance with the specifications, and shall pay for the work related to any undisputed charges. Upon the successful completion of the work and the acceptance of that work as provided for hereunder, the Owner shall pay the remainder of the contract price.

Upon substantial completion of the work, the owner shall pay an amount sufficient to increase the total payments to the Contractor to one hundred (100%) percent of the work completed, but less such amount set off by Owner as provided for herein, less two hundred (200%) percent of the estimated value of the work to be completed or corrected in accordance with a punch list to be completed prior to final payment. Upon the successful completion of the work and the acceptance of that work as provided for hereunder, the Owner shall pay the remainder of the contract price.

6. Vendor's Representations. In order to induce the City to enter into this Contract, the Vendor makes the following representations:

- a. The Vendor has examined and carefully studied the Contract documents and any data and referenced items included in the Contract documents.
- b. The Vendor has visited the site, conducted a thorough visual examination of the site and adjacent areas, and has become familiar with and is satisfied as to the general, local and site conditions that may affect cost, progress and performance of the work.
- c. The Vendor is familiar with and is satisfied as to all laws and regulations that may affect cost, progress and performance of the work.
- d. The Vendor has carefully studied all reports and expirations and tests related to the conditions in which the work will be performed, as well as reports and drawings related to the work and technical data in such reports and drawings.

- e. The Vendor has considered the information known to the Vendor itself, including information commonly known to vendors doing business in the Milwaukee metropolitan area, as well as information and observations obtained from visits to the site; the Contract documents; site related reports and drawings in the Contract documents with respect to the impact of such information; observations and documents on the cost, progress and performance of the work; the means, methods, techniques, sequences and procedures of construction; and the Vendor's safety, precautions and programs.

Based on the information and observation referred to in the preceding paragraph, Vendor agrees that no further examinations, investigations, explorations, tests, studies or data are necessary for the performance of the work for the Contract price within the Contract times in accordance with the other terms and conditions of the Contract.

The Vendor has given the City written notice of all conflicts, errors, ambiguities or discrepancies which the Vendor has discovered in the Contract documents and the Vendor certifies that the written resolution thereof by the City is acceptable to the Vendor.

The Contract documents are sufficient to indicate and convey understanding of all terms and conditions for performance in the furnishing of the work.

The Vendor is entering into this Contract constitutes an incontrovertible representation by the Vendor that, without exception, all prices in the Contract are premised upon performing and furnishing the work requirement by the Contract documents.

7. Assignment of Contract. Unless expressly agreed to by the City, no assignment may be made of the rights and responsibilities of the Vendor under this agreement.

8. Successors and Assigns. The City and Vendor each binds themselves, their successors, agents, legal representatives and assigns with respect to all covenants, agreements and obligations contained in the Contract documents.

9. Severability. Any provision or part of the Contract documents held to be void or unenforceable under any law or regulation shall be deemed stricken and all remaining provisions shall continue to be valid and binding upon the City and Vendor, which do hereby agree that the Contract documents shall be performed or replaced as to such stricken revision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

10. Taxes, Social Security and Government Reporting. Personal income tax payments, social security contributions, insurance, payroll taxes and all other governmental reporting and contributions required as a consequence of the Contract or receiving payment for this Contract shall be the sole responsibility of the Vendor.

11. Advertising. The Vendor shall not identify the City as a client or customer of the Vendor or utilize the name of the City or its logo in any advertisements or other documents placed in the public domain without the express written consent of the City.

12. Modification. In the event that the parties determine that a modification to the Terms and Conditions for the providing of these goods is necessary, such change shall not be effective unless executed by authorized representatives of both parties.

13. Delivery. The goods provided hereunder shall be delivered to the City within the number of working days set forth in the contract or otherwise as soon as reasonably practicable unless delay occurs due to work stoppage, adverse weather conditions, labor disputes or modifications to the Terms and Conditions of the contract. In the event that the goods are not delivered within a reasonable period of time, the City shall have the right to cancel this contract without fee or penalty.

14. Insurance. Vendor shall maintain workers compensation, automobile liability and commercial general liability insurance coverage with carriers licensed to do business in the State of Wisconsin, and with such limits as the City may establish and require from time to time:

- a. General Aggregate: \$2,000,000.00
- b. Personal Advertising Injury: \$1,000,000.00
- c. Each occurrence: \$1,000,000.00
- d. Fire damage: \$50,000.00
- e. Medical Expense, any one person: \$5,000.00
- f. Automobile liability: CSL \$1,000,000.00
- g. Excess liability umbrella form: \$1,000,000.00 per occurrence
- h. Excess liability umbrella form: \$2,000,000.00 in the aggregate with a self-insured retention limit of not greater than \$10,000.00
- i. Professional Liability, General Aggregate: \$2,000,000.00
- j. Professional Liability, Each Occurrence: \$1,000,000.00

Vendor shall furnish a Certificate of Insurance evidencing the types and amounts of coverage. Said coverage shall be on an occurrence basis and the limits identified in the general liability coverage shall be for this project and not the policy as a whole. Vendor agrees to require that the insurer list the City as an Additional Insured on a primary and non-contributory basis and to provide adequate evidence of said status through the liability insurance endorsement. Vendor shall further obtain an endorsement from the insurance carrier indicating that any material changes to the policy or any cancellation of the coverage subsequent to the issuance of the Certificate, and until the completion of the services hereunder, shall necessitate that the insurer provide not less than thirty (30) days notice to the City of said fact. Clauses such as that the insurer will endeavor to notify the City are unacceptable and will be rejected.

15. Dispute. These Terms and Conditions shall be deemed to have been made and governed by the laws of the State of Wisconsin. Any legal suit or action with regard to these Terms and Conditions or the project as a whole shall be venued in the Waukesha County Circuit

Courts, Waukesha County, Wisconsin, unless the parties mutually agree to arbitration and/or mediation in place of civil litigation.

16. Limitation on Liability. The City's liability to the Vendor shall not exceed the sums paid by the City to the Vendor under this contract. In addition, to the extent that the Vendor seeks indemnification from the City, that indemnity shall be subject to the limitations set forth herein. No indemnity provided under any contract hereinunder shall be construed to be a waiver or estoppel of the City of New Berlin or its insureds' ability to rely upon the limitations, defenses and immunities contained within Wisconsin law, including, but not limited to those set forth in Wisconsin Statute §893.80, §895.52 and §345.05. To the extent indemnification is available and enforceable, the City of New Berlin or its insured shall not be liable in indemnity or contribution for any amount greater than the limits of liability for municipal claims established by Wisconsin law. The City's obligations to indemnify hereunder are further subject to the availability limits of applicable insurance coverage. Under no circumstances shall the City be required to indemnify the Vendor for its own negligence or intentional conduct.

17. Protection of the Project Site. Vendor agrees to post signage and to appropriately guard the area in which the contract work is being performed, and to take all other steps that may be necessary in accordance with requirements of OSHA and/or other governmental agencies with jurisdiction to ensure that the project site is maintained in a safe manner to as to prevent workers and passersby from entering the project site.

18. Warranty. Vendor warrants and guarantees to City that all goods and/or equipment to be supplied hereunder will be of good quality and free from faults and defects. This warranty shall cover materials for the manufacturer stated warranty period and workmanship for two (2) year from the date of substantial completion or as provided in the specifications/invoice attached hereto, whichever is greater.

19. Conflicts. If there is any inconsistency between these Terms and Conditions and the specifications/invoice or any attachments thereto, these Terms and Conditions shall apply.

20. Hold Harmless. The Vendor shall indemnify and hold harmless the City and its agents, employees, elected officials, representatives and assigns (hereinafter referred to as the "Indemnified Parties") as and against any and all claims, demands, actions, causes of action, losses, costs, expense, including, but not limited to actual attorney fees, arising out of or resulting from the performance of the work. Said indemnity shall include both the Vendor, as well as any subcontractors working under them, regardless of whether or not such claims, demands, losses or expenses are caused in whole, or in part, by the parties that are being indemnified. Such obligation shall not be considered to negate, abridge or reduce other rights or obligations of indemnity which would otherwise exist as to a party or persons described in this paragraph. To the extent that the Vendor retains subcontractors for the performance of the work, or any portion thereof, the Vendor and/or subcontractors shall provide evidence of the insurance coverages set forth above, as well as the terms of this indemnification provision shall be applicable to such Vendor and/or subcontractors.

21. Modification and Assignability. This contract, including all documents incorporated by reference herein, may not be enlarged, modified or altered except upon written agreement signed by both parties. The Vendor may not subcontract or assign its rights, including rights to compensation, or terms of performance arising hereunder without the prior written consent of the City. Any subcontractor or assignee shall be bound by all of the terms and conditions of the contract, and will be required to enter into a written agreement with the City.

22. Termination of Contract. This contract may be terminated as follows:

- a. *Termination for Convenience.* City may terminate this contract in whole or in part for the convenience of the City when the City determines that the continuation of the project is not in the best interests of the City. Vendor shall be entitled to payment for all of the services performed at the date of the termination, together with its direct costs of termination. Under no circumstances shall the Vendor be entitled to any penalty for the termination nor shall the Vendor be entitled to any payment for lost profits.
- b. *Termination for Cause.* If the City determines that the Vendor has failed to comply with any of the terms and conditions of the contract and the scope of services and related documents thereto, the City may give written notice to the Vendor of any such deficiency and in the event that the Vendor fails to cure said deficiency within ten (10) days of the notice of such failure, the City may, with no further notice, declare this contract to be terminated. Vendor will therefore be entitled to receive payment for those services performed at the date of termination, plus the amount of reasonable damages suffered by the City by reason of the Vendor's failure to comply with the terms of the contract. Under no circumstances shall the Vendor be entitled to any lost profits arising from the contract.

23. Ongoing Services. This is also a contract for ongoing preventative maintenance services, as provided for in the Project Specifications. The parties agree that these Terms and Conditions shall be applicable to these ongoing Services.

24. Relationship of the Parties. The Vendor agrees to perform the services as provided for hereunder as an independent contractor, not as an employee of the City. The Vendor shall furnish all services, labor, materials and equipment necessary to conduct and complete the work. The work shall be performed in accordance with the specifications subject to the satisfaction of the City.

25. Delay. The Contractor shall not be liable for delays or failure to perform the services necessary to complete the work which are caused directly or indirectly by circumstances beyond the Contractor's control, including but limited to, acts of God, fire, flood, war, sabotage, accident, labor dispute, material shortage, governmental action, including regulatory requirements, change conditions, delays resulting from actions of the Owner or third parties not under control of the Contractor, site inaccessibility or inability of others to obtain materials, labor, equipment or transportation. Should any of the above occur, then the date for completion of the services shall be adjusted for such delay, provided that the Contractor reports the delay, both verbally and in

writing, to the Owner within a reasonable time of its discovery. The Owner shall determine whether or not the cause of delaying or not completing a duty or obligation under this Agreement is under the control of the Contractor.

The Contractor acknowledges that in December of 2019 a novel strain of the Coronavirus (now referenced as COVID-19) was detected and has now spread throughout many countries, including the United States. Based upon this, the World Health Organization has declared a Public Health Emergency of international concern; and the United States Department of Health and Human Services has declared a Public Health Emergency. The Contractor further acknowledges that it is aware of the COVID-19 pandemic and that the existence of said pandemic will not constitute a force majeure or otherwise preclude the Contractor's ability to perform the terms of this agreement absent the issuance of any Order by a governmental entity with jurisdiction that would preclude such performance

The Contractor acknowledges that it must perform the work and services hereunder, pursuant to the terms and conditions of this Agreement and that such work shall conform to the recognized standards in the Milwaukee Metropolitan Area for the performance of this work as are prevalent in this field of endeavor and like services. Also, its work shall be performed in a good and workmanlike manner.

26. Regulations. The Vendor agrees to comply with all the requirements of applicable federal, state and local laws, as well as Codes and Specification requirements related to the performance of the work under this Contract.

27. Records and Reports. Records relating to the performance of the services under this Contract must be retained for seven (7) years after final disposition. However, if any litigation claim or audit has started before the expiration of the seven (7) year period, then records shall be retained for five (5) years after the litigation or audit is resolved. Notwithstanding any other clause written herein, Vendor understands and agrees that the City is a municipal entity and therefore, is subject to the Open Records Law of the State of Wisconsin. Wisconsin Statute §19.36(3) requires governmental entities to make available for inspection a copy of any records produced or collected under a contract entered into by the municipal entity to the same extent as if the record were maintained by the municipality. Therefore, in the event there is a request for any other documentation pertaining to this Contract, Vendor shall provide the information as requested and charge no more than the cost to copy said information. The parties agree that upon completion or termination of this Contract, all project contract documents or instruments of service, including electronic files of computer-aided record drawings and field inspection reports shall be delivered to and shall become the property of the City. These records, drawings, reports, etc. may be used without restriction by the City for any public purpose and to implement construction and use of the project. Any such use or reuse of these documents outside the scope of the project shall be without compensation or liability to the Vendor, excepting for errors and omissions associated with the completed project, services and documents performed under this Contract.

28. Governing Law; Entire Agreement. This Contract shall be governed and construed in accordance with the laws of the State of Wisconsin. These Contract documents represent the

complete understanding of the parties with respect to the subject matter set forth herein and may only be amended in a subsequent agreement executed by all parties.

29. Relationship of the Parties. The contractor agrees to perform the services as provided for hereunder as an independent contractor, not as an employee of the owner. The contractor shall furnish all services and labors and materials and equipment necessary to conduct and complete the work. The work shall be performed in accordance with the specifications subject to the satisfaction of the owner.

CITY:
City of New Berlin

VENDOR:

[Insert Vendor Name]

By: _____

[Print Name & Title]

By: _____

[Print Name & Title]

ADDENDUM TO CITY OF NEW BERLIN CONTRACTS

This Addendum is made and entered into and shall be considered an attachment to all contracts entered into by the City of New Berlin for so long as the City of New Berlin is subject to the U.S. Department of Treasury Restrictions, as well as other federal regulations related to the City's receipt of American Rescue Plan Act Funds. The following Terms and Conditions shall be included in each such agreement and are incorporated as though fully set forth in the original contract.

1. The contractor agrees to comply with the applicable requirements of Section 603 of the American Rescue Plan Act (hereinafter referred to as the "Act") regulations adopted by the US Department of Treasury (hereinafter referred to as the "Treasury") pursuant to Section 603(f) of the Act and the guidance issued by the Treasury regarding the foregoing. The contractor also agrees to comply with all other applicable federal statutes, regulations and executive orders and shall provide for such compliance by other parties, including subcontractors in any agreements it enters into with other parties related to this award.
2. Statutes and regulations prohibiting discrimination and applicable to this contract include, but are not limited to the following:
 - a. Title VI of the Civil Rights Act of 1964 (42 USC, §2000 D, et. seq.) and Treasury's implementing regulations at 31 CFR, Part 22, which prohibit discrimination on the basis of race, color or national origin under programs or activities receiving federal financial assistance.
 - b. Fair Housing Act. Title VIII of the Civil Rights Act of 1968 (42 USC, §3601, et. seq.) which prohibits discrimination in housing on the basis of race, color, religion, national origin, sex, familial status or disability.
 - c. Section 504 of the Rehabilitation Act of 1973, as amended, (29 USC, §794), which prohibits discrimination on the basis of disability under any program or activity receiving federal financial assistance.
 - d. The Age Discrimination Act of 1975, as amended (42 USC, §6101, et. seq.) and Treasury's implementing regulations at 31 CFR, Part 23, which prohibit discrimination on the basis of age and programs or activities receiving federal financial assistance; and
 - e. Title II of the Americans with Disabilities Act of 1990, as amended (42 USC, §12, 12101 et. seq.), which prohibits discrimination on the basis of disability under programs, activities and services provided or made available by state and local governments or instrumentalities or agencies thereto.
3. Equal Employment Opportunity. During the performance of the contract, the contractor will be required to comply with Equal Opportunity Employment Statutes as outlined in 47 CFR, §90.168.
4. Copeland Anti-Kickback Act. The contractor shall comply with 18 USC, § 874, 40 USC, §3145 and the requirements of 29 CFR, Part 3, as may be applicable, which are incorporated by reference into this contract.

5. Contract Work Hours of the Safety Standards Act.
- a. Overtime Requirements. No contract or subcontract contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any work week in which he/she is employed on such work to work in excess of 40 hours in such work week unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of 40 hours in such work week.
 - b. Violation. Liability for unpaid wages; liquidated damages: In the event a violation of the clause set forth in (a) above, the contractor or any subcontractor responsible therefore shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards employed in violation of this section.
 - c. Withholding fund paid wages and liquidated damages: The City of New Berlin shall, upon its own action or upon written request of an authorized representative of the US Department of Labor, withhold or cause to be withheld from any monies payable on account of work performed by the contractor or subcontractor under any such contract or any other federal contract with the same contractor or any other federally assisted contract subject to the contract work hours and Safety Standards Act, which is held by the same contractor such sums as may be determined to be necessary to satisfy any liabilities of such contractors or subcontractors or unpaid wages and liquidated damages as provided in the clause set forth in this section.
 - d. Subcontract. The contractors or subcontractors shall insert in any contract the clauses set forth in Paragraph B, 1-4 of 29 CFR §5.5 and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in Paragraphs B, 1-4 of 21 CFR, §5.5.
6. Clean Air Act and Federal Water Pollution Control Act. Contractor needs to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act, as amended, 42 USC, §7401, et. seq.
7. Debarment and Suspension. This award is a covered transaction for purposes of 2 CFR, Part 180 and 2 CFR, Part 3000. As such, the contractor is required to verify that none of the contractors principals (defined in 2 CFR, §180.995) or its affiliate (defined in 2 CFR, §180.1.905) are excluded (defined in 2 CFR, §180.940) or disqualified (defined in 2 CFR, §180.935). Selected contractors must comply with 2 CFR, Part 180, Subpart C and 2 CFR, Part 3000, Subpart C, and must include a requirement to comply with these regulations in any lower tier covered transaction it enters into. This certification is a material representation of fact relied upon by the City of New Berlin. If it is later determined that the contractor did not comply with 2 CFR, Part 180, Subpart C and 2 CFR, Part 3000, Subpart C, in addition to remedies available to the City of New Berlin, the federal government may pursue available remedies including, but not limited to, suspension and/or

disbarment. The contractor and the bidder or proposer agree to comply with the requirements of 2 CFR, Part 180, Subpart C and 2 CFR, Part 3000, Subpart C, while this offer is valid and throughout the period of any contract that may arise from this offer. This contractor and the bidder or proposer further agrees to provide a provision requiring such compliance in its lower tier covered transactions.

8. Byrd Anti-Lobbying Amendment. The contractor shall file the required certification. The contractor and all subcontractors certify that they will not and have not used federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress or an employee of a member of Congress, or employees of the City of New Berlin in connection with obtaining any federal contract, grant or any award covered by 31 USC, §1352. Each tier, including the contractor and all subcontractors, shall also disclose any lobbying with non-federal funds that takes place in connection with obtaining any federal award. Such disclosures are forwarded from tier to tier up to the recipient, who in turn will forward the certifications to the awarding agency. If the agreement exceeds \$100,000.00, the contractor must certify compliance with the Byrd Anti-Lobbying Amendment.
9. Procurement of Recovered Materials. Contractor shall comply with 2 CFR, §200.323 as applicable.
10. Prohibition on Certain Telecommunications and Video Surveillance Services or Equipment. Contractor shall comply with 2 CFR, §200.216, as applicable.
11. Domestic Preferences for Procurements. Contractor shall comply with 2 CFR, §200.322.
12. This Exhibit A is intended to incorporate those federal laws and regulations that apply to this contract. If the contractor believes that any law or regulation described herein is not applicable in this contract per the terms of the federal law or regulation, the contractor shall present their position in that regard to the City of New Berlin with a written change order request. The laws cited herein shall be followed by the contractor and all subcontractors unless the municipality agrees that the cited federal law or regulation does not apply, and the change order is approved by the City of New Berlin Common Council.

ADDENDUM TO CITY OF NEW BERLIN CONTRACTS

This Addendum is made and entered into and shall be considered an attachment as Exhibit B to all contracts entered into by the City of New Berlin for so long as the City of New Berlin is subject to the U.S. Department of Treasury Restrictions, as well as other federal restrictions related to the City's receipt of Federal Funds. The following Terms and Conditions shall be included in each such agreement and are incorporated as though fully set forth in the original contract.

1. No City contractor or employee shall operate any machinery or vehicle while utilizing a smart phone, including, but not limited to, the use of any cellular phone or texting.
2. All City employees and contractors, while engaged in the performance of City business or acting consistent with the performance of services under a contract with the City shall utilize seatbelts and any other safety devices related to the operation of a motor vehicle.
3. City employees or contractors whose duties and responsibilities are funded through the Coronavirus State and Local Fiscal Recovery Funds agree that they will not engage in any lobbying activities while in the course of providing services on behalf of the City of New Berlin, as restricted under the Hatch Act, 5 USC Sec. 1501-1508. No funds appropriated under the Coronavirus State and Local Fiscal Recovery Act shall be utilized for lobbying, and no political payments shall be made through the use of said funds.
4. All City employees and contractors, while in the performance of duties on behalf of the City shall abide by all local, state and federal regulations concerning the ingestion of controlled substances and shall not violate such Statutes or Ordinances. The City shall enforce drug free workplace standards and provide awareness programs for Staff. The City shall further agree to take action regarding individuals using drugs in the workplace according to law.
5. All City employees and contractors, in the course of performing of their duties on behalf of the City, shall, to the extent applicable, comply with the provisions in Wisconsin Statute §19.59 regarding conflicts of interest, as well as City of New Berlin Municipal Code Chapter 28 regarding ethics. Specifically, no City employee or contractor shall accept or solicit money or tangible personal property or otherwise receive consideration in exchange for the agreement to enter into a contract with a third party.
6. City employees shall avoid the acquisition of unnecessary items or property on behalf of the City.
7. City employees shall, to the extent applicable, engage in value engineering as part of any construction work performed on behalf of the City.
8. Contracts shall only be awarded to responsible contractors with experience in performing the services being contracted for.

9. City contracts shall avoid compensating for contractor work performed on a time and material basis and, to the extent practicable, shall have fixed-price contracts.
10. The selection of a contractor by the City should be done in an atmosphere of open and honest competition.
11. In the course of public bidding involving the purchase of equipment, the City shall not specify only a brand name for the purpose of limiting potential contracting parties. The City may include a clause, however, that any equipment being supplied under a City contract must interface well and be compatible with existing equipment utilized by the City of New Berlin, which is identified as the following: _____.
12. The City shall verify that any entity with which it is contracting has not been excluded for contracting pursuant to 2 CFR §180.
13. City contractors do hereby certify that they are not designated by the federal government as being precluded from engaging in federal contracts.
14. The City of New Berlin, its employees, officers, agents, contractors and assigns may not discharge, demote or otherwise discriminate against an employee in reprisal for disclosing information that the employee reasonably believes is evidence of gross mismanagement of a Federal, State or City contract or grant; a gross waste of Federal, State or City funds; an abuse of authority relating to Federal, State or Local Contractor Grant; a substantial and specific danger to public health, safety or welfare; or a violation of law, rule or regulation related to a Federal, State or City contract (including, but not limited to, the competition for or negotiation of a contract) or Grant. The entities to which disclosure of such information includes, but is not limited to the following entities:
 - a. A member of Congress or a representative of a committee of Congress;
 - b. An Inspector General;
 - c. The Government Accountability Office;
 - d. A Treasury employee responsible for contract grant oversight or management;
 - e. An authorized official of the Department of Justice or other law enforcement agency;
 - f. A Court or Grand Jury;
 - g. A management official or other employee of the City;
 - h. A contractor of the City;
 - i. A subcontractor of the City, which has the responsibility to investigate, discover or address misconduct;
 - j. An official of the State of Wisconsin, or other employee, agent or contractor of the State who has the responsibility to investigate, discover or address misconduct.
15. This Policy shall be disclosed to all City officers, agents, contractors or assigns and shall be included as part of the City's Addendum for City contract.
16. The City shall engage in a cost and price evaluation analysis to include independent estimates of the cost of the equipment or service before placing the matter out for bid.

17. When the City is engaged in negotiating purchase of goods and services, the profit in the contract shall be negotiated independently from the materials and labor. In any contract entered into by the City of New Berlin for the acquisitions of goods and services shall require remedies in the event of a breach of the agreement and shall include provisions for termination as to cause.

Repair for:

A map of the state of Wisconsin, divided into its 9 counties. Dodge County, located in the southeastern part of the state, is shaded in gray. The other counties are white with black outlines.

[illegible]

OWNER:

City of New Berlin - Historical Society
16550 W National Ave
New Berlin, WI 53151
Tele: (262) 780-4609
Contact: Josh Radomski
Email: jradomski@newberlin.org

ARCHITECT:

Perspective Design, Inc.
11525 W. North Avenue
Wauwatosa, WI 53226
Tele: (414) 302-1780
Fax: (414) 302-1781
Contact: Peter Ogorek
E-mail: pogorek@pdi-arch.com

GENERAL CONTRACTOR/ CONSTRUCTION MANAGER:

TBD

STRUCTURAL ENGINEER:

Pierce Engineers, Inc.
181 N Broadway Ave.
Milwaukee, WI 53202
Tele: (414) 988-7465
Contact: Eric Dohrmann
E-mail: edohrmann@pierceengineers.com

ELECTRICAL DESIGN/BUILDER

TBD

GENERAL:

T1 TITLE SHEET

ARCHITECTURAL:

D1.1	DEMOLITION ROOF PLAN
D3.1	DEMOLITION BUILDING SECTION
A1.1	ROOF PLAN
A1.2	PARTIAL FLOOR PLANS
A1.3	PARTIAL REFLECTED CEILING PLANS AND SCHEDULES
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTION
A5.1	INTERIOR ELEVATIONS AND WINDOWS TYPES

STRUCTURAL:

S100 PARTIAL FRAMING PLANS

ELECTRICAL:

TO BE PREPARED & SUBMITTED BY DESIGN /
BUILD ENGINEER UNDER SEPARATE COVER

WISCONSIN UDC - SPS 321- CONSTRUCTION STANDARDS (MAY 2022)

LOADS AND MATERIALS:

DUELLINGS SHALL BE CONSTRUCTED TO SUPPORT THE ACTUAL DEAD LOAD, LIVE LOAD AND WIND LOADS ACTING UPON IT WITHOUT EXCEEDING THE ALLOWABLE STRESSES OF THE MATERIAL.

ROOFS AND CEILING SHALL BE CONSTRUCTED TO SUPPORT THE FOLLOWING LOADS:

1. DEAD LOAD FOR ROOFING MATERIALS, INSULATION, AND OTHER ITEMS THE ROOFS SHALL BE CONSTRUCTED TO SUPPORT THE SNOO LOADS PER THE ZONE MAP, THE CODE 30 PSF FOR ZONE 2.

2. DEAD LOAD FOR CEILING MATERIALS AND EITHER A HORIZONTAL AND UPLIFT PRESSURE OF 20 POUNDS PER SQUARE FOOT ACTING OVER THE SURFACE AREA OR THE LOADS AS DETERMINED BY ASCE 1-09.

3. STRUCTURAL LOADS SPECIFIED IN THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND THE DESIGN VALUES FOR WOOD CONSTRUCTION.

ALL COMPONENTS SHALL BE FASTENED TO WITHSTAND DEAD, LIVE, SNOO AND WIND LOADS AND SHALL BE IN ACCORDANCE WITH THE FASTENING TABLE OF THE CODE.

FIREBLOCKING:

* FIREPROOFING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: IN CONCEALED SPACES OF WALLS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS; AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN CONCEALED SPACES BETWEEN STAIR STRUCTURES AND STAIRS AND STAIRWAYS; AT ALL PENETRATIONS AROUND PENETRATING ITEMS AT CEILING AND FLOOR LEVELS.

* FIREPROOFING MATERIAL SHALL BE 2-INCH NON-ANAL. LUMBER, TWO LAYERS OF ONE-INCH NON-ANAL. LUMBER, 3/4-INCH NON-ANAL. STRUCTURAL PANEL, FANEL WITH 1/2-INCH TOP AND BOTTOM COAT OF 50-MIL FIBERGLASS FIBERGLASS OR MINERAL WOOL BATT INSULATION FILLING THE ENTIRE CAVITY TO NOT EXCEED A 4-INCHES.

* FOR PENETRATING ITEMS WITH GAPS NOT EXCEEDING 1/2-INCH MAY USE NON-BURNING CASK PUTTY, MORTAR OR SIMILAR MATERIAL.

* FOR PENETRATING ITEMS WITH GAPS EXCEEDING 1/2-INCH, PENETRATING SHALL BE METAL, CEVENT BOARD OR SIMILAR NONCOMBUSTIBLE MATERIAL.

PROTECTION AGAINST DECAY AND TERMITES:

- WOOD SUBJECT TO DECAY AND TERMITES SHALL BE NATURALLY RESISTANT, TREATED OR ENGINEERED.
- PRESURIZED TREATED WOOD SHALL BE LABELED AND IN ACCORDANCE WITH AIA STANDARD 308.
- REFER TO THE CODE FOR SPECIFIC AREAS WHERE DECAY AND TERMITE PROTECTION IS REQUIRED.
- FASTENERS FOR PRESERVATIVE TREATED OR FIRE TREATED WOOD SHALL BE 1/2"-NCH DIA BOLTS MADE OF STAINLESS STEEL, BE OF APPROVED HOT-DIPPED ZINC GALVANIZED PER ASTM A 153, ZINC COATED STEEL FASTENERS COMPLYING WITH ASTM B 685 CLASS 55, OR GREATER OR FASTENERS SPECIFICALLY APPROVED BY THE MANUFACTURER.
- FASTENERS USED IN HANGERS OR METAL FIXTURES SHALL BE THE SAME MATERIAL AS THE FIXTURE.

FOAM PLASTICS:

- FOAM PLASTICS SHALL HAVE A FLAME-SPREAD RATING OF 75 OR LESS AND A SMOKE-DEVELOPMENT OF 450 OR LESS.
- FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR BY A THERMAL BARRIER OF 1/2-INCH GYP(SUM) WALLBOARD, 1/2-INCH NOMINAL STRUCTURAL PLANK, 3/4-INCH SAWN LUMBER WITH LAPFED EDGES, 1-INCH CONCRETE OR MASONRY, A UOL PRODUCT IN ACCORDANCE WITH THE CODE AND ASTM E-119, OR 2 GAUGE STEEL, OR 0.035 IN ALUMINUM SHEET METAL FOR DOORS.
- THE FOLLOWING ITEMS DO NOT REQUIRE A THERMAL BARRIER: COVERED GARAGE DOORS, OR BOY SILLS IN THE BASEMENT OR GROUND FLOOR ABOVE THE BOTTOM OF THE FLOOR JOISTS.
- MATERIAL SPECIFICALLY APPROVED BY THE DEPARTMENT MAY ALSO BE EXPOSED TO THE INTERIOR.

FOOTINGS/FOUNDATIONS/FLOORS/WALLS/ROOF AND CEILINGS:

- BUILDING COMPONENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CODE. REFER TO THE CODE FOR SPECIFIC REQUIREMENTS FOR EACH BUILDING COMPONENT.

Drawing Title:
TITLE SHEET

Date: 07/19/23

Scale: NONE

Drawn:	CHI
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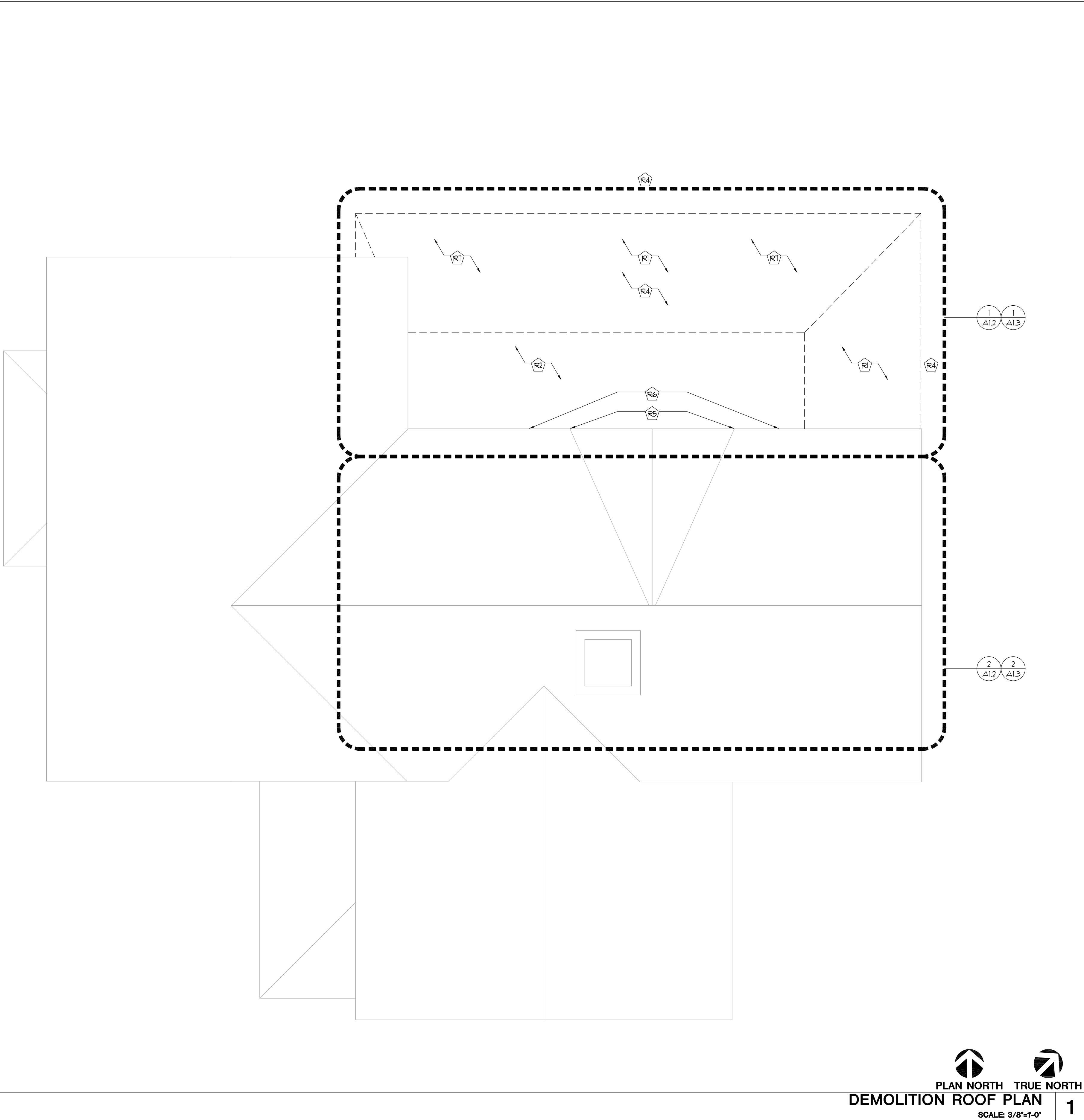
Job: 23-047

Sheet:

T1

CONSTRUCTION SET
USE NO OTHER

EXISTING NOTES: 1) EXISTING PLANS AND STRUCTURAL INFORMATION FOR REFERENCE ONLY. ALL CONDITIONS MUST BE VERIFIED IN FIELD BEFORE BIDDING / CONSTRUCTION BEGINS. CONTACT ARCHITECT WITH ANY AND ALL DISCREPANCIES PRIOR TO CONTINUING WITH WORK. 2) G.C. TO VERIFY ALL PUBLIC AND PRIVATE UTILITY LOCATIONS AND SIZES (ELECTRICAL, GAS, SANITARY, STORM, WATER, ETC.) WITH LOCAL MUNICIPALITY. 4 OWNER PRIOR TO DEMOLITION. UTIL. SERVICE EXISTS AT CURRENT STRUCTURE. MODIFY AS NECESSARY. 3) DO NOT SCALE THESE DRAWINGS. 4) REVIEW ALL DRAWINGS INCLUDING DRAWING DIMENSIONS PRIOR TO BIDDING, FABRICATING OR CONSTRUCTING ANY WORK. ALL SUBCONTRACTORS TO RECEIVE COMPLETE SETS OF DRAWINGS FOR PROJECT. GENERAL DEMOLITION NOTES: 1) GENERAL CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY. ALL STATE AND LOCAL PRACTICES & REGULATIONS, INCLUDING BUT NOT LIMITED TO OSHA REGULATIONS, FOR DEMOLITION SHALL BE FOLLOWED FOR SAFETY & ALL OTHER MEASURES ASSOCIATED WITH DEMOLITION. IF ANY HAZARDOUS MATERIALS ARE FOUND AFTER THE INITIAL SURVEY OF EXISTING CONDITIONS OCCUR, IMMEDIATELY CONTACT THE GENERAL CONTRACTOR & STOP WORK FOR ASSIGNMENT. 2) ITEMS TAGGED FOR DEMO SHOULD BE CONSIDERED FOR REFERENCE ONLY. ALL CONDITIONS SHOULD BE VERIFIED IN FIELD BEFORE WORK BEGINS. 3) ALL DEMOLITION SHOULD BE EXECUTED TO THE MINIMUM EXTENTS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. CARE SHOULD BE TAKEN DURING DEMOLITION TO LEAVE EXISTING STRUCTURE UNDISTURBED AND STILL ACCOMMODATE NEW CONSTRUCTION. 4) NEATLY CUT OPENINGS AND HOLES FLUSH, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. 5) INTERIOR WALLS AFFECTED / DAMAGED BY DEMO WORK MUST BE REPAIRED BY GC. 6) USE REPAIR MATERIALS IDENTICAL TO EXISTING MATERIALS. IF IDENTICAL MATERIALS ARE UNAVAILABLE OR CANNOT BE USED FOR EXPOSED SURFACES, USE MATERIALS THAT VISUALLY MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE. 7) MAINTAIN EXISTING UTILITIES IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. 8) ALL ELECTRICAL EQUIPMENT & RELATED COMPONENTS (INCLUDING BUT NOT LIMITED TO PANELS, FIXTURES, OUTLETS, SWITCHES, ETC.) SHALL BE VERIFIED BY ELECTRICAL CONTRACTOR & GENERAL CONTRACTOR PRIOR TO ANY REMOVAL OF SUCH ITEMS. 9) PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY OWNER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE. 10) OWNER WILL OCCUPY PORTIONS OF BUILDING IMMEDIATELY ADJACENT TO SELECTIVE DEMOLITION AREA. CONDUCT SELECTIVE DEMOLITION SO OWNERS OPERATIONS WILL NOT BE DISRUPTED. PROVIDE NO LESS THAN 72 HOURS' NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT OWNERS OPERATIONS. 11) THE ENTIRE BUILDING WILL REMAIN OCCUPIED & OPERATIONAL DURING ALL PHASES OF CONSTRUCTION. ACCOMMODATIONS MUST BE MADE TO ENSURE CONTINUED OPERATION, CUSTOMER ACCESS, TENANT ACCESS, HEATING, COOLING, FIRE PROTECTION, & SECURITY. ACCOMMODATIONS SHALL ALSO BE MADE TO PROTECT THE TENANTS, CUSTOMERS & TENANT'S PROPERTY/MERCHANDISE AS REQ'D. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: DUST & FUME PROTECTION, NOISE PROTECTION. 12) SEE SECTIONS AND ELEVATIONS FOR ADDITIONAL DEMOLITION INFO - TYPICAL. ROOF PLAN DEMOLITION KEYED NOTES: (R1) REMOVE EXISTING ASPHALT SHINGLES (R2) REMOVE EXISTING MEMBRANE ROOFING (R3) REMOVE EXISTING GUTTERS AND DOWNSPOUTS AND SALVAGE TO REUSE (R4) REFER TO ELEVATIONS AND SECTIONS FOR MORE DEMOLITION NOTES (R5) REMOVE EXISTING FASCIA AS NECESSARY IN ORDER TO REPAIR ANIMAL DAMAGE, SALVAGE FOR REUSE (R6) REMOVE EXISTING GUTTERS IN ORDER TO ACCOMMODATE NEW WORK, SALVAGE FOR REINSTALLATION (R7) REMOVE EXISTING ROOF AND CEILING FRAMING IN THE AREA OF THE EXISTING ENTRY AND SUNROOM	NOTES 2
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Project:

Repair for:

New Berlin
Sprengel House
19886 W National Ave
New Berlin, WI 53146

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11325 W. North Avenue
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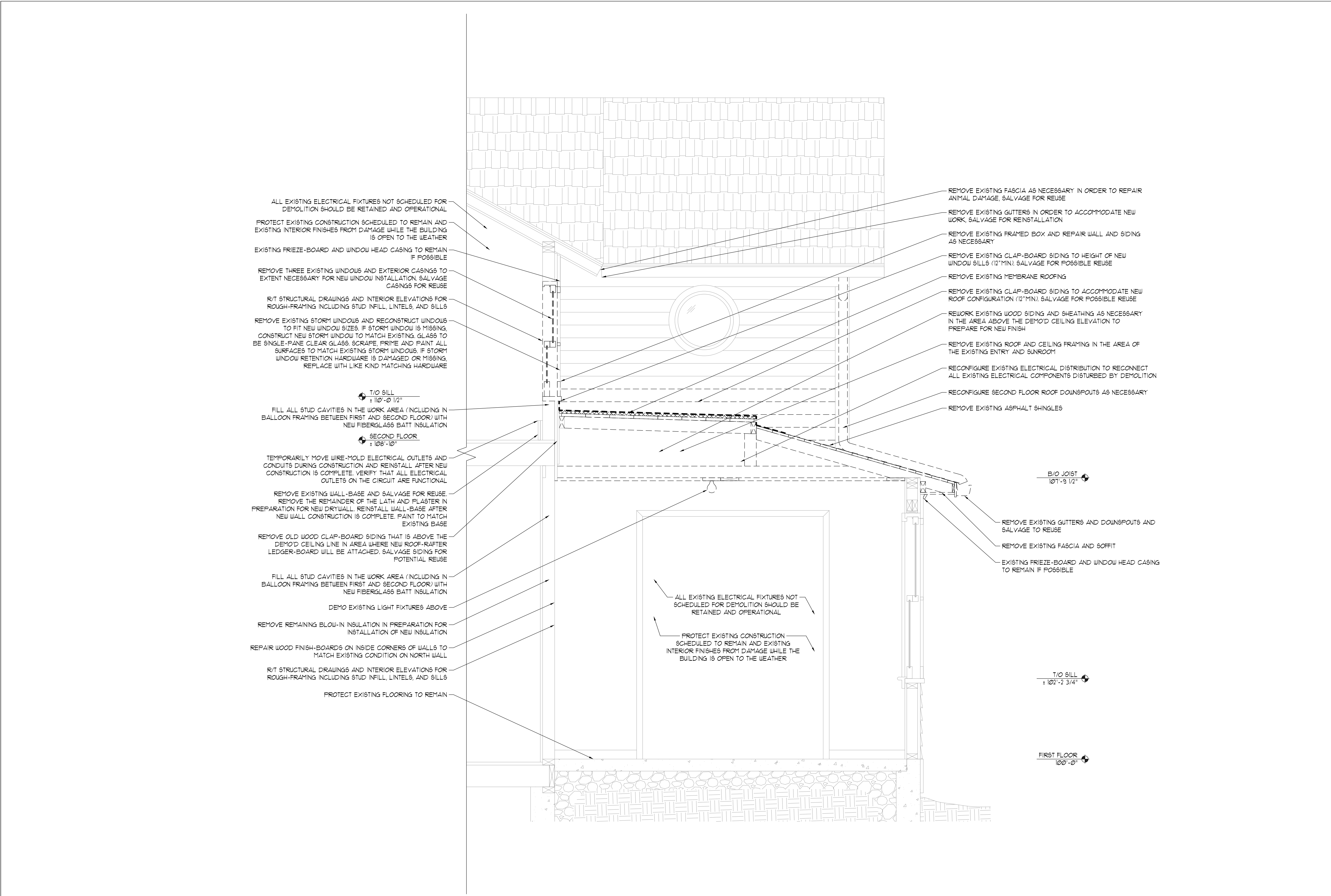
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DEMOLITION BUILDING SECTION
SCALE: 3/4"=1'-0"

1

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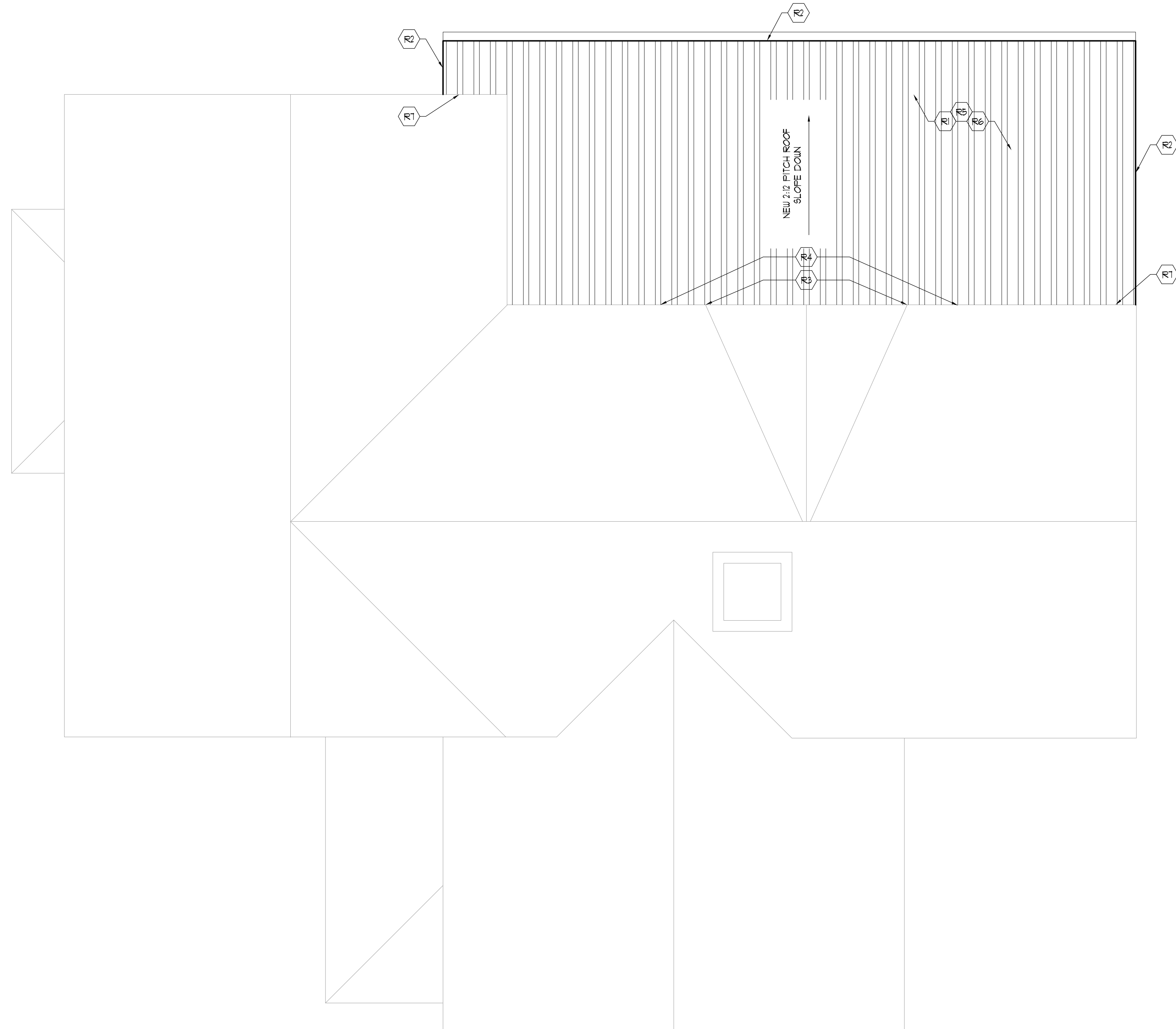
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- 1) SEE STRUCTURAL ROOF FRAMING PLAN AND DETAILS FOR ADDITIONAL ROOF NOTES.
- 2) ALL MTL. FLASHING/COPING TO BE INSTALLED PER SMACNA STANDARDS
- 3) SLOPE GUTTER TO DOWN SPOUT - 1/16" PER FOOT MIN.

ROOF PLAN KEYED NOTES:

- | | |
|----|--|
| R1 | NEW FAC-CLAD SNAP-CLAD (OR EQUAL) STANDING SEAM METAL ROOFING, OVER ICE-AND-WATER SHIELD, OVER WOOD SHEATHING, OVER NEW ROOF RAFTER FRAMING. ROOFING COLOR TO BE MEDIUM BRONZE |
| R2 | NEW FAC-CLAD ROOF EDGE GABLE FLASHING AND EAVE FLASHING - COLOR TO BE MEDIUM BRONZE
REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS ALONG NEW EAVE EDGE |
| R3 | REPAIR FASCIA AND BOFITS WITH LIKE MATERIALS IN THE AREA OF THE ANIMAL DAMAGE. PRIME AND PAINT ALL SIDES OF NEW AND EXISTING WOOD USED FOR THE REPAIR. EXTERIOR PAINT COLOR TO MATCH EXISTING BUILDING |
| R4 | REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS AFTER FASCIA REPAIR |
| R5 | R/T STRUCTURAL DRAWING FOR NEW ROOF FRAMING |
| R6 | R/T ELEVATIONS AND SECTIONS FOR MORE INFORMATION |
| R7 | RECONFIGURE EXISTING SECOND FLOOR DOWNSPOUTS FOR NEW ROOF CONFIGURATION |



NOTES

2

PROPOSED ROOF PLAN

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1



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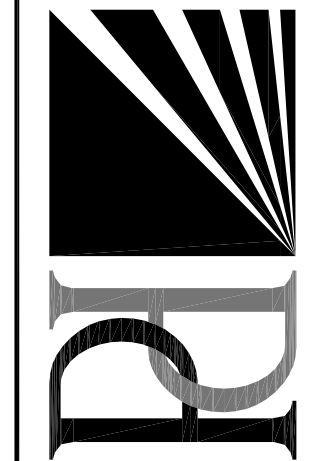
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**PROPOSED
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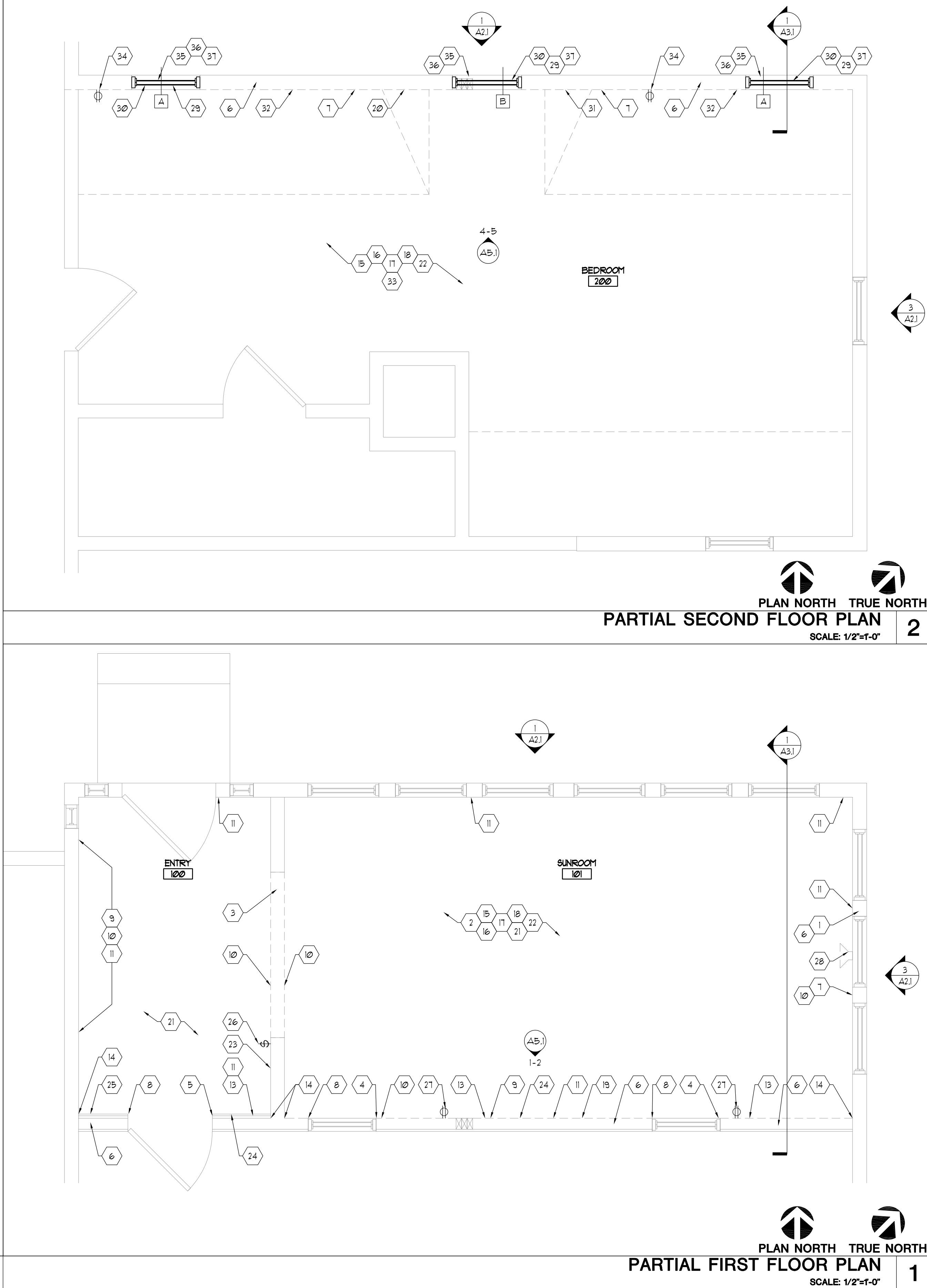
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CONSTRUCTION SET
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GENERAL PROJECT NOTES:		FLOOR PLAN KEYED NOTES:	
1) CONSTRUCTION IS TO BE IN COMPLIANCE W/ ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION W/ THE PERFORMANCE OF THIS CONTRACT. 2) ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE, OR CONSTRUCTION ISSUES ARISING DUE TO GENERAL CONTRACTORS/ OWNERS FAILURE TO DISTRIBUTE ALL DOCUMENTS TO EACH SUBCONTRACTOR OR MATERIAL SUPPLIER. SUBCONTRACTORS & MATERIAL SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCUMENTS BEFORE BIDDING, FABRICATING, OR INSTALLING WORK. 3) ALL CONTRACTORS SHALL BECOME FAMILIAR WITH SITE PRIOR TO BIDDING. GENERAL CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING, OR INSTALLING WORK. 4) ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. 5) ELEC. ARE TO BE DESIGN BUILT, COMPLYING W/ ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT ASSUMES NO LIABILITY. 6) ALL MECH. ELEC. SYSTEMS/ EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER ASSUME FULL RESPONSIBILITY FOR MAINTENANCE/ OPERATION AFTER OCCUPANCY. 7) THE INSTALLATION AND EXECUTION OF ALL PRODUCTS & MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS, INSTRUCTIONS AND SPECIFICATIONS. 8) ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM PREMISES DAILY. 9) DIMENSIONS ARE TO BE FIELD VERIFIED & ADJUSTED ACCORDINGLY. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WITH WORK. 10) HAZARDOUS MATERIAL (INCLUDING ASBESTOS) ASSESSMENT AND ABATEMENT WILL BE COORDINATED BY OWNER. 11) LEAD PAINT ASSESSMENT, TESTING, AND ABATEMENT WILL BE COORDINATED BY OWNER.		1) CONSTRUCT NEW 2x EXTERIOR WALL (TRIANGULAR SHAPED) ON TOP OF EXISTING TOP-PLATE IN ORDER TO EXTEND THE WALL TO THE UNDERSIDE OF THE NEW ROOF FRAMING. STUD THICKNESS TO MATCH EXISTING CONSTRUCTION. R/T EXTERIOR ELEVATIONS 2) R/T STRUCTURAL DRAWINGS FOR NEW ROOF FRAMING 3) CONSTRUCTED NEW 2x INTERIOR WALL (TRIANGULAR SHAPED) ON TOP OF EXISTING WALL IN ORDER TO EXTEND THE WALL TO THE UNDERSIDE OF THE NEW ROOF FRAMING. STUD THICKNESS TO MATCH EXISTING CONSTRUCTION. R/T INTERIOR ELEVATIONS 4) REPAIR EXISTING WINDOW FRAMES AS NECESSARY IN ORDER TO EXTEND THE WINDOW JAMBES, HEAD AND SILL TO BE FLUSH WITH THE NEW INTERIOR WALL FINISH (WINDOWS WILL REMAIN EXPOSED). SCRAPE, PRIME AND PAINT WINDOW FRAMES AND SASHES TO MATCH EXTERIOR PAINT COLOR 5) REPAIR EXISTING DOOR FRAME AS NECESSARY IN ORDER TO EXTEND THE DOOR JAMBES, HEAD AND SILL TO BE FLUSH WITH THE NEW INTERIOR WALL FINISH. STAIN AND POLYURETHANE DOOR JAMBES AND HEAD TO MATCH EXISTING FRAME FINISH 6) FILL ALL STUD CAVITIES IN THE WORK AREA (INCLUDING IN BALLOON FRAMING BETWEEN FIRST AND SECOND FLOOR) WITH NEW FIBERGLASS BATT INSULATION 7) PROVIDE 4 MIL VAPOR BARRIER ON INTERIOR OF THIS STUD WALL 8) INSTALL NEW WINDOW AND DOOR CASINGS TO MATCH WINDOW CASINGS ALONG THE NORTH WALL OF THE EXISTING SUNROOM. INSTALL MATCHING WINDOW SILLS AND AFCONS. STAIN AND POLYURETHANE TO MATCH EXISTING WINDOW CASING COLOR 9) REWORK EXISTING WOOD SIDING AND SHEATHING AS NECESSARY IN THE AREA ABOVE THE DEMO'D CEILING ELEVATION TO PREPARE FOR NEW FINISH. 10) INSTALL SALVAGED WOOD T&G BOARDS IN THE TRIANGULAR AREA ABOVE THE EXISTING WALL FINISH. ALIGN THE REINSTALLED BOARDS WITH THE EXISTING BOARDS BELOW. PROVIDE AND INSTALL A 1/4 TRIM PIECE AT THE BUTT-JOINT BETWEEN THE EXISTING AND REINSTALLED BOARDS. STAIN AND POLYURETHANE THE TRIM BOARD TO MATCH THE WALL FINISH. R/T INTERIOR ELEVATIONS 11) INSTALL NEW 1/2 TRIM AT WALL-CEILING INTERSECTION. STAIN AND POLYURETHANE TO MATCH EXISTING WALL BOARDS 12) INSTALL NEW WOOD PANEL-SHEATHING (OSB OR PLY.) OVER EXISTING STUDS TO ALIGN OUTSIDE FACE OF SHEATHING WITH EXISTING SHEATHING BOARDS ABOVE. PROVIDE 1/8" SHEATHING OR SHIM AS NECESSARY (EXISTING SHEATHING BOARDS ARE 1/8" +/- THICK) 13) INSTALL NEW 9" AND 1-1/2" EXPOSURE T&G VERTICAL WOOD FINISH-BOARDS TO MATCH EXISTING. STAGGER 9" AND 1-1/2" BOARDS TO MATCH EXISTING LAYOUT. EXTEND BOARDS ALL THE WAY TO NEW ROOF. PROVIDE 1/4 TRIM BOARD ALONG SOUTH WALL. AT SAME ELEVATION AS TRIANGULAR INFILL AREAS. STAIN AND POLYURETHANE NEW WALL FINISH BOARDS AND TRIM BOARDS TO MATCH EXISTING FINISHES AS CLOSE AS POSSIBLE 14) REPAIR WOOD FINISH-BOARDS ON INSIDE CORNERS OF WALLS TO MATCH EXISTING CONDITION ON NORTH WALL 15) PROTECT EXISTING FLOORING TO REMAIN 16) R/T STRUCTURAL DRAWINGS AND INTERIOR ELEVATIONS FOR ROUGH-FRAMING INCLUDING STUD INFILL, LINTELS, AND SILLS 17) RECONFIGURE EXISTING ELECTRICAL DISTRIBUTION TO RECONNECT ALL EXISTING ELECTRICAL COMPONENTS DISTURBED BY DEMOLITION 18) PROTECT EXISTING CONSTRUCTION SCHEDULED TO REMAIN AND EXISTING INTERIOR FINISHES FROM DAMAGE WHILE THE BUILDING IS OPEN TO THE WEATHER 19) REMOVE OLD WOOD CLAP-BOARD SIDING THAT IS ABOVE THE DEMO'D CEILING LINE IN AREA WHERE NEW ROOF-Rafter LEDGER-BOARD WILL BE ATTACHED. SALVAGE SIDING FOR POTENTIAL REUSE 20) REMOVE REMAINING BLOW-IN INSULATION IN PREPARATION FOR INSTALLATION OF NEW INSULATION 21) DEMO EXISTING LIGHT FIXTURES ABOVE 22) ALL EXISTING ELECTRICAL FIXTURES NOT SCHEDULED FOR DEMOLITION SHOULD BE RETAINED AND OPERATIONAL 23) EXISTING FIRE EXTINGUISHER TO REMAIN 24) INSTALL NEW WOOD BASE TO MATCH EXISTING. STAIN AND POLYURETHANE TO MATCH EXISTING BASE 25) EXISTING SECURITY PANEL TO REMAIN 26) EXISTING LIGHT SWITCH TO REMAIN, RE-CIRCUIT AND RECONNECTED TO NEW CEILING-MOUNTED LIGHTS 27) NEW DUPLEX WALL OUTLET, PROVIDE NEW CIRCUIT IN NECESSARY 28) EXISTING WALL SPEAKER TO REMAIN, RE-WIRE AS NECESSARY TO CONCEAL WIRING IN WALL/CEILING CONSTRUCTION 29) NEW ANDERSON 400-SERIES WOODRIGHT WINDOW (OR EQUAL) W/ LOU-E CLEAR INSULATING GLASS W/ FULL-DIVIDED LIGHT GRILLE (SINGLE VERTICAL MUNTIN) WITH JAMB EXTENSIONS AS NECESSARY TO BE FLUSH WITH THE NEW INTERIOR WALL FINISH. INTERIOR COLOR TO BE WHITE. EXTERIOR COLOR TO BE SANDTONE. EXTERIOR CASING TO USE EXISTING SALVAGED EXTERIOR MATERIAL (IF NECESSARY, REPLACE DAMAGED MATERIALS WITH NEW). ONE DOUBLE-HUNG AND TWO FIXED SASH WINDOWS. R/T EXTERIOR ELEVATIONS 30) INSTALL NEW WINDOW CASINGS TO MATCH WINDOWS IN THIS ROOM. INSTALL MATCHING WINDOW SILLS AND AFCONS. REUSE SALVAGED MATERIALS FROM OWNER DEMOLITION IF POSSIBLE. PAINT TRIM TO MATCH EXISTING WINDOW TRIM IN THIS ROOM 31) REMOVE EXISTING WALL-BASE AND SALVAGE FOR REUSE. REMOVE THE REMAINDER OF THE LATH AND PLASTER IN PREPARATION FOR NEW DRYWALL. REINSTALL WALL-BASE AFTER NEW WALL CONSTRUCTION IS COMPLETE. PAINT TO MATCH EXISTING BASE 32) INSTALL NEW DRYWALL OVER 4 MIL VAPOR BARRIER. FINISH NEW DRYWALL INTO EXISTING CEILING AND WALL FINISHES AT EDGES 33) REPAINT ALL NEW NORTH WALL CONSTRUCTION AND SLOPED CEILINGS AND TRIM IN AREA OF WORK. ALL COLORS TO MATCH EXISTING 34) TEMPORARILY MOVE WIRE-MOLD ELECTRICAL OUTLETS AND CONDUITS DURING CONSTRUCTION AND REINSTALL AFTER NEW CONSTRUCTION IS COMPLETE. VERIFY THAT ALL ELECTRICAL OUTLETS ON THE CIRCUIT ARE FUNCTIONAL 35) RECONSTRUCT EXTERIOR WINDOW CASING AS NECESSARY AROUND NEW WINDOW FROM SALVAGED MATERIAL FROM WINDOW DEMOLITION. SCRAPE, PRIME AND REPAINT TO MATCH EXISTING 36) REMOVE EXISTING STORM WINDOWS AND RECONSTRUCT WINDOWS TO FIT NEW WINDOW SIZES. IF STORM WINDOW IS MISSING, CONSTRUCT NEW STORM WINDOW TO MATCH EXISTING. GLASS TO BE SINGLE-PANE CLEAR GLASS. SCRAPE, PRIME AND PAINT ALL SURFACES TO MATCH EXISTING STORM WINDOWS. IF STORM WINDOW RETENTION HARDWARE IS DAMAGED OR MISSING, REPLACE WITH LIKE KIND MATCHING HARDWARE 37) WATERPROOF WINDOW SILL ROUGH-OPENING WITH SURESILL FLASHING WITH END-DAMS AND MANUFACTURED CORNERS (OR EQUAL)	
NOTES	4	KEYED NOTES	3



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**New Berlin
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19885 W National Ave
New Berlin, WI 53146

**PERSPECTIVE
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Wauwatosa, WI 53226
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**PARTIAL FLOOR
PLANS AND
NOTES**

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GENERAL ELECTRICAL NOTES:
1) ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES AND STANDARDS. ELECTRICAL DEVICES SHOWN ARE A MINIMUM TO BE REQUIRED BY THE OWNER. ADDITIONAL DEVICES MAY BE REQUIRED BY GOVERNING CODES. ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL ELECTRICAL SYSTEMS AS REQUIRED BY GOVERNING CODES.
2) REFLECTED CEILING PLAN WITH LIGHTING LAYOUT IS FOR REFERENCE ONLY. ELECTRICAL DESIGN BUILDER IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS. ELECTRICAL DESIGN BUILDER TO PROVIDE FOR ALL REQUIRED DEVICES IN ORDER TO COMPLY WITH ALL GOVERNING CODES. DESIGN BUILDER IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN APPROVALS AND ON SITE INSPECTIONS.
3) ELECTRICAL DESIGN BUILDER TO PROVIDE CUT SHEETS OF RECOMMENDED MANUFACTURER & PLAN OF RECOMMENDED LOCATION OF LIGHT FIXTURES TO OWNER & ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
4) ELECTRICAL CONTRACTOR TO COORDINATE SWITCHING SCHEDULE WITH TENANT TO ACCOMMODATE TENANT'S REQUIREMENTS.
5) VERIFY WITH GENERAL CONTRACTOR SCOPE OF WORK FOR ADDITIONAL ELECTRICAL REQUIREMENTS.
6) ELECTRICAL DESIGN BUILDER SHALL WORK WITH OWNER'S SECURITY SYSTEM PROVIDER FOR ELECTRICAL REQUIREMENTS.
7) ELECTRICAL DESIGN BUILDER TO COORDINATE PHONE, DATA, CA TV, SWITCH & RECEPTACLE LOCN W/ TENANT PRIOR TO INSTALLATION.
8) REFER TO ELECTRICAL FOR FIXTURE TYPES & LOCATIONS (DESIGNED BY D/B SUBCONTRACTOR). GENERAL CONTRACTOR SHALL HOLD A COORDINATION MEETING BETWEEN THESE SUBS W/ OWNER'S REPRESENTATIVE.

- REFLECTED CEILING PLAN KEYED NOTES:
- C1

CONSTRUCT NEW 2x EXTERIOR WALL (TRIANGULAR SHAPED) ON TOP OF EXISTING TOP-PLATE IN ORDER TO EXTEND THE WALL TO THE UNDERSIDE OF THE NEW ROOF FRAMING. STUD THICKNESS TO MATCH EXISTING CONSTRUCTION. R/T EXTERIOR ELEVATIONS
- C2

R/T STRUCTURAL DRAWINGS FOR NEW ROOF FRAMING
- C3

CONSTRUCTED NEW 2x INTERIOR WALL (TRIANGULAR SHAPED) ON TOP OF EXISTING WALL IN ORDER TO EXTEND THE WALL TO THE UNDERSIDE OF THE NEW ROOF FRAMING. STUD THICKNESS TO MATCH EXISTING CONSTRUCTION. R/T INTERIOR ELEVATIONS
- C4

NEW CEILING MOUNTED LIGHT FIXTURE: 12"MINI-KA LAVERY SCHOOLHOUSE SEMI FLUSH MOUNT (OR EQUAL), BRUSHED BRONZE W/ OPAL SHADE, MOUNT TIGHT TO CEILING W/ SLOPE CEILING ADAPTER. CONFIRM FIXTURE SELECTION W/ OWNER PRIOR TO PURCHASE. WIRE TO EXISTING LIGHT SWITCH
- C5

INSTALL NEW 5/8" DRYWALL (DO NOT INSTALL VAPOR BARRIER), OVER SLOPED ROOF FRAMING. PRIME AND PAINT TO MATCH CEILING COLOR IN BEDROOM 200
- C6

FILL ALL STUD CAVITIES IN THE WORK AREA (INCLUDING IN BALLOON FRAMING BETWEEN FIRST AND SECOND FLOOR) WITH NEW FIBERGLASS BATT INSULATION
- C7

PROVIDE 4 MIL VAPOR BARRIER ON INTERIOR OF THIS STUD WALL
- C8

R/T STRUCTURAL DRAWINGS AND INTERIOR ELEVATIONS FOR ROUGH-FRAMING INCLUDING STUD INFILL, LINTELS, AND SILLS
- C9

REWORK EXISTING WOOD SIDING AND SHEATHING AS NECESSARY IN THE AREA ABOVE THE DEMO'D CEILING ELEVATION TO PREPARE FOR NEW FINISH.
- C10

INSTALL SALVAGED WOOD T&G BOARDS IN THE TRIANGULAR AREA ABOVE THE EXISTING WALL FINISH. ALIGN THE REINSTALLED BOARDS WITH THE EXISTING BOARDS BELOW. PROVIDE AND INSTALL A 1/4" TRIM PIECE AT THE BUTT-JOINT BETWEEN THE EXISTING AND REINSTALLED BOARDS. STAIN AND POLYURETHANE THE TRIM BOARD TO MATCH THE WALL FINISH. R/T INTERIOR ELEVATIONS
- C11

INSTALL NEW 1x2 TRIM AT WALL-CEILING INTERSECTION. STAIN AND POLYURETHANE TO MATCH EXISTING WALL BOARDS
- C12

INSTALL NEW WOOD PANEL-SHEATHING (OSB OR PLY) OVER EXISTING STUDS TO ALIGN OUTSIDE FACE OF SHEATHING WITH EXISTING SHEATHING BOARDS ABOVE, PROVIDE 1/8" SHEATHING OR SHIM AS NECESSARY (EXISTING SHEATHING BOARDS ARE 7/8" +/- THICK)
- C13

INSTALL NEW 3" AND 1-1/2" EXPOSURE T&G VERTICAL WOOD FINISH-BOARDS TO MATCH EXISTING. STAGGER 3" AND 1-1/2" BOARDS TO MATCH EXISTING LAYOUT. EXTEND BOARDS ALL THE WAY TO NEW ROOF. PROVIDE 1/4" TRIM BOARD ALONG SOUTH WALL AT SAME ELEVATION AS TRIANGULAR INFILL AREAS. STAIN AND POLYURETHANE NEW WALL FINISH BOARDS AND TRIM BOARDS TO MATCH EXISTING FINISHES AS CLOSE AS POSSIBLE
- C14

RECONFIGURE EXISTING ELECTRICAL DISTRIBUTION TO RECONNECT ALL EXISTING ELECTRICAL COMPONENTS DISTURBED BY DEMOLITION
- C15

PROTECT EXISTING CONSTRUCTION SCHEDULED TO REMAIN AND EXISTING INTERIOR FINISHES FROM DAMAGE WHILE THE BUILDING IS OPEN TO THE WEATHER
- C16

REMOVE OLD WOOD CLAP-BOARD SIDING THAT IS ABOVE THE DEMO'D CEILING LINE IN AREA WHERE NEW ROOF-RAFTER LEDGER-BOARD WILL BE ATTACHED. SALVAGE SIDING FOR POTENTIAL REUSE
- C17

REMOVE REMAINING BLOW-IN INSULATION IN PREPARATION FOR INSTALLATION OF NEW INSULATION
- C18

DEMO EXISTING LIGHT FIXTURES
- C19

ALL EXISTING ELECTRICAL FIXTURES NOT SCHEDULED FOR DEMOLITION SHOULD BE RETAINED AND OPERATIONAL
- C20

EXISTING LIGHT SWITCH TO REMAIN, RECIRCUIT AND RECONNECTED TO NEW CEILING-MOUNTED LIGHTS
- C21

EXISTING WALL SPEAKER TO REMAIN, RE-WIRE AS NECESSARY TO CONCEAL WIRING IN WALL/CEILING CONSTRUCTION
- C22

FINISH NEW DRYWALL INTO EXISTING CEILING AND WALL FINISHES AT EDGES
- C23

REPAINT ALL NEW NORTH WALL CONSTRUCTION AND SLOPED CEILINGS AND TRIM IN AREA OF WORK. ALL COLORS TO MATCH EXISTING

NOTES

5

KEYED NOTES

4

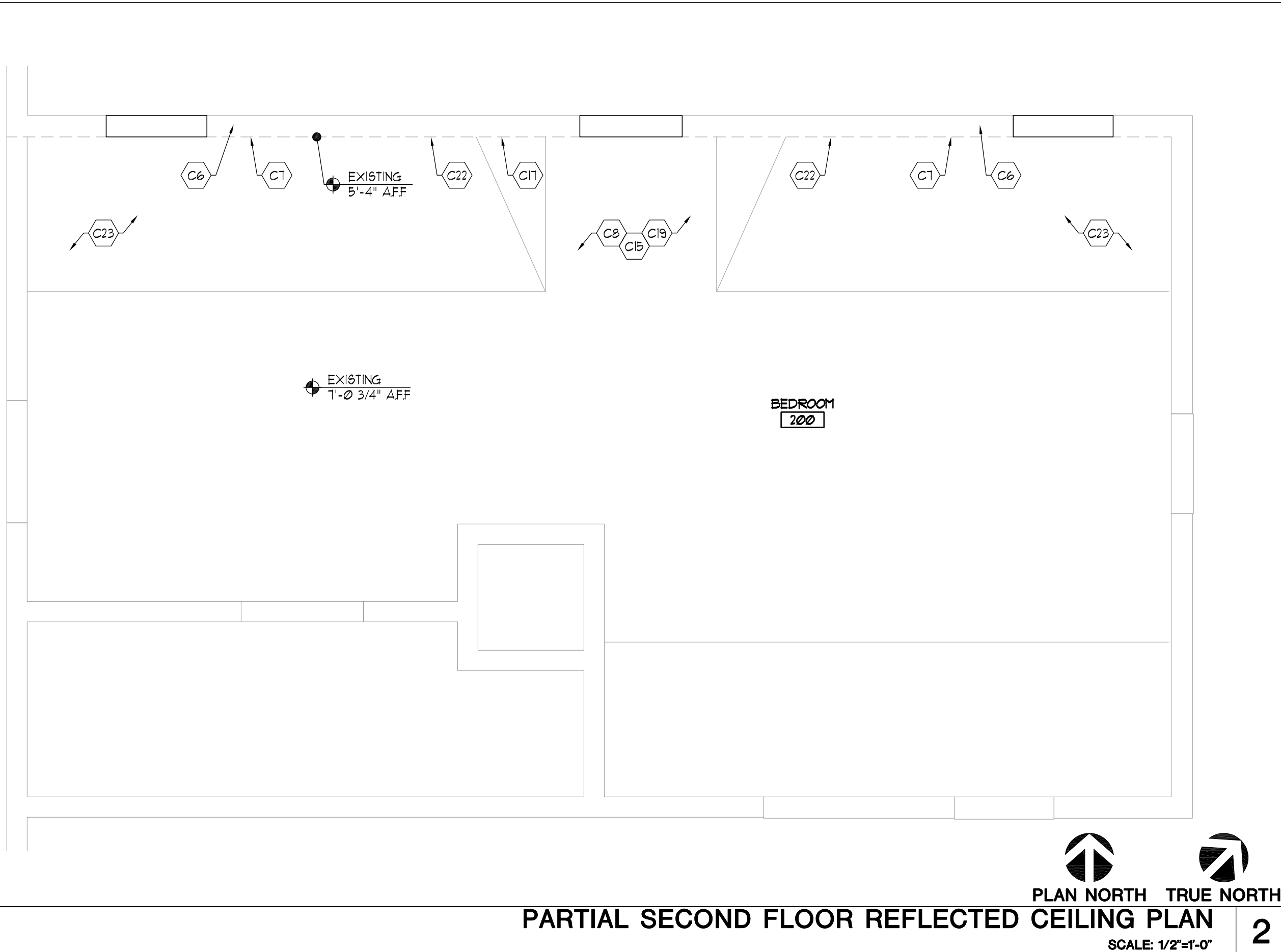
A WINDOW SCHEDULE									
TYPE	LOCATION	INTERIOR / EXTERIOR	SIZE		TEMPERED	FRAME	MANUF.	REMARKS	
			W x H	THK					
A	BEDROOM	EXTERIOR	2'-0 1/2" W x 2'-0 1/2" H		NO	CLAD WD	ANDERSON		
B	BEDROOM	EXTERIOR	2'-1 1/8" W x 3'-7 1/2" H		NO		A-400 WOODWRIGHT		

GENERAL WINDOW NOTES:
1. R/T 4/A5.1 FOR ADDITIONAL INFORMATION

ROOM FINISH SCHEDULE																		
ROOM #	ROOM NAME	FLOOR		WALL								MILLWORK			CEILING			REMARKS
				NORTH		SOUTH		EAST		WEST								
		FINISH	BASE	MATL	FINISH	MATL	FINISH	MATL	FINISH	MATL	FINISH	BASE	CT. TOP	UPPER	MATL	FINISH	HEIGHT	
100	ENTRY	EXIST	MATCH	EXIST	EXIST	WD-1	MATCH	EXIST	EXIST	EXIST	EXIST				GWB-1	PT	VARIES	
101	SUNROOM	EXIST	MATCH	EXIST	EXIST	WD-1	MATCH	EXIST	EXIST	EXIST	EXIST				GWB-1	PT	VARIES	
200	BEDROOM	EXIST	REUSE	GWB-1	PT	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	PT	EXIST	
ADDITIONAL NOTES: A. WHERE MARKED, WALL FINISH VARIES. R/T INTERIOR ELEVATIONS FOR FINISHES AND LOCATIONS..																		

SCHEDULES

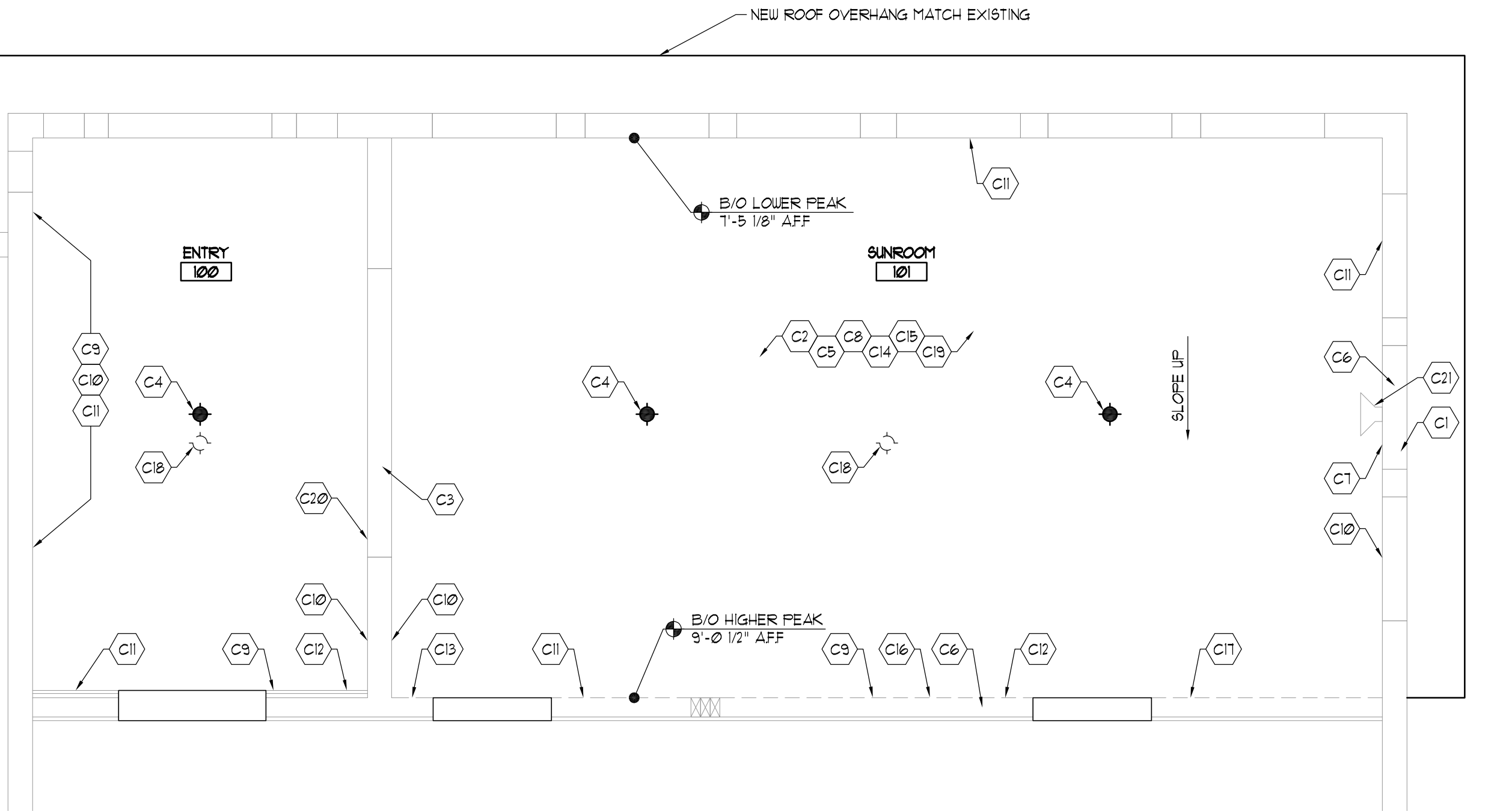
3



PARTIAL SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/2"=1'-0"

2



PARTIAL FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/2"=1'-0"

1

FULL SIZE PRINT = 24" x 36" SHEET

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REV. #

REV. DATE

DESCRIPTION

07-19-23	RELEASED FOR CONSTRUCTION

Project:

Repair for:

New Berlin House

Sprenkel House

19885 W National Ave

New Berlin, WI 53146

PERSPECTIVE DESIGN, INC.

11525 W. North Avenue

Wauwatosa, WI 53226

Tel (414) 302-1780 Fax (414) 302-1781

Drawing Title:

PARTIAL REFLECTED CEILING PLANS, NOTES, KEYED NOTES, AND SCHEDULES

Date:

07/19/23

Scale:

NOTED

Drawn:

CHI

Job:

23-047

Sheet:

A1.3

CONSTRUCTION SET
USE NO OTHER

DEMO ELEVATION KEYED NOTES:

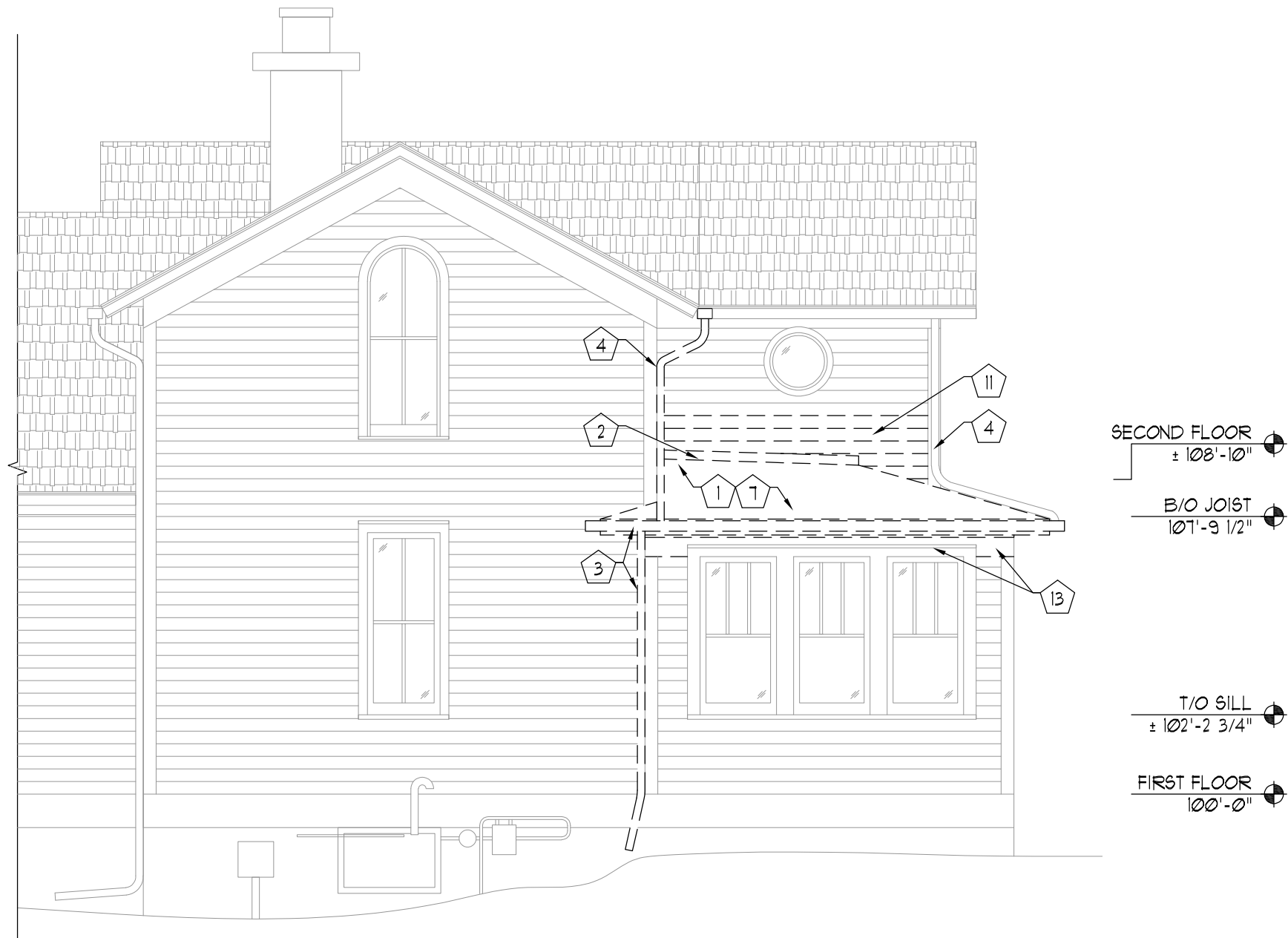
- 1 REMOVE EXISTING ASPHALT SHINGLES
- 2 REMOVE EXISTING MEMBRANE ROOFING
- 3 REMOVE EXISTING GUTTERS AND DOWNSPOUTS AND SALVAGE TO REUSE
- 4 RECONFIGURE SECOND FLOOR ROOF DOWNSPOUTS AS NECESSARY
- 5 REMOVE EXISTING FASCIA AS NECESSARY IN ORDER TO REPAIR ANIMAL DAMAGE, SALVAGE FOR REUSE
- 6 REMOVE EXISTING GUTTERS IN ORDER TO ACCOMMODATE NEW WORK, SALVAGE FOR REINSTALLATION
- 7 REMOVE EXISTING ROOF AND CEILING FRAMING IN THE AREA OF THE EXISTING ENTRY AND SUNROOM
- 8 REMOVE EXISTING STORM WINDOWS AND SALVAGE FOR RECONSTRUCTION AND USE
- 9 REMOVE THREE EXISTING WINDOWS AND EXTERIOR CASINGS TO EXTENT NECESSARY FOR NEW WINDOW INSTALLATION. SALVAGE CASINGS FOR REUSE
- 10 REMOVE EXISTING FRAMED BOX AND REPAIR WALL AND SIDING AS NECESSARY
- 11 REMOVE EXISTING CLAP-BOARD SIDING TO HEIGHT OF NEW WINDOW SILL (12" MIN). SALVAGE FOR POSSIBLE REUSE
- 12 REMOVE EXISTING CLAP-BOARD SIDING TO ACCOMMODATE NEW ROOF CONFIGURATION (12" MIN). SALVAGE FOR POSSIBLE REUSE
- 13 EXISTING FRIEZE-BOARD AND WINDOW HEAD CASING TO REMAIN IF POSSIBLE

NEW ELEVATION KEYED NOTES:

- 1 CONSTRUCT NEW 2x EXTERIOR WALL (TRIANGULAR SHAPED) ON TOP OF EXISTING TOP-PLATE IN ORDER TO EXTEND THE WALL TO THE UNDERSIDE OF THE NEW ROOF FRAMING. STUD THICKNESS TO MATCH EXISTING CONSTRUCTION. R/T EXTERIOR ELEVATIONS
- 2 R/T STRUCTURAL DRAWINGS FOR NEW ROOF FRAMING
- 3 PROTECT EXISTING CONSTRUCTION SCHEDULED TO REMAIN WHILE THE BUILDING IS OPEN TO THE WEATHER
- 4 ALL EXISTING ELECTRICAL FIXTURES NOT SCHEDULED FOR DEMOLITION SHOULD BE RETAINED AND OPERATIONAL
- 5 NEW ANDERSON 400-SERIES WOODRIGHT WINDOW (OR EQUAL) W/ LOW-E CLEAR INSULATING GLASS W/ FULL-DIVIDED LIGHT GRILLE (SPECIAL ORDER W/ SINGLE VERTICAL MUNTIN) WITH JAMB EXTENSIONS AS NECESSARY TO BE FLUSH WITH THE NEW INTERIOR WALL FINISH. INTERIOR COLOR TO BE WHITE. EXTERIOR COLOR TO BE SANDTONE. EXTERIOR CASING TO USE EXISTING SALVAGED EXTERIOR MATERIAL (IF NECESSARY); REPLACE DAMAGED MATERIALS WITH NEW. ONE DOUBLE-HUNG AND TWO FIXED SASH WINDOWS
- 6 RECONSTRUCT EXTERIOR WINDOW CASING AS NECESSARY AROUND NEW WINDOW FROM SALVAGED MATERIAL FROM WINDOW DEMOLITION. SCRAPE, PRIME AND PAINT ALL SURFACES PRIOR TO INSTALLATION TO MATCH EXISTING
- 7 RECONSTRUCT STORM WINDOWS TO FIT NEW WINDOW SIZES. IF STORM WINDOW IS MISSING, CONSTRUCT NEW STORM WINDOW TO MATCH EXISTING. GLASS TO BE SINGLE-PANE CLEAR GLASS. SCRAPE, PRIME AND PAINT ALL SURFACES TO MATCH EXISTING STORM WINDOWS. IF STORM WINDOW RETENTION HARDWARE IS DAMAGED OR MISSING, REPLACE WITH LIKE KIND MATCHING HARDWARE
- 8 WATERPROOF WINDOW SILL ROUGH-OPENING WITH BURESILL FLASHING WITH END-DAMS AND MANUFACTURED CORNERS (OR EQUAL)
- 9 NEW PAC-CLAD SNAP-CLAD (OR EQUAL) STANDING SEAM METAL ROOFING, OVER ICE-AND-WATER SHIELD, OVER WOOD SHEATHING, OVER NEW ROOF RAFTER FRAMING. ROOFING COLOR TO BE MEDIUM BRONZE
- 10 NEW PAC-CLAD ROOF EDGE GABLE FLASHING AND EAVE FLASHING - COLOR TO BE MEDIUM BRONZE. REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS ALONG LOW EAVE EDGE.
- 11 REPAIR FASCIA AND SOFFITS WITH LIKE MATERIALS IN THE AREA OF THE ANIMAL DAMAGE. PRIME AND PAINT ALL SIDES OF NEW AND EXISTING WOOD USED FOR THE REPAIR. EXTERIOR PAINT COLOR TO MATCH EXISTING BUILDING
- 12 REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS AFTER FASCIA REPAIR
- 13 RECONFIGURE EXISTING SECOND FLOOR DOWN-SPOUTS FOR NEW ROOF CONFIGURATION
- 14 EXISTING FRIEZE-BOARD MAY NOT BE TALL ENOUGH AFTER NEW ROOF FRAMING IS INSTALLED. IF NECESSARY, ADD NEW MATCHING MATERIALS TO THE TOP OF THE EXISTING FRIEZE-BOARD TO EXTEND TO THE BOTTOM OF THE NEW SOFFIT. PRIME AND PAINT ALL SIDES TO MATCH EXISTING
- 15 EXTEND ICE-AND-WATER SHIELD UP EXTERIOR WALL SHEATHING IN ALL AREAS WHERE CLAP-BOARD SIDING WAS REMOVED (MIN 12" UP THE WALL FACE)
- 16 INSTALL NEW WOOD CLAP-BOARD SIDING OVER ICE-AND-WATER SHIELD. USE SALVAGED MATERIAL IF POSSIBLE. OTHERWISE PROVIDE NEW MATCHING MATERIALS. SCRAPE, PRIME AND PAINT ALL SIDES OF SIDING IN AREA OF WORK TO MATCH EXISTING
- 17 SCRAPE, PRIME AND REPAINT ENTIRE AREA OF HOUSE, INCLUDING SIDING AND TRIM, ON THIS WALL PLANE FROM CORNER-BOARD TO CORNER. COLORS TO MATCH EXISTING
- 18 SCRAPE, PRIME AND TOUCH-UP PAINT IN THESE AREAS AS NECESSARY TO BLEND INTO EXISTING SIDING
- 19 NEW 1x8 WOOD FASCIA TO MATCH DEMO'D FASCIA, OVER 2x6 PRESSURE-TREATED SUB-FASCIA. PRIME AND PAINT ALL SIDES BEFORE INSTALLATION
- 20 3/4" X 2-1/2" (ACTUAL) V-GROOVE T&G WOOD SOFFIT BOARDS, INSTALLED LENGTHWISE, OVER 2x SOFFIT FRAMING. PRIME AND PAINT ALL SIDES OF SOFFIT BOARDS TO MATCH PRIOR TO INSTALLATION
- 21 5/4x8 WOOD FRIEZE BOARD WITH 1/4-ROUND BEAD AT SOFFIT-TO-WALL JOINT TO MATCH EXISTING. PRIME AND PAINT ALL SURFACES PRIOR TO INSTALLATION
- 22 EXTEND ICE-AND-WATER SHIELD UP WALL (TO WINDOW SILL, 12" MIN). PROVIDE SNAP-CLAD (OR EQUAL) HEAD-WALL FLASHING AND Z-CLOSURE. INSTALL CLAP-BOARD SIDING OVER HEAD-WALL FLASHING. REUSE SALVAGED SIDING IF POSSIBLE. OTHERWISE PROVIDE NEW WOOD SIDING TO MATCH EXISTING. PRIME AND PAINT ALL SIDES BEFORE INSTALLATION
- 23 EXTEND ICE-AND-WATER SHIELD UP WALL (TO WINDOW SILL, 12" MIN). PROVIDE SNAP-CLAD (OR EQUAL) RAKE FLASHING AND FORMED UP-TURN. INSTALL CLAP-BOARD SIDING OVER RAKE FLASHING. REUSE SALVAGED SIDING IF POSSIBLE. OTHERWISE PROVIDE NEW WOOD SIDING TO MATCH EXISTING. PRIME AND PAINT ALL SIDES BEFORE INSTALLATION
- 24 PROVIDE BRAKE-METAL FLASHING WITH HEMMED EDGE, FROM BEHIND SIDING AND OVER THE TOP OF EXTERIOR WINDOW HEAD CASING AND FRIEZE BOARDS. COLOR TO MATCH SIDING
- 25 PATCH, REPAIR AND PAINT CORNER-BOARDS AND FRIEZE-BOARDS WHERE IMPACTED BY NEW CONSTRUCTION. PAINT TO MATCH
- 26 NEW FIRST FLOOR DOWN-SPOUTS TO MATCH NEW GUTTER CONFIGURATION
- 27 RE-CONFIGURE EXISTING FIRST FLOOR DOWN-SPOUTS FOR NEW GUTTER CONFIGURATION

KEYED NOTES

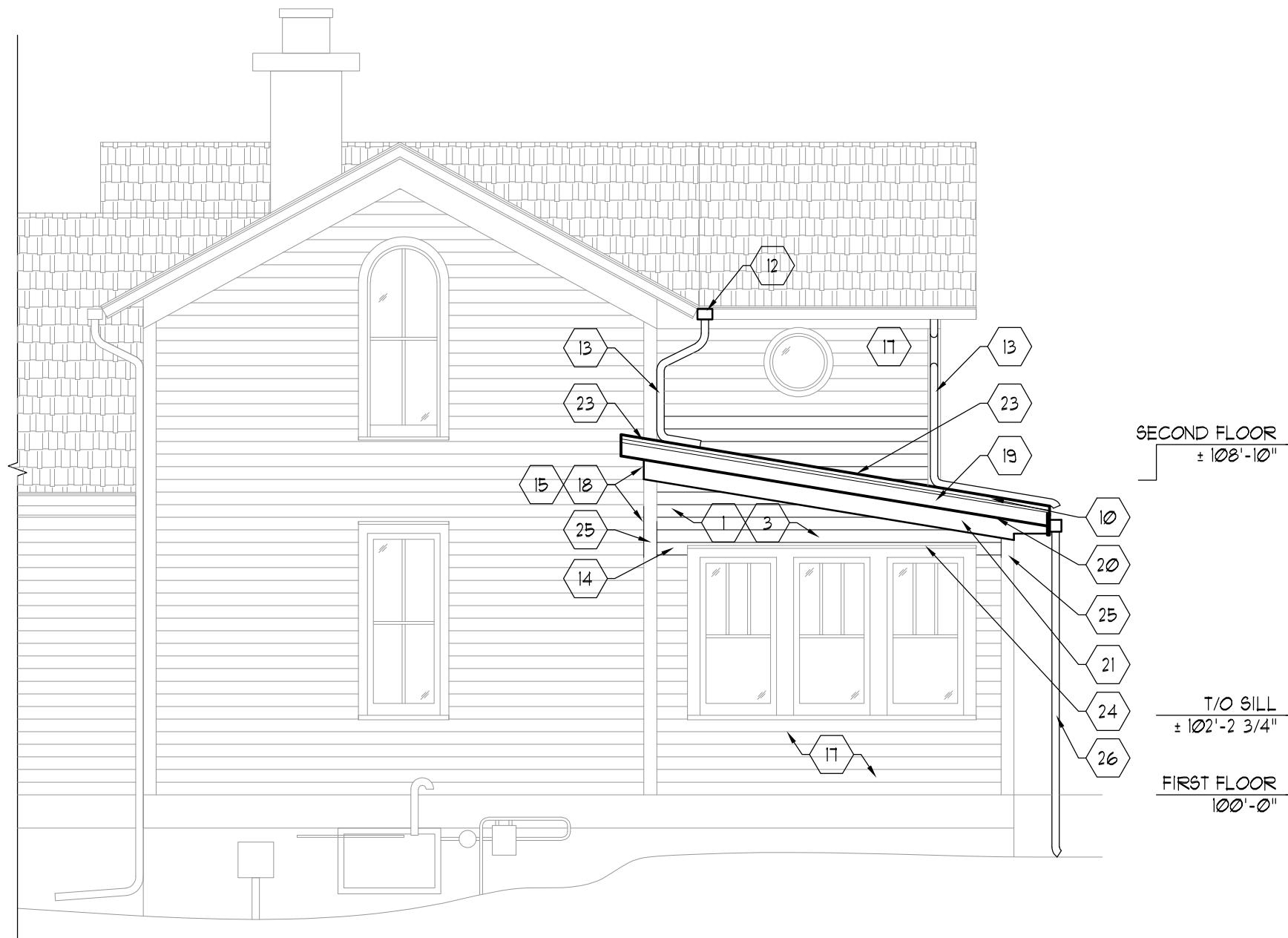
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DEMO PARTIAL EAST ELEVATION

SCALE: 1/4"=1'-0"

4



PARTIAL EAST ELEVATION

SCALE: 1/4"=1'-0"

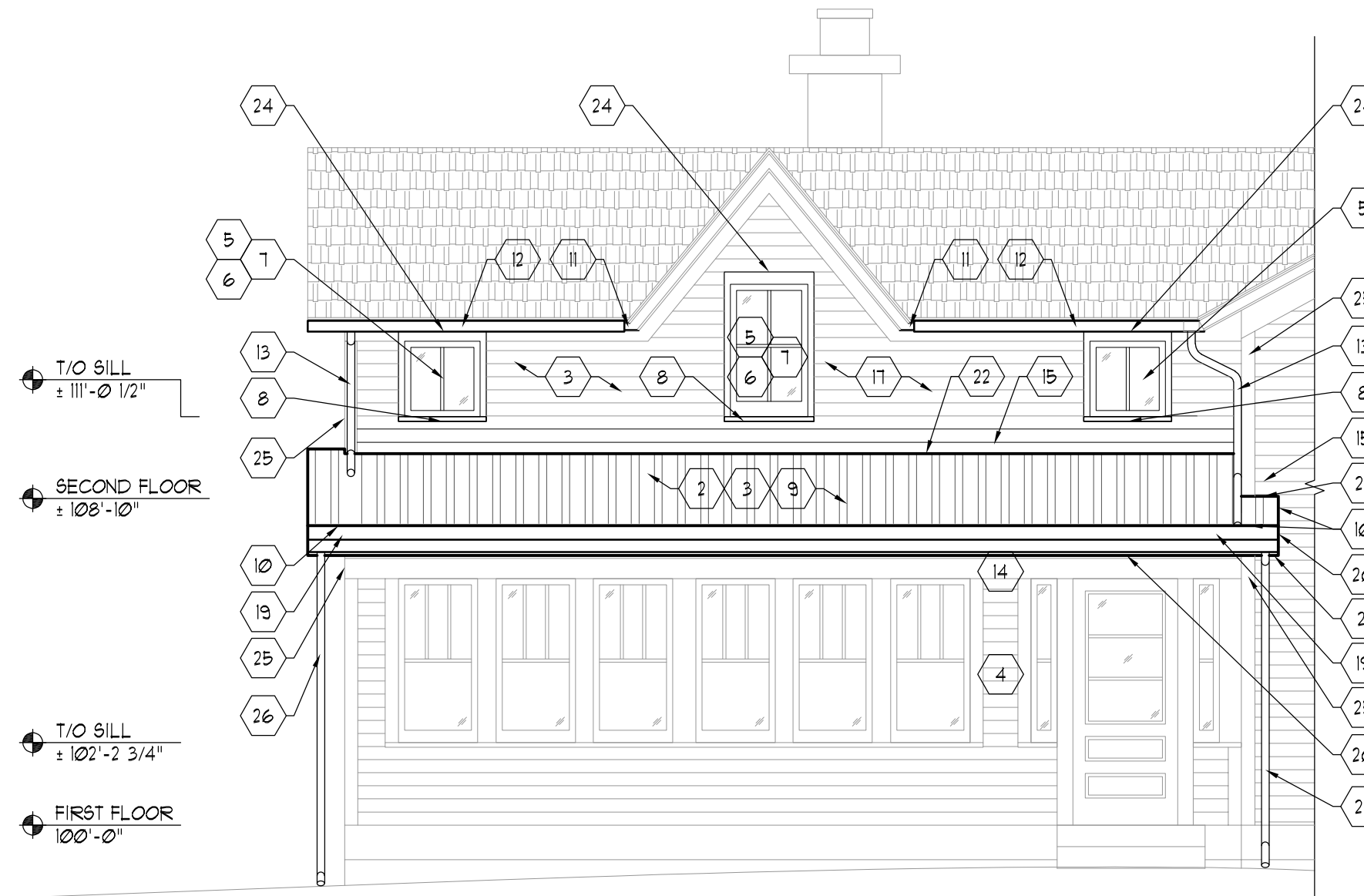
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DEMO PARTIAL NORTH ELEVATION

SCALE: 1/4"=1'-0"

2



PARTIAL NORTH ELEVATION

SCALE: 1/4"=1'-0"

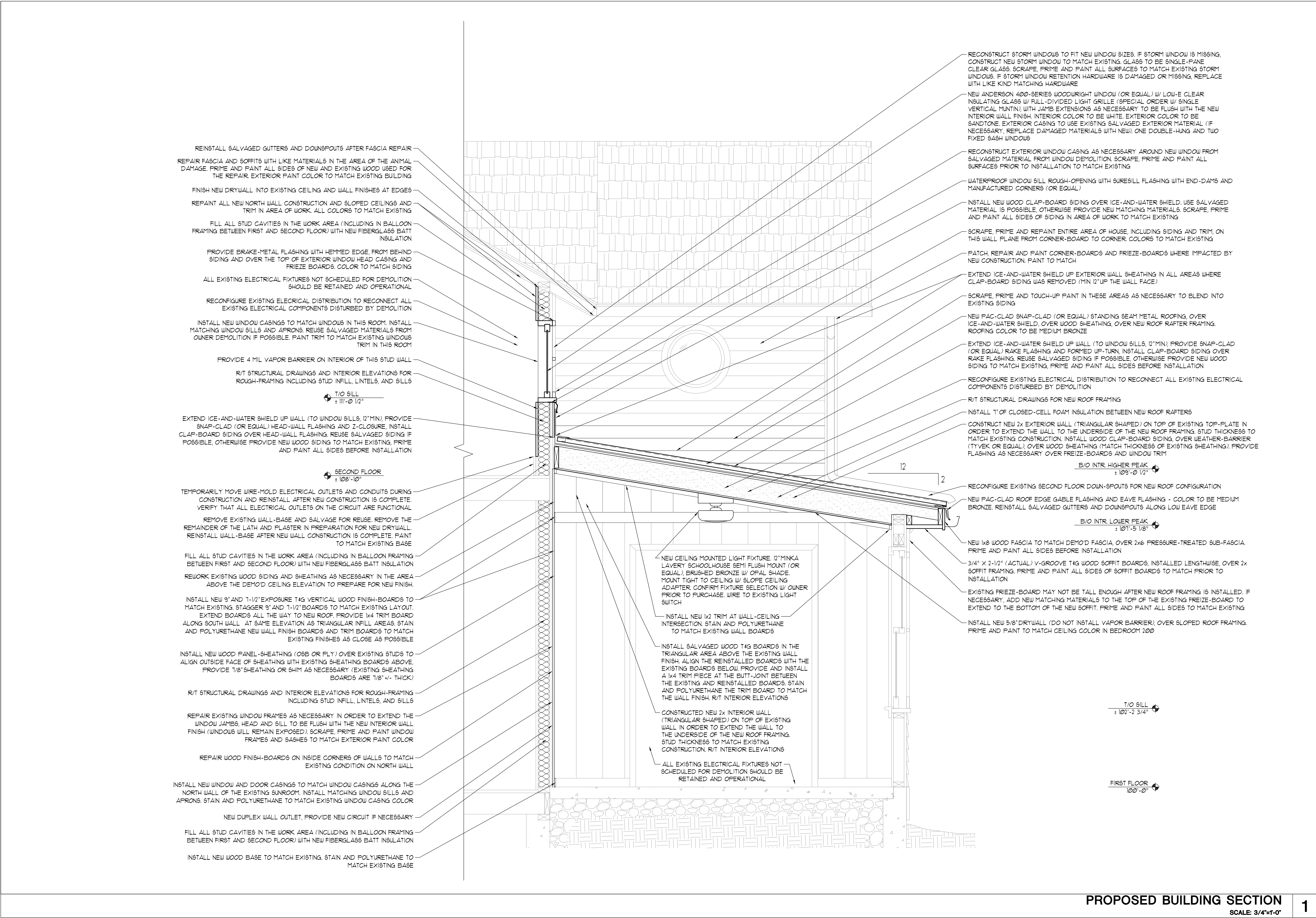
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FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION	REV. BY:
01	19-23	RELEASED FOR CONSTRUCTION	
Project:			
Repair for: New Berlin Sprenkel House 19885 W National Ave New Berlin, WI 53146			
PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title: EXTERIOR ELEVATIONS			
Date: 07/19/23			
Scale: NOTED			
Drawn: CHI			
Job: 23-047			
Sheet: A2.1			

CONSTRUCTION SET
USE NO OTHER



PROPOSED BUILDING SECTION
SCALE: 3/4"=1'-0"

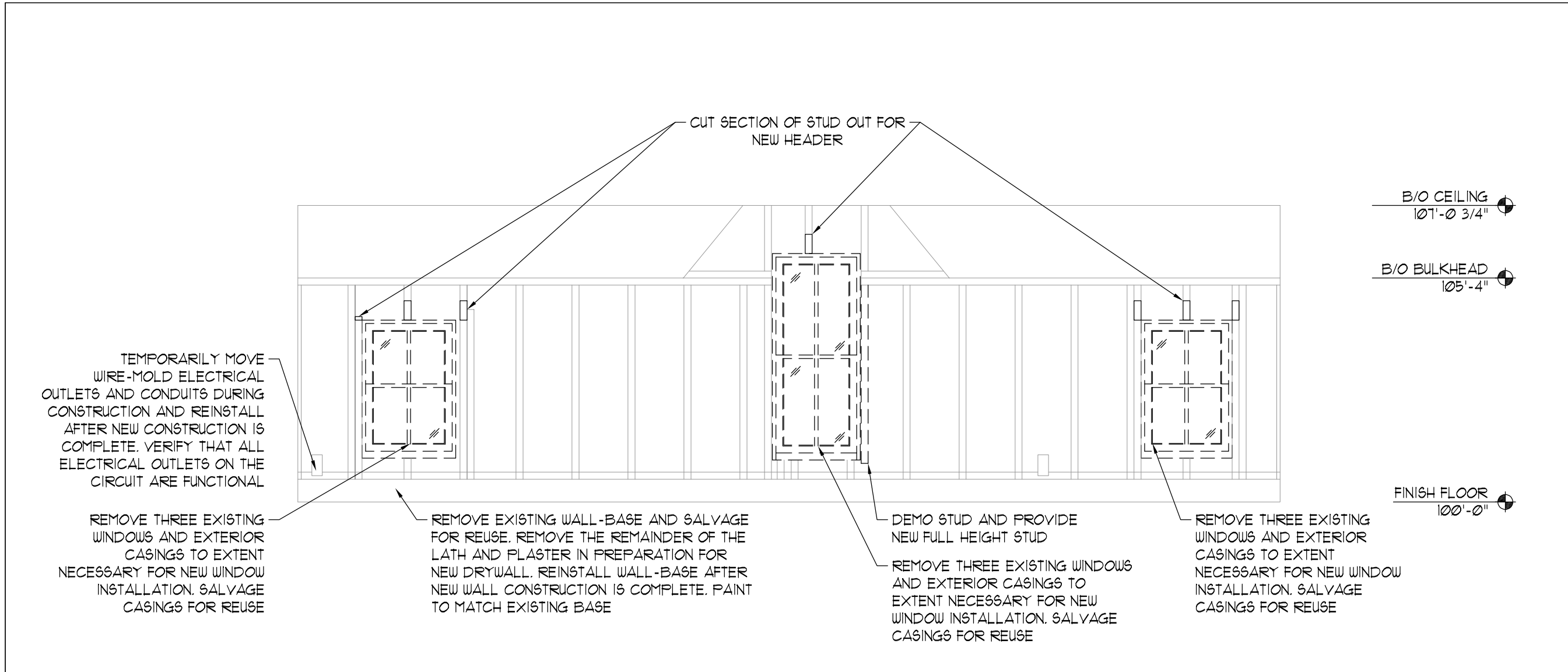
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REV. #	REV. DATE	DESCRIPTION	REV. BY:
01	10-19-23	RELEASED FOR CONSTRUCTION	
Project:			
Repair for: New Berlin Sprengel House 19885 W National Ave New Berlin, WI 53146			
PERSPECTIVE DESIGN, INC. 11325 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1781			
Drawing Title:			
BUILDING SECTION			
THIS BOX IS 1/2" x 1/2"			
Date: 07/19/23			
Scale: NOTED			
Drawn: CHI			
Job: 23-047			
Sheet:			
A3.1			

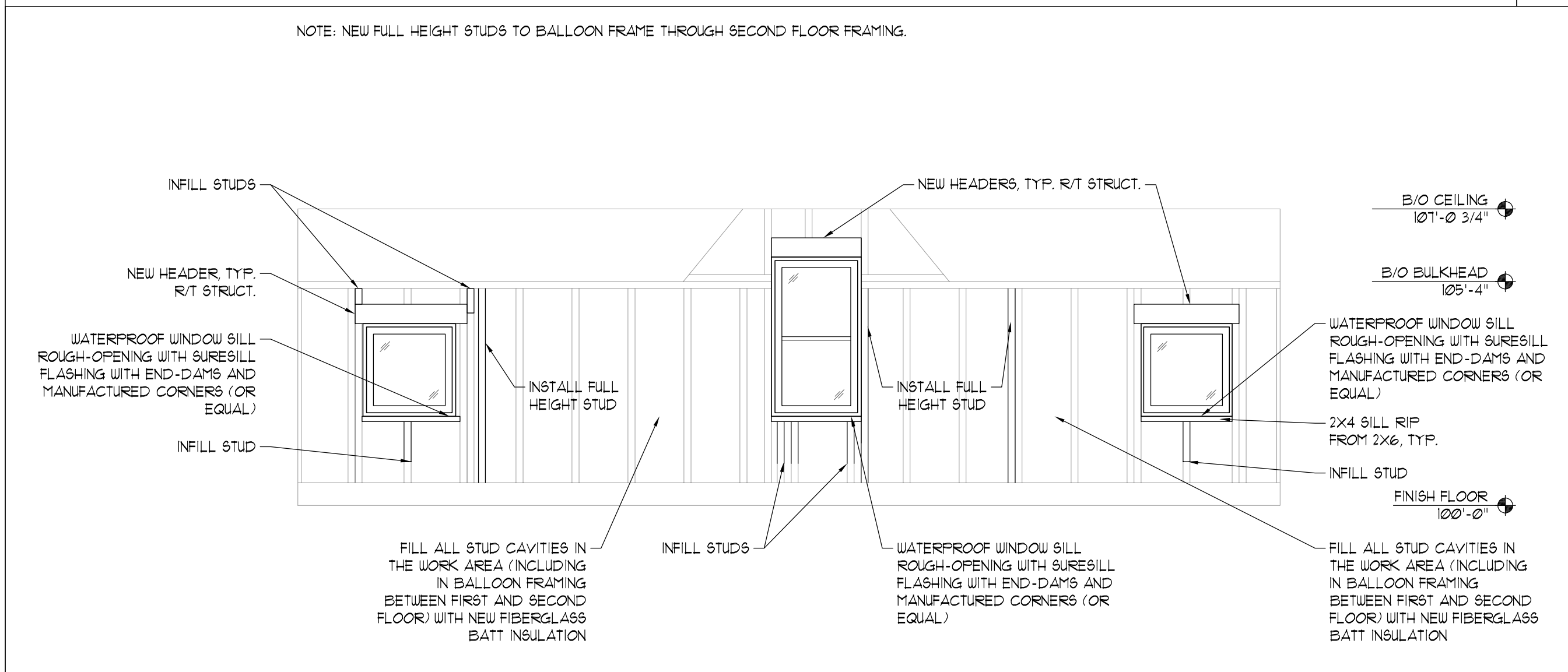
CONSTRUCTION SET
USE NO OTHER



DEMO SECOND FLOOR - NORTH INTERIOR ELEVATION

SCALE: 3/8"=1'-0"

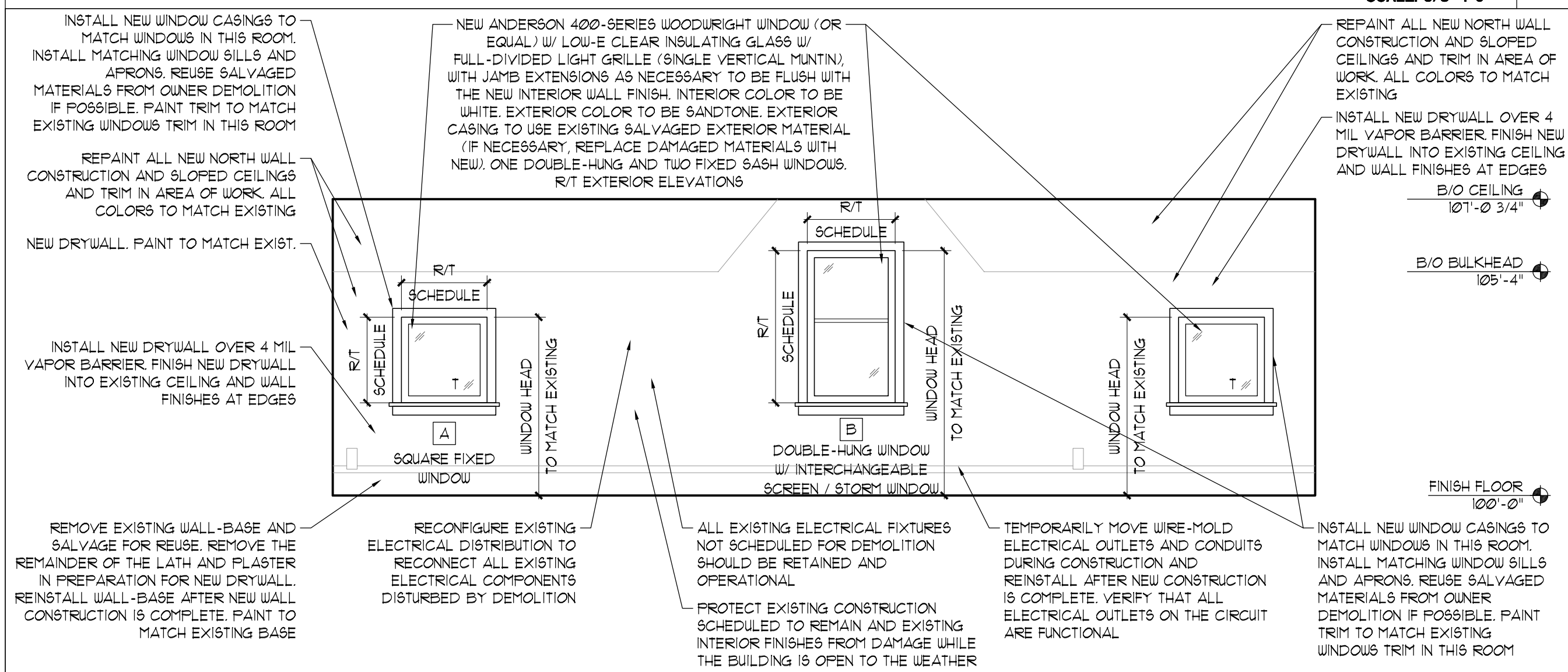
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SECOND FLOOR - NORTH INTERIOR ELEVATION

SCALE: 3/8"=1'-0"

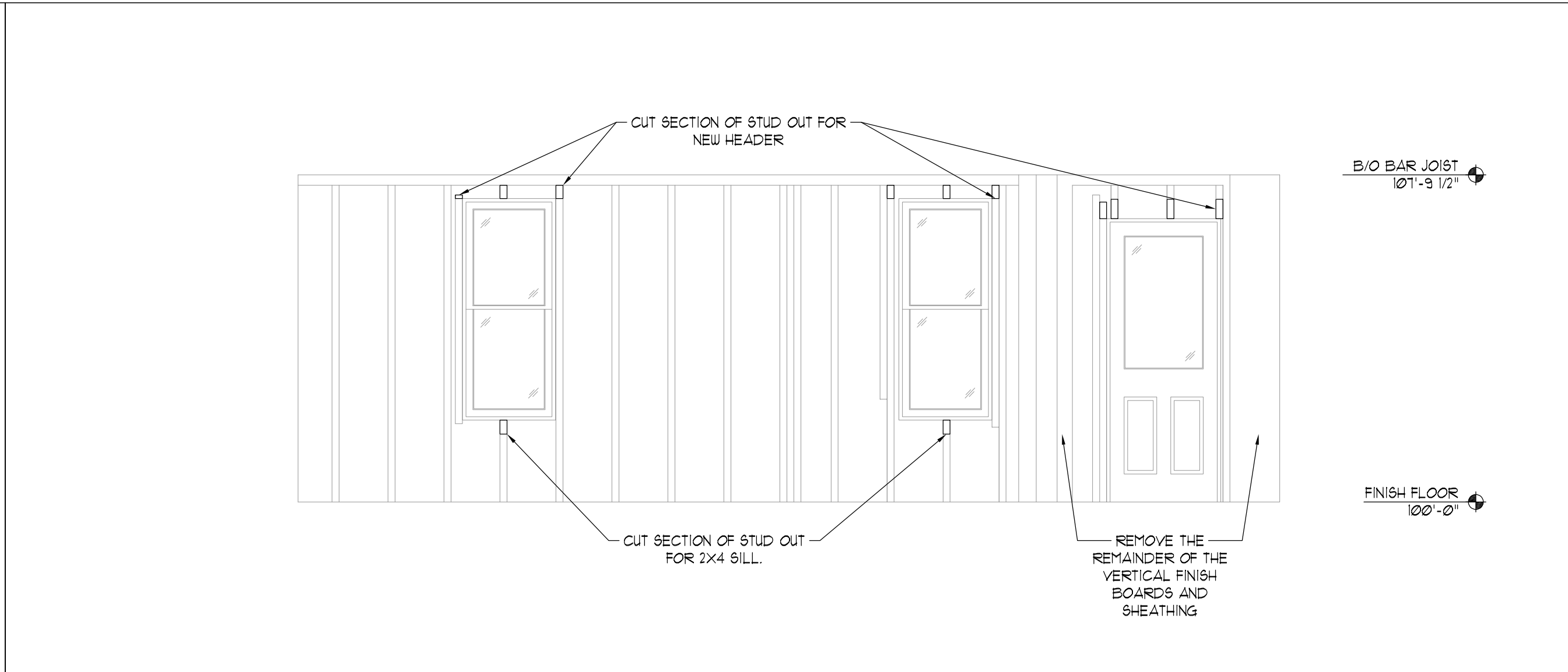
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PROPOSED SECOND FLOOR - NORTH INTERIOR ELEVATION AND WINDOW TYPES

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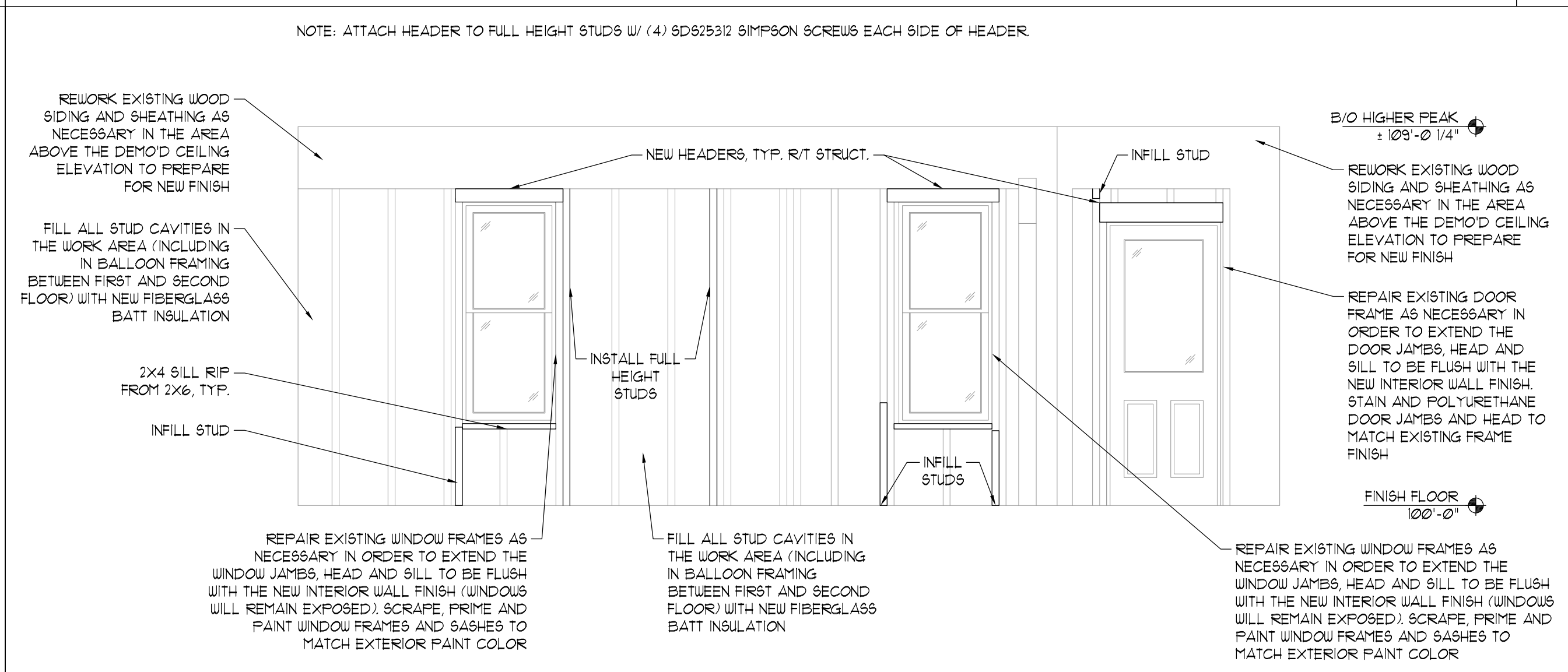
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DEMMO FIRST FLOOR - SOUTH INTERIOR ELEVATION

SCALE: 3/8"=1'-0"

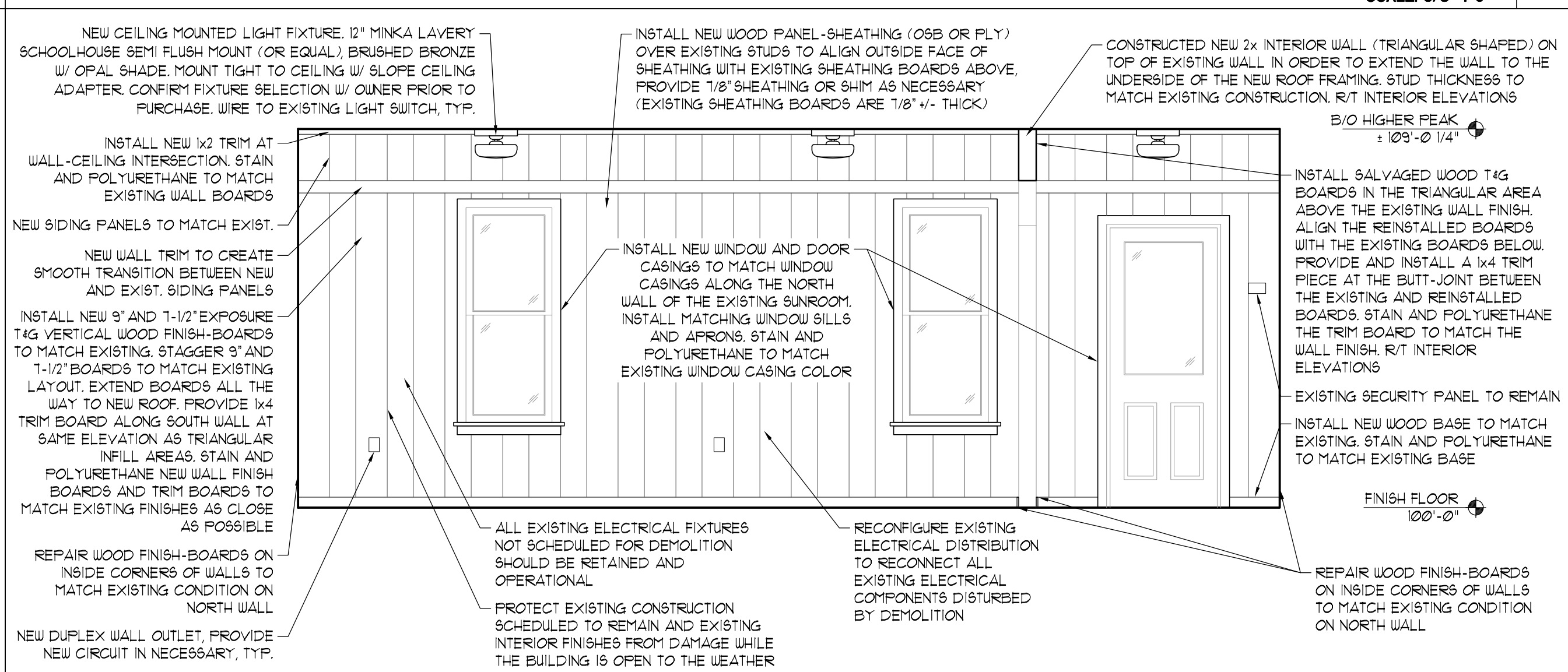
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FIRST FLOOR - SOUTH INTERIOR ELEVATION

SCALE: 3/8"=1'-0"

2



PROPOSED FIRST FLOOR - SOUTH INTERIOR ELEVATION

SCALE: 3/8"=1'-0"

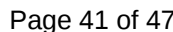
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REV. #	REV. DATE	DESCRIPTION	REV. BY:
1	07-19-23	RELEASED FOR CONSTRUCTION	
2			
3			
4			
5			
6			
7			
8			
9			
10			
Project:			
Repair for: New Berlin Sprenkel House 19885 W National Ave New Berlin, WI 53146			
PERSPECTIVE DESIGN, INC. 11325 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1751			
Drawing Title: INTERIOR ELEVATIONS AND WINDOW TYPES			
Date: 07/19/23			
Scale: NOTED			
Drawn: CHI			
Job: 23-047			
Sheet:			
A5.1			

CONSTRUCTION SET
USE NO OTHER



New Berlin Historic Park – Sprengel House Repairs
Project #BG2023 - 6
19855 W. National Ave., New Berlin, WI 53146

BID FORM

1. **GENERAL DIRECTIONS TO BIDDERS**

- A. All Bids must be submitted on these standard form sheets inclusive without modification. Fill out all blanks on the Bid Form by typing or writing in ink. Sign in ink. Erasures or other changes in Bid must be explained or noted over signature of Bidder. Enter Bid amount in both written words and printed figures in spaces provided on Bid Form. In case of conflict, amount given in written words will govern.
- B. Base Bid(s) must be for Work bid in strict accordance with the Drawings and Specifications. **INCLUDE BOND COSTS IN THE BASE BID(S)**. Bid all requested Alternates. If no change to the Base Bid applies, enter "No Change."
- C. Bid Forms containing qualifications, conditions, omissions, unexplained erasures, alterations or items not called for in Bid Form or other irregularities of any kind may be rejected at the discretion of the Owner.
- D. Bidders shall examine the provisions of the Project Manual thoroughly to ensure compliance with all bidding requirements.
- E. Bidders shall only submit the Bid Forms included in the Project Manual – DO NOT return the Project Manual.
- F. Bidders shall ensure that all items in the Bid Form such as Work Schedule, Bidders Official Title and Signature, and Proof of Responsibility are properly executed.
- G. A bid must be accompanied by a bid security made payable to Owner in an amount of 10% of bidder's maximum bid price (determined by adding the base bid and all alternates), and in the form of a certified check, bank money order or a bid bond issued by a surety acceptable to the City. The bid security will be retained by the City until the City awards the contract to such bidder and such bidder has executed the contract documents and met the other conditions of the Notice of Award, where upon the bid security will be released. If the successful bidder fails to execute and deliver the contract documents and furnish the requirements contract security within 15 days after the Notice of Award, the Owner may consider the bidder to be in default and annul the Notice of Award and the bid security of that bidder will be forfeited. Such forfeiture shall be the Owner's exclusive remedy if the bidder defaults.
- H. The Bidder shall be required to identify any subcontractor, suppliers, individuals or entities to be submitted to the Owner 14 days in advance of the

City's acceptance of the agreement. The apparent successful bidder shall, within 5 days after the bid opening, submit to the Owner a list of all such subcontractors, suppliers, individuals or other entities that will be utilized in the completion of the work. An experience statement with pertinent information regarding similar projects and other evidence of qualification for the work that the subcontractor will be performing is required. If the Owner, after review of such information, determines, in its sole discretion, that such subcontractor, supplier, individual or entity is not satisfactory, the Owner, prior to the Notice of Award, shall give notice to the successful bidder requiring that an acceptable substitute be provided. In the event there is any adjustment to the cost as a result of said substitution, Owner may take that into consideration in making the contract award. In the event that the contractor fails to make the substitution requested, the Owner may award the contract to the next lowest responsive responsible bidder.

- I. Bids not conforming to the above directions may be declared irregular and are subject to disqualification at the discretion of the Owner.

THE BIDDER HEREBY AGREES THAT THIS BID IS INVALID WITHOUT BIDDER'S SIGNATURE APPEARING IN THE SIGNATURE BLOCK ON THE LAST PAGE OF THIS BID FORM.

2. BID SUBMITTAL PROCEDURE

In submitting a Bid, the Bidder represents that:

- He/She thoroughly reviewed and understood the Bidding and Contract Documents and the Bid is made in full accordance with these documents and amendments issued thereto.
- He/She has thoroughly reviewed and understands the Bidding and Contract Documents related to the Work of other portions of the Project, if any, being bid concurrently or presently under construction.
- He/She has thoroughly reviewed informational reports and documents available to him/her, visited the project site, become familiar with actual local conditions under which the Work is to be performed and has correlated his/her evaluations and personal observations with the requirements of the Bidding and Contract Documents.
- The contract for the work, if awarded, will be on the basis of materials and equipment specified or described in the bidding documents, and those or equal or substitute or materials and equipment subsequently approved by the Owner prior to the submittal of bids and identified by addendum. No item of material or equipment will be considered by Owner as an or equal or substitute unless written requests for approval has been submitted by the bidder and has been received by the Owner at least 10 days prior to the date of receipt of bids in the case of a proposed substitute. The burden of proof on the merit of the proposed item is upon the bidder. The Owner's decision of approval or disapproval of a proposed item will be final. If the Owner approves any such proposed items, such approval will be set forth as an addendum issued to all perspective bidders. Bidder shall not rely upon approvals made in any other manner. All prices that Bidder sets forth in this bid shall be based on the presumption that the contractor will furnish the materials and equipment specified or described in the bidding documents as supplemented by any addenda.

- A. After Bid Forms are completed, place one (1) set of signed originals and the Bid Bond in a sealed envelope. Oral, telephonic, e-mailed, or faxed Bids are invalid and will not be considered.
- B. Address the envelope to:
New Berlin Sprengel House Restoration
City Clerks Office
3805 S Casper Dr
New Berlin, WI 53151
- C. Bidders shall affix their name and address to the front upper left-hand corner of the envelope with the words "Sealed Bid Enclosed" written on the outside. Identified in lower left corner should be: Bid number, project name and opening date.

3. BID CLOSING

- A. Bids must be received on or before 9:00 a.m. on September 6, 2023. The Bidder assumes full responsibility for timely delivery at the location designated for receipt of Bids. **Bids received after the time and date for receipt of Bids will be rejected and returned unopened.**

4. BID OPENING

- A. Bids will be publicly read at 9:00 a.m. on September 6, 2023 in the New Berlin City Hall – Common Council Chambers.

(a corporation)

We JOHN BERES BUILDERS INC (a partnership)
n (an individual)
(Cross out inapplicable)
Of 17909 W Lincoln Ave New Berlin, Wi 53146
Street City County State Zip

hereby agree to execute the proposed Contract and to furnish a satisfactory Public Improvement Performance/Labor and Material Payment Bond, in the amount of one hundred percent (100%), and to provide all labor and material required for the construction of the designated Work, for the prices hereinafter set forth, in strict accordance with the Construction Documents released by: **City of New Berlin**, address: 3805 S. Casper Dr, New Berlin, WI dated March 23, 2021.

Including Amendment Nbr(s). 1-2-3 dated 9-1-2023.
9-22-2023
10-18-2023

5. BASE BID

Base Bid includes all work required to complete the Project, including Building Permits, General Conditions, overhead, profit, insurance, bonds, taxes, and all other expenses. Bid Guarantee ten percent (10%) Bid Bond Cost, Public Improvement Performance Bond and Labor and Materials Payment Bond Cost one hundred percent (100 %) for the sum of:

eighty seven thousand, two hundred and Dollars (\$ 87,235.00)
thirty five dollars and no cents

8. SCHEDULE OF VALUES

- A. Submit schedule of standard rates for all personnel, including personnel of subcontractors, involved with project.
- B. Include schedule of standard markups.



New Berlin Dept Public Works

Atten: Josh Radomski

18-Oct-23

New Berlin - Sprengel House

Scope	Contractor	Hourly Rate	Mark-up	Total
Demo	John Beres Builders	\$105.00	10%	\$ 9,432.00
Rough Carpentry	John Beres Builders	\$105.00	10%	\$ 34,806.00
Windows & Storms 2nd Floor	Zuern Lumber	N/A	10%	\$ 2,570.00
Finish Carpentry	John Beres Builders	\$105.00	10%	\$ 19,907.00
Spray foam insulation	Wisconsin Insulation	\$85.00	10%	\$ 3,242.00
Painting & Staining	Weber Brothers Painting	\$85.00	10%	\$ 9,875.00
Roofing	LeFever Roofing	\$98.00	10%	\$ 5,518.00
Electric	Elect-Tech	\$85.00	10%	\$ 1,885.00
Cost:				\$ 87,235.00

Alternates:

Alt #1 Front screen door replace and repair threshold
threshold
door
finishing
Add \$1,562.00

Alt #2 allowance for misc exterior trim and siding
24 hrs labor
\$500.00 materials
Add \$3,044.00

Alt #4 new storm windows at screen porch 9 openings
misc hardware
Add \$5,558.00

Submitted by :

Steve Beres

John Beres Builders Inc.

10. COMMENCEMENT, PROGRESS AND COMPLETION OF WORK

- A. If written Notice of Intent to Award Contract is issued not later than September 13, 2023 with a Project commencement of September 25, 2023, can you complete the Work in compliance with the requirements of the Contract Documents by May 15, 2024, in full cooperation and coordination with other Contractors, if any.
Yes _x No __.

If "No", state additional calendar days required _____.

- B. The undersigned understands that time is of the essence and agrees that the specified time period for completion stated above is a reasonable time for the completion of the Work. All time limits shall be binding.

11. BID ACCEPTANCE:

- A. All Bids as stated above are effective and open for acceptance by the Owner for a period of ninety (90) days after date set for opening of Bids.

FIRM NAME John Beres Builders Inc

BY SIGNATURE 

TITLE President

DATED 10/20/2023

TELEPHONE 262-786-5003

FAX NBR

EMAIL ADDRESS: steve@johnberesbuilders.com

If a corporation, answer the following:

Incorporated under laws of what state? Wisconsin

SEAL _____ (If Bid is by Corporation)