



**CITY OF NEW BERLIN
BOARD OF APPEALS MEETING
Thursday, February 3, 2022
6:00 PM
Council Chambers
3805 S. Casper Drive**

AGENDA

CALL MEETING TO ORDER; PLEDGE OF ALLEGIANCE

ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

APPROVAL OF MINUTES

January 6, 2022 Meeting Minutes

NEW BUSINESS

BA-22-2660 Petitioner Rober Dickenson on behalf of Champions Windows, 2305 S. Ronke Ln. Petitioner requests to construct a 225 square foot addition 17 feet from the rear property line. The property is zoned R-5 Medium-Density Single-Family Residential District and requires a rear yard setback of 35 feet when the lot fronts a street with a curb and gutter. A variance of 18 feet is required in order to obtain a building permit.

BA-22-2661 Petitioner Maria Koerner, 17990 W. Cleveland Ave. Petitioner requests to construct a 498 square foot addition 4 feet from the east side property line. The property is zoned I-1 institutional District and requires a side yard setback of 50 feet. A variance of 46 feet is required in order to obtain a building permit.

ADJOURN

PLEASE NOTE:

- ✓ It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that members of and possible a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.
- ✓ Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact City Clerk Georgia Stanford (262) 786-8610.



**CITY OF NEW BERLIN
BOARD OF APPEALS - MINUTES
Thursday, January 6, 2022**

**Council Chambers
3805 S. Casper Drive, New Berlin, WI, 53151**

6:00 PM

Please note: Minutes are unofficial until approved by the Board of Appeals at the next regularly scheduled meeting.

All votes were taken via a voice roll call vote.

CALL MEETING TO ORDER; PLEDGE OF ALLEGIANCE

Chairman Goetter called the meeting to order at 6:17PM

ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

John Goetter, Chairman and Member
James Klappa, Member
James Oldham, Member
Scott Schulpus, Member
Nicole Willoughby, Alternate #1

EXUSED: Paul Langer

ALSO PRESENT Dan Hogan, Code Compliance Specialist
Steve Krentz, Lead Inspector
Kiran Bilan, Community Relations Specialist
Sherri Hanson, Deputy Clerk/Elections Specialist

APPROVAL OF MINUTES

November 4, 2021 Meeting Minutes

MOTION: Motion to approve the November 4, 2021 Board of Appeals Minutes

VOTE: Motion by: James Oldham
Second by: James Klappa
APPROVED 5-0

NEW BUSINESS

BA-21-2658 Petitioner requests to construct a 48 panel solar array 3 feet from the rear property line. The property is zoned R1/R2 Rural Conservation Single-Family Residential District and requires a rear yard setback of 50 feet. A variance of 47 feet is required in order to obtain a building permit.

Chairman Goetter gave an overview of the appeals process. The staff report and variance request were read into the record. Chairman Goetter then swore in the

petitioner, Chris Denardis. The Petitioner is filing for a solar panel to be put in on their property. The purpose of the request is to determine where the homeowner can put the solar panel array on their property.

Petitioner Denardis provided more information from the previous meeting that was requested. The information included signatures of neighbors near the property. He also provided technical information on three different options as to where the solar panel could be placed. The petitioner laid out the various solar metric readings for the three locations. Each of three options were examined for the advantages and disadvantages of placing the solar panel in various areas. The area behind the property is a conservation area that cannot be built on and shielded by vegetation from the property to the north. The petitioner stated that these studies verify that option #1 still provided the best outcome.

Board member Willoughby asked if the signatures were for the #1 option, and petitioner Kropp said that they were for the #1 option.

Chairman Goetter asked if the neighbors were aware of the location of the solar panel on the property for option #1. Petitioner Denardis said that he added the location of the solar panel on the map provided since the initial map did not show the actual location. As a result neighbors were able to see where the proposed solar panel would be placed.

Board Member Oldham asked the petitioner why option #3 was not viable. Petitioner Kropp said that the neighbors would not approve the location and that placing the solar panel in that location would require several additional panels and at least two trees to be cut down.

No one spoke in favor of or against the variance request, however 13 neighbors signed a support letter in favor of option #1 for the variance.

Board Member Klappa made a motion to approve option #1 of the variance request. Board Member Schulpus seconded.

Board Member Klappa said he drove over to the area and observed that there was a great drop of elevation, and other options would be more visible from the road which neighbors may not like. He felt option #1 was a good location away from everyone and that the neighbors were in favor of it

Board Member Schulpus said that option #3 would be near the mound system which could cause problems later. He stated option #1 would be the best option.

Board Member Oldham stated option #1 was best choice for an efficiency standpoint.

Board Member Willoughby mentioned option #1 was not visible from the street line and best option.

Chairman Goetter said option #1 was in the best interest of the neighbors and practically the best place to put it. There are no neighbors behind him and other options would require more panels and more trees to be cut down.

Motion to approve passed 5-0.

MOTION: Motion to Approve Option #1

VOTE: Motion by: James Klappa
Second by: Scott Schulpus
APPROVED 5-0

BA-21-2659 Petitioner requests to construct a 1,295 square foot addition 12 feet 9 inches from the front property line. The property is zoned B-2 General Retail Sales and Service District and requires a front yard setback of 40 feet along Howard Ave. A variance of 27 feet 3 inches is required in order to obtain a building permit.

Petitioner Kropp provided a background on the New Berlin Animal Hospital and the reasons for the request. The building is 40 – 50 years old built in a different era when there were different zoning codes. Based on their location they are unable to build South due to storage of mechanical equipment. East and West sides of the building are used for parking. New Berlin Animal Hospital is a growing facility and is not in ADA compliance which requires accessibility upgrades including adding an accessible bathroom, as well as widening doors and hallways to patient rooms. They would also like to add additional exam rooms to keep up with the growing number of clients.

Chairman Goetter asked how long they have been working on this. Petitioner Kropp said that the project has been going slow because of Covid but they have been working on this project for over 2 years and have not been able to get the project to fit the setbacks.

Board Member Schulpus questioned if the reasons for the project were that the interior walls are older, doorways are too narrow and upgrades are needed to modernize. Also, the additional exam rooms are needed to accommodate the growing business. Petitioner Kropp replied that was correct, as well as there is no bathroom in lobby and the hallways from the lobby to exam rooms are not ADA compliant.

Chairman Goetter questioned if the interior walls are made of block. Petitioner Kropp said yes.

Board Member Schulpus asked if there are any plans available for expansion to the North. Petitioner Kropp stated it would create a pinch point for snow and would require strengthening and reconfiguring of the roof.

Chairman Goetter said that he thought that the reason for the variance is not ADA compliance but the need for more and larger exam rooms. He questioned the parking to the East. Petitioner Kropp said they are so short on parking that they rent out spots from the adjacent business.

Board Member Willoughby asked to clarify the parking designs and only one proposed ADA stall. Petitioner Kropp said there are assigned customer spots for clients when they arrive and they need one ADA stall closer to the East side door. One ADA stall is enough to meet ADA requirements.

Chairman Goetter asked why they needed so much space. Petitioner Kropp replied to make it ADA compliant they need to have rooms with wider doors, and

they need larger rooms. He then asked why they needed more exam rooms. Petitioner Kropp stated that with the growth of the community their business has increased.

Motion by Board Member Oldham to approve the variance request. Seconded by Board Member Klappa.

Board Member Oldham reiterated the exam rooms are too small, there is no other place to expand and the demand for services and the two setbacks is the hardship.

Board Member Klappa said the two front setbacks create a hardship. Growth has increased the volume of clients and they are unable to handle the need without adding more exam rooms. ADA accessibility is key.

Board Member Schulpus asked if there is of any expansion or need for alternate right-of-way on Moorland Rd or Howard Ave. Dan Hogan said there is planned construction on Moorland Rd. but that is the right-of-way and there is no future right-of-way needs for Moorland Rd. or Howard Ave. Board Member Schulpus also asked if there is a fair enough space between the property line and the curb. Dan Hogan said there is.

Chairman Goetter said he was sympathetic to the needs of New Berlin Animal Hospital however felt it better to hold the setbacks and have them look for a less intrusive solution or find a different location.

Board Member Willoughby said the proposed addition may only be a temporary solution, which makes this challenging. If they are already struggling with parking space how can they expand?

Motion failed 3-2 with Chairman Goetter and Board Member Willoughby voting against.

MOTION: Motion failed 3-2

VOTE: Motion by: James Oldham
Second by: James Klappa
DENIED

ADJOURN: Motion to Adjourn at 7:06PM

VOTE: Motion by: Scott Schulpus
Second by: James Oldham
APPROVED 5-0

STAFF REPORT SUMMARY

Board of Appeals

MEETING DATE: February 3, 2022

PETITIONER: Champion Window on behalf of the Robert Dickenson

CASE NUMBER: BA-22-2660

LOCATION: 2305 S. Ronke Ln

REQUEST: Petitioner requests to construct a 225 square foot addition 17 feet from the rear property line. The property is zoned R-5 Medium-Density Single-Family Residential District and requires a rear yard setback of 35 feet when the lot fronts a street with a curb and gutter. A variance of 18 feet is required in order to obtain a building permit.

DETAILS IN ATTACHED STAFF REPORT

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
BOARD OF ZONING APPEALS STAFF REPORT
Meeting of February 3rd, 2022

Champion Window on behalf of the Robert Dickenson / Variance Request
2305 S. Ronke Ln

DATE: January 5th, 2022

APPLICANT / OWNER(S): Champion Window on behalf of the Robert Dickenson

REQUEST/DESCRIPTION OF VARIANCE: Petitioner requests to construct a 225 square foot addition 17 feet from the rear property line. The property is zoned R-5 Medium-Density Single-Family Residential District and requires a rear yard setback of 35 feet when the lot fronts a street with a curb and gutter. A variance of 18 feet is required in order to obtain a building permit.

DATE OF APPLICATION: December 23rd, 2021

SIZE OF PARCEL: 1.38 Acres

CURRENT ZONING: R-5, Medium- Density Single Family Residential District

CURRENT LAND USE: Residential

PROPOSED LAND USE: No change

ADJACENT ZONING AND LAND USE:

North Zoning:	R-4	Land Use:	Low- Density Single Family Residential District
South Zoning:	R-5	Land Use:	Medium- Density Single Family Residential District
East Zoning:	R-5	Land Use:	Medium- Density Single Family Residential District
West Zoning:	R-5	Land Use:	Medium- Density Single Family Residential District

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Current use of property conforms to the Comprehensive Plan and Municipal Code.

ZONING CODE (CHAPTER 275): R-5, Medium-Density Single Family Residential District, Chapter 275-33B(6) of the Zoning Code.

PROPOSED ARCHITECTURE: 225 Square Foot Addition

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: No

Wetland on Property: No

Conservancy Districts (C-1, C-2): No

NRCS Map Classification: N/A

Floodplain: No

Topography / Geologic: flat

NATURAL RESOURCES PROTECTION:

- Limits of Disturbance (LOD): N/A
- Wildlife Habitat Protection: N/A
- Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: No impact to the local environment anticipated.

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

- Within Current Sewer Service Area: Yes
- Basin Capacity Available: N/A
- Basin Balance (If known): N/A
- Adequate Linkage: N/A

PREVIOUS BOARD OF APPEALS ACTION: Yes, the Board of Appeals granted a variance reducing the 35' rear yard setback to 10'. The hearing was held on July 2, 1992 and the BOA Decision was issued July 1992. See attached.

CONSISTANCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Table 275-33-2 of the Zoning Code requires a 35 foot rear yard setback in the R-5 District where the lot fronts a street with curb and gutter.
2. The home was constructed in 1970. At the time the building permit was issued for the home, the rear setback was 25 feet. Staff was unable to determine when the rear setback for the R-5 District was changed.
3. A Quit Claim Deed recorded as document # 2492789 on August 10, 1999 is attached. The City of New Berlin quit claimed to the then owners, James and Dona Jean Kurtz, a strip of land that was part of the Sanctuary at Woodshire Subdivision Plat. This land was reserved for road purposes, however later it was determined the area was not needed for road purposes. The City coordinated with each homeowner along the strip of land and provided each homeowner with a Quit Claim Deed to sign and record at the Waukesha County Register of Deed's Office.
4. Since the strip of land (noted on Parcel II on the survey submitted by this home owner) is located outside of the Parkland Green West Subdivision Plat it cannot easily be combined with a Certified Survey Map. It would take a Re-plat of the Parkland Green West Subdivision Plat in order to make it part of this existing lot (area noted as Parcel I on the survey submitted by the home owner).
5. Regarding the request in the Applicants appeal letter, the Board of Appeals does not have the authority to rule on a CSM for lot 1 and 2. There is no grounds for appeal to combine these lots.

Attachments:

Applicant Letter

Location Map

Board of Appeals Application

Mailing Labels Map

Site Survey

Building plans

Parkland Green West Subdivision Plat

The Sanctuary of Woodshire Subdivision Plat

1992 BOA Decision



Board of Appeals

Applicant / Contact
Name Robert P. Dickinson
Address 2305 Pence Lane
City, State, Zip New Berlin WI 53151
Phone 414-559-6222
E-Mail rp@dickinson@charter.net
Current Zoning R5

Agent
Name _____
Address _____
City, State, Zip _____
Phone _____
Email _____
Property Owner's Address _____
Property Owner _____

NOTE: Should the Board of Appeals approve your variance, you will also need to obtain the appropriate zoning and/or building permits. A Board of Appeals approval does not grant final approval for your respective use or construction project. It is the property owner's responsibility to ensure that the appropriate permits have been received prior to the commencement of any construction and/or occupancy.

INSTRUCTIONS

All petitions must be accompanied by a survey showing the existence of the present use and the change required. Scaled drawings may be substituted for surveys. However, the Board may request a certified survey at the time of the hearing. Photographs and blueprints of proposed construction are helpful. A \$50.00 filing fee plus a \$200.00 administrative fee must be paid at the time the petition is filed for setback, square footage, height and floodplain variance. A \$500.00 administrative fee plus a \$50.00 filing fee is required for Plan Commission appeal.

Petitions must be received on or before 4:30 pm of the required due date in order for the petition to be scheduled for review by the board on first Thursday of the following month. Meetings are normally held at 6pm

At the hearing, proper documentation will be reviewed. Petitioner, or agent, will speak first along with those who favor the petition. Those who oppose the petition will be given the opportunity to speak after the affirmative case has been argued. All argument should be relevant to the appeal presented. The Board may, at its discretion, limit debate and place witnesses under oath.

Application Type (Time frame)*	Fees	Required Plans/Information (Failure to submit all required plans will result in rejection of the application.)
☒ Setback/Size Variance	\$200+ \$50 Filing Fee	☐ Nature of Appeal – 8 copies ☐ Hardship Argument – 8 copies ☐ Scaled Drawing/ Survey – 8 copies ☐ Photos – 8 copies
☐ Flood Plain	\$200+ \$50 Filing Fee	☐ Nature of Appeal – 8 copies ☐ Hardship Argument – 8 copies ☐ Scaled Drawing/ Survey – 8 copies ☐ Photos – 8 copies
☐ Plan Commission	\$500+ \$50 Filing Fee	☐ Nature of Appeal – 8 copies ☐ Hardship Argument – 8 copies

Fees:

Base Fee From Above	\$ _____
Filling Fee	\$ <u>50.00</u>
Total	\$ _____

* Only if all required materials are submitted and satisfactory.

¹ Other plans and information may be required by staff upon further review of the project.

² Drawn to a scale no greater than 1"=100'.

³ All architectural plans at a scale no smaller than 1/8" = 1'

⁴ Colored building elevation, architectural rendering, or photos suitable for public presentation to fit on a single 8½" x 11" or 11" x 17" sheet.

No refunds for denied applications

By the execution of this application, applicant hereby authorizes the City of New Berlin or its agents to enter upon the property during the hours of 7:00 A.M. to 7:00 P.M. daily for the purpose of inspection. Applicant grants this authorization to enter to the City of New Berlin or its agents even if applicant has posted this land against trespassing pursuant to Section 943.13 Wis. Stats.

Signature _____

Date: 12/23/21

Only the property owner or property manager may sign, or letter/email of authorization required. The final responsible party is the property owner.

Please do not write below this line

Accepted by: Sam M Date: 12/23/2021
Board of Appeals Date: Feb. 3, 2022
Total Fee: \$ 250
File Number: 2102651



**Make Checks Payable To:
CITY OF NEW BERLIN**

01/10/2022 Paid: \$ 250.00
Receipt # : 1727585
Clerk : 9740csh2
Paid By : ROBERT DICKINSON

Robert P and Lynn E Dickinson
2305 S. Ronke Lane
New Berlin, WI 53151

2021. December 23.

New Berlin Board of Appeals
3805 S. Casper Drive
New Berlin, WI
53151

Dear Board,

NATURE OF APPEAL

Rear Setback Variance

HARDSHIP ARGUMENT

Our mapped lot (1194 045) is adjacent to an additional ~20' wide strip to the rear that is included in the legal description of our parcel*. We are requesting a variance of 17' from the original rear lot line or that the North boundary of our Lot 2 be considered as the property line in which the setback can be achieved (no variance required). We believe the practical difficulty or hardship is that the 20' strip was never created as a single CSM due to existing subdivision boundaries when the city signed the Quit Claims Deed to the property owner in 1999.

Prior to the adjacent lot the code was 25' in which a variance was granted prior to our ownership for the deck. The present code requires 35' of rear setback. We are requesting a variance of 17' from the original rear lot line or that our Lot2 be considered as the property line in which the setback can be achieved (no variance required). The proposed sunroom will set well inside the current footprint of the previous allowed deck.

*LOT 6 BLK A Parkland Green W PT50 OF NW25 SECT 11 T6N R20E ALSO 20 FOOT STRIP FROM CITY R2956 I862 8/10/1999 DOC #3812162 01/21/2011

We are look forward to hearing from you soon.

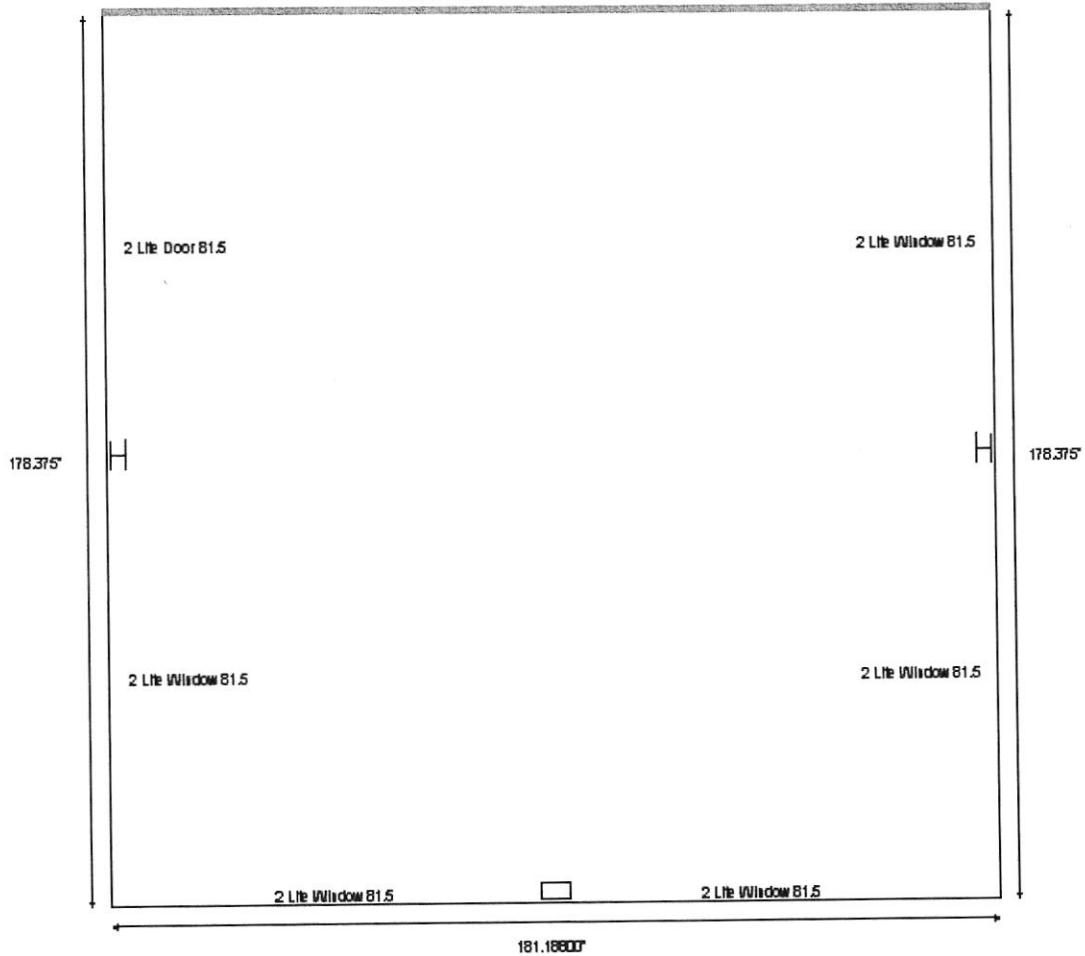
Yours sincerely,

Robert (Pete) And Lynn E. Dickinson

Standard Room Package

ORDER NO: 1920
ITEM: 1
DATE: 10/28/21

Floor Plan



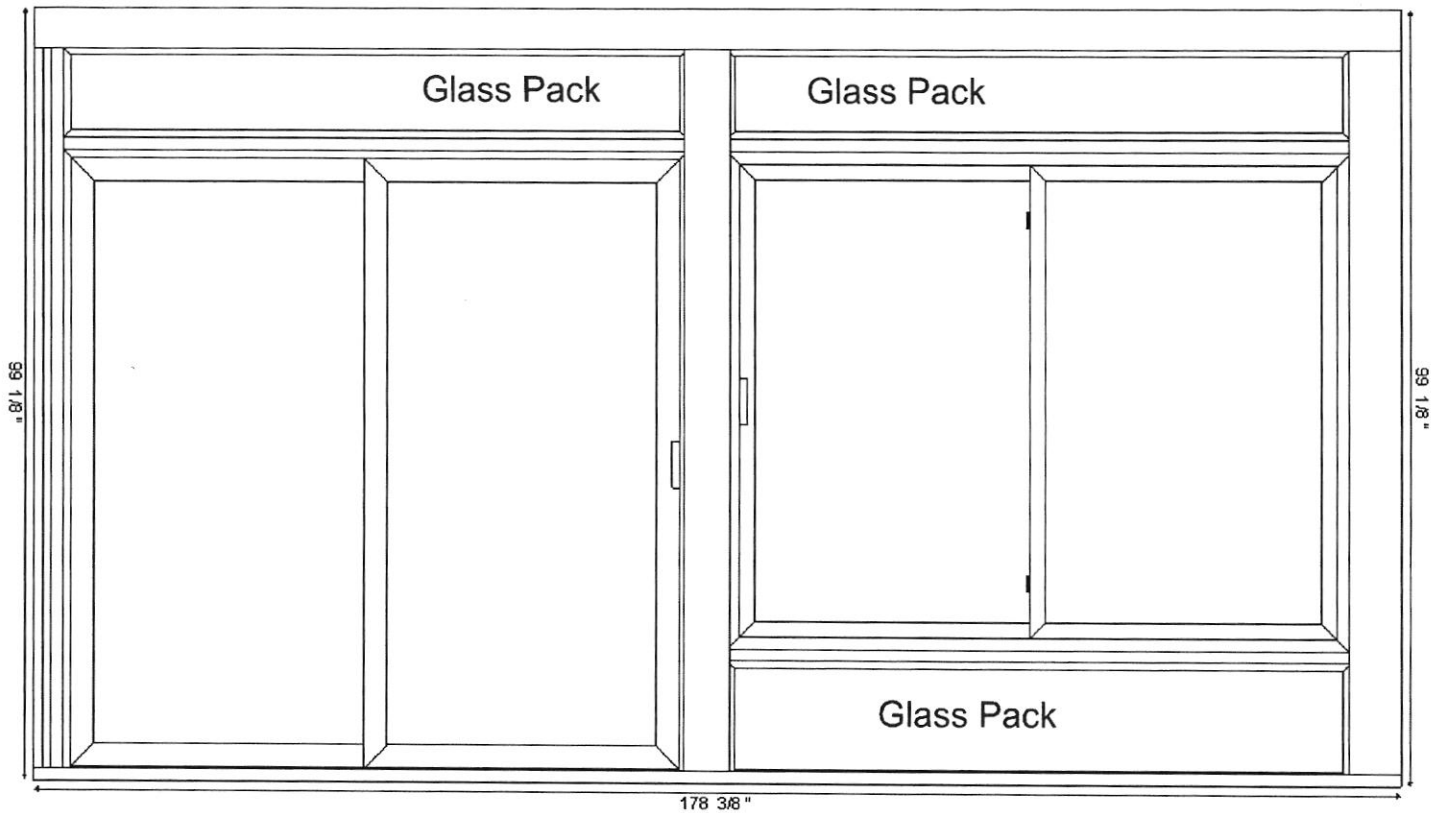
Dimensions

Attachment Height: 144 "
B Wall Height: 99.125 "
B Wall Width: 181.188 "
A Wall Width: 178.375 "
C Wall Width: 178.375 "
Roof Overhang: 12 "

Outside Looking In

ORDER NO: 1920
ITEM: 1
DATE: 10/28/21

A Wall



Dimensions

Attachment Height: 144 "
B Wall Height: 99.125 "
A Wall Width: 178.375 "
Roof Overhang: 12 "

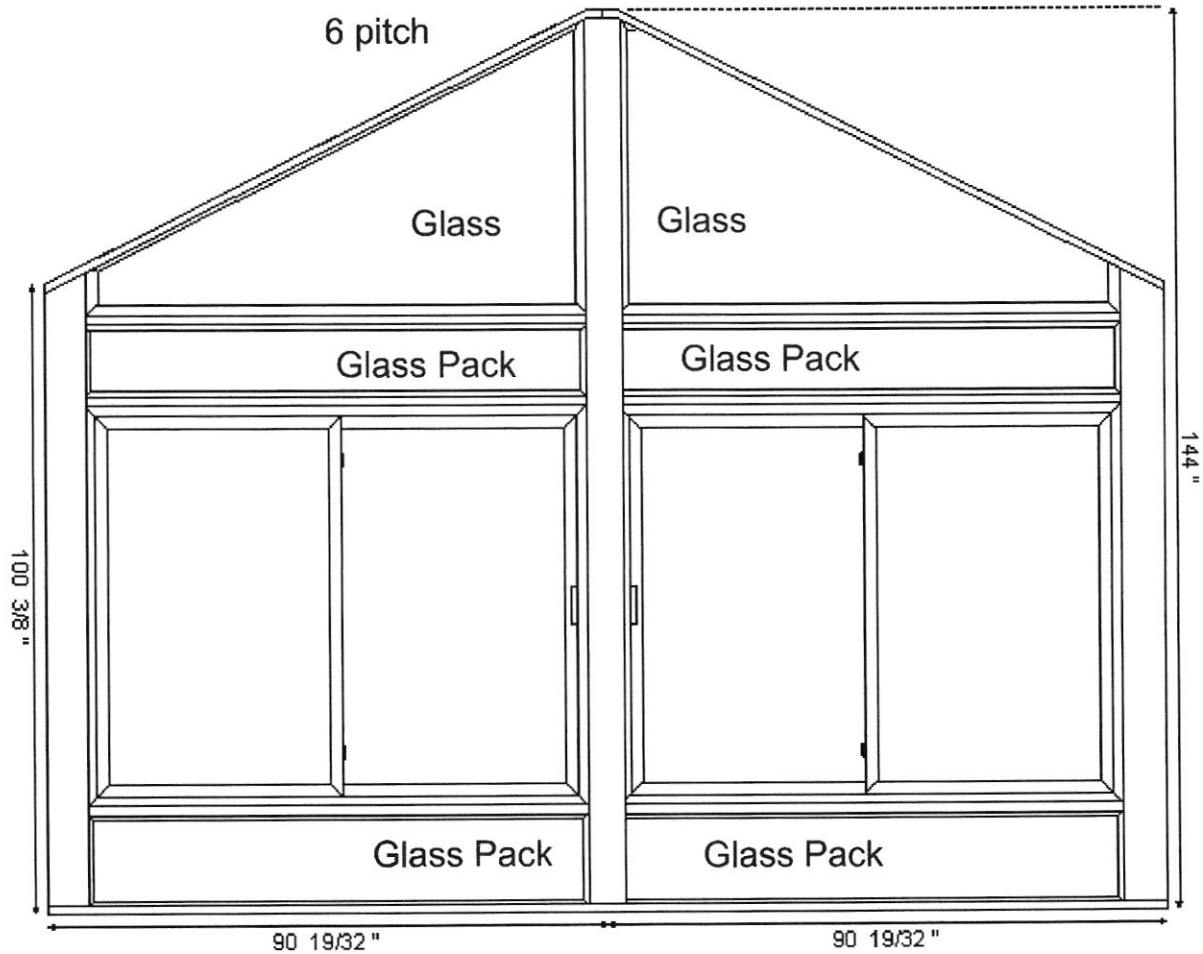
Layout

0.625" (BASE PLATE) + 2.5" (Foam) + 0.625" (WINDOW PLATE) + 81.5" (2 Lite Door) + 5.0625" (Wall Mullion) + 81.5" (2 Lite Window) + 6.5625" (Corner Post)

ORDER NO: 1920
 ITEM: 1
 DATE: 10/28/21

Outside Looking In

B Wall



Dimensions

Attachment Height: 144 "
 B Wall Height: 99.125 "
 B Wall Width: 181.188 "
 Roof Overhang: 12 "

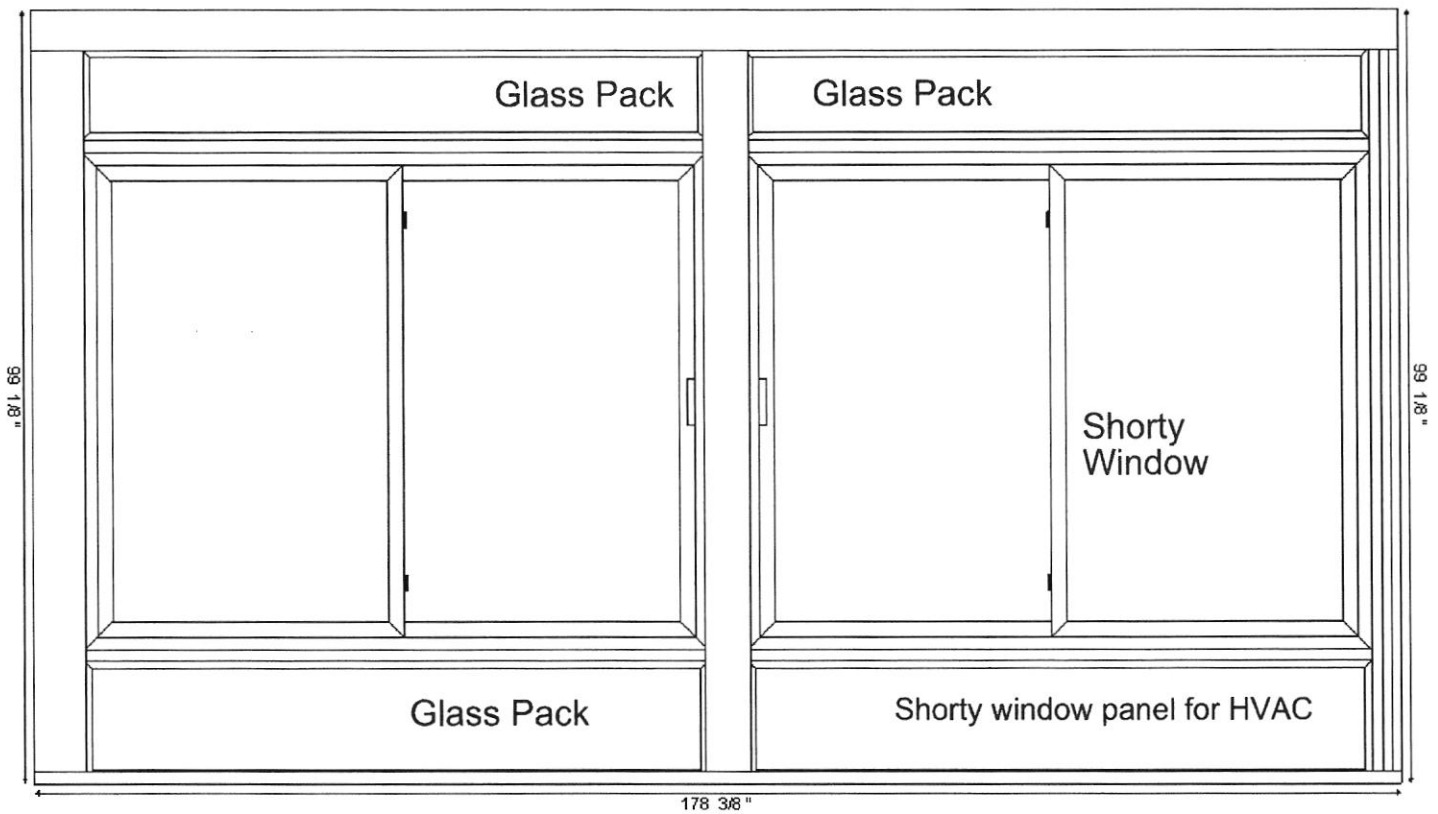
Layout

6.5625" (Corner Post) + 81.5" (2 Lite Window) + 5.0625" (Wall Mullion) + 0.0002" (Remainder - No Fill) + 81.5" (2 Lite Window) + 6.5625" (Corner Post) + 0.0002" (Remainder - No Fill)

Outside Looking In

ORDER NO: 1920
ITEM: 1
DATE: 10/28/21

C Wall



Dimensions

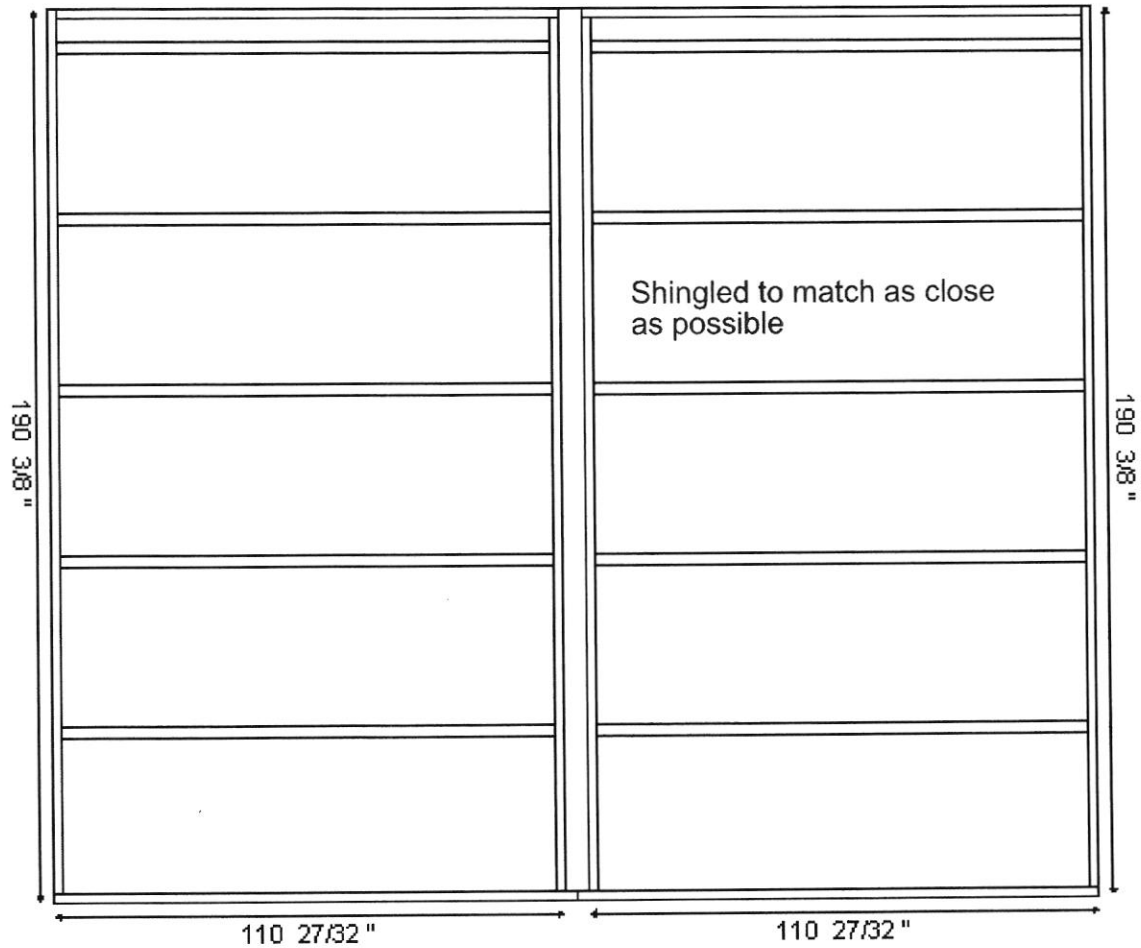
Attachment Height: 144 "
B Wall Height: 99.125 "
C Wall Width: 178.375 "
Roof Overhang: 12 "

Layout

6.5625" (Corner Post) + 81.5" (2 Lite Window) + 5.0625" (Wall Mullion) + 81.5" (2 Lite Window) +
0.625" (WINDOW PLATE) + 2.5" (Foam) + 0.625" (BASE PLATE)

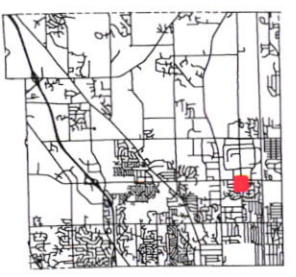
ORDER NO: 1920
ITEM: 1
DATE: 10/28/21

Roof

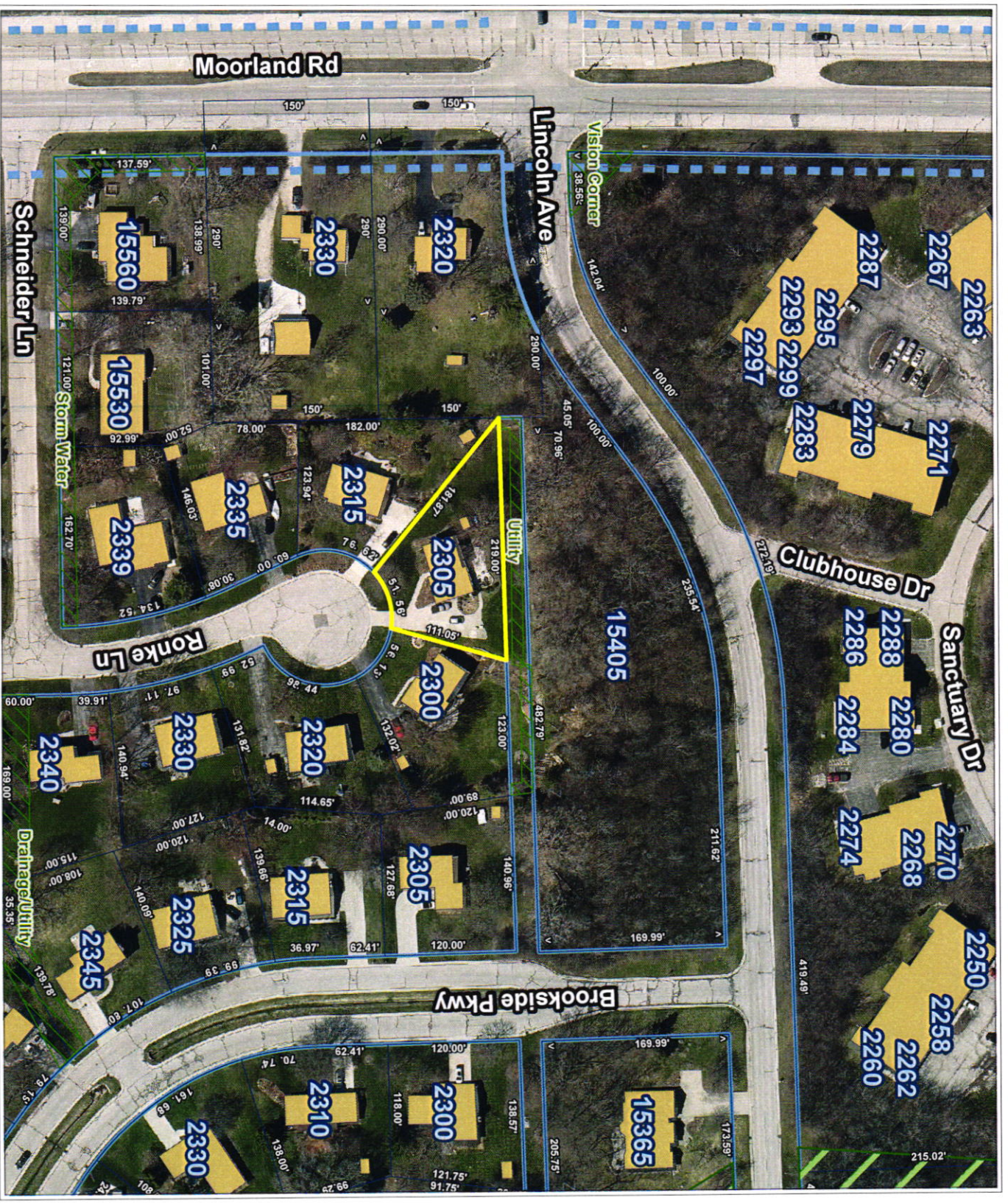


Dimensions

Attachment Height: 144 "
B Wall Height: 99.125 "
B Wall Width: 181.188 "
A Wall Width: 178.375 "
C Wall Width: 178.375 "
Roof Overhang: 12 "



Overview Map



Legend

- Parcels
- Road Right-of-Way
- Road ROW Ultimate



City of New Berlin
 Department of Community Development
 3805 S Casper Drive, New Berlin WI 53151
 (262) 797-2445
www.newberlin.org

The information and depictions herein have been produced using data available through photogrammetric means by the City of New Berlin. The information and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, flood insurance studies, or other official means.



WC2492789-002

STATE BAR OF WISCONSIN FORM 3 - 1982
QUIT CLAIM DEED

2492789

REGISTER'S OFFICE
WAUKESHA COUNTY, WI
RECORDED ON

08-10-1999 2:04 PM

MICHAEL J. HASSLINGER
REGISTER OF DEEDS

REC. FEE: 6.00
REC. FEE-CO: 4.00
REC. FEE-ST: 2.00
TRAN. FEE:
TRAN. FEE-STATE:
PAGES: 2

REEL 2956 IMAGE 0862

The City of New Berlin, a municipal
corporation

quit-claims to James & Dona Jean Kurtz,
Husband and Wife

the following described real estate in Waukesha County,
State of Wisconsin:

See Attached Exhibit "A"

THIS SPACE RESERVED FOR RECORDING DATA

NAME AND RETURN ADDRESS

James & Dona Kurtz
2305 S. Ronke Ln.
New Berlin, WI 53151-2961

PARCEL IDENTIFICATION NUMBER

FEE
17.25 (2)
EXEMPT

This is not homestead property
(is not)

Dated this 22 day of June, A.D., 19 99

[Signature] (SEAL)
• James E. Gatzke, Mayor

[Signature] (SEAL)
• William Bowers, Clerk

____ (SEAL)

____ (SEAL)

AUTHENTICATION

Signature(s) James E. Gatzke
William Bowers

authenticated this 22 day of June, 19 99

• Paul F. Reilly

TITLE: MEMBER STATE BAR OF WISCONSIN

(If not,
authorized by §706.06, Wis. Stats.)

THIS INSTRUMENT WAS DRAFTED BY

City Attorney Paul F. Reilly

(Signatures may be authenticated or acknowledged. Both are not
necessary.)

ACKNOWLEDGMENT

State of Wisconsin, } ss

____ County }
Personally came before me this ____ day of
____, 19____, the above named

to me known to be the person ____ who executed the foregoing
instrument and acknowledge the same.

Notary Public, ____ County, Wis.
My commission is permanent. (If not, state expiration date:
____, 19____.)

* Names of persons signing in any capacity should be typed or printed below their signatures

QUIT CLAIM DEED

STATE BAR OF WISCONSIN
Form No. 3 - 1982

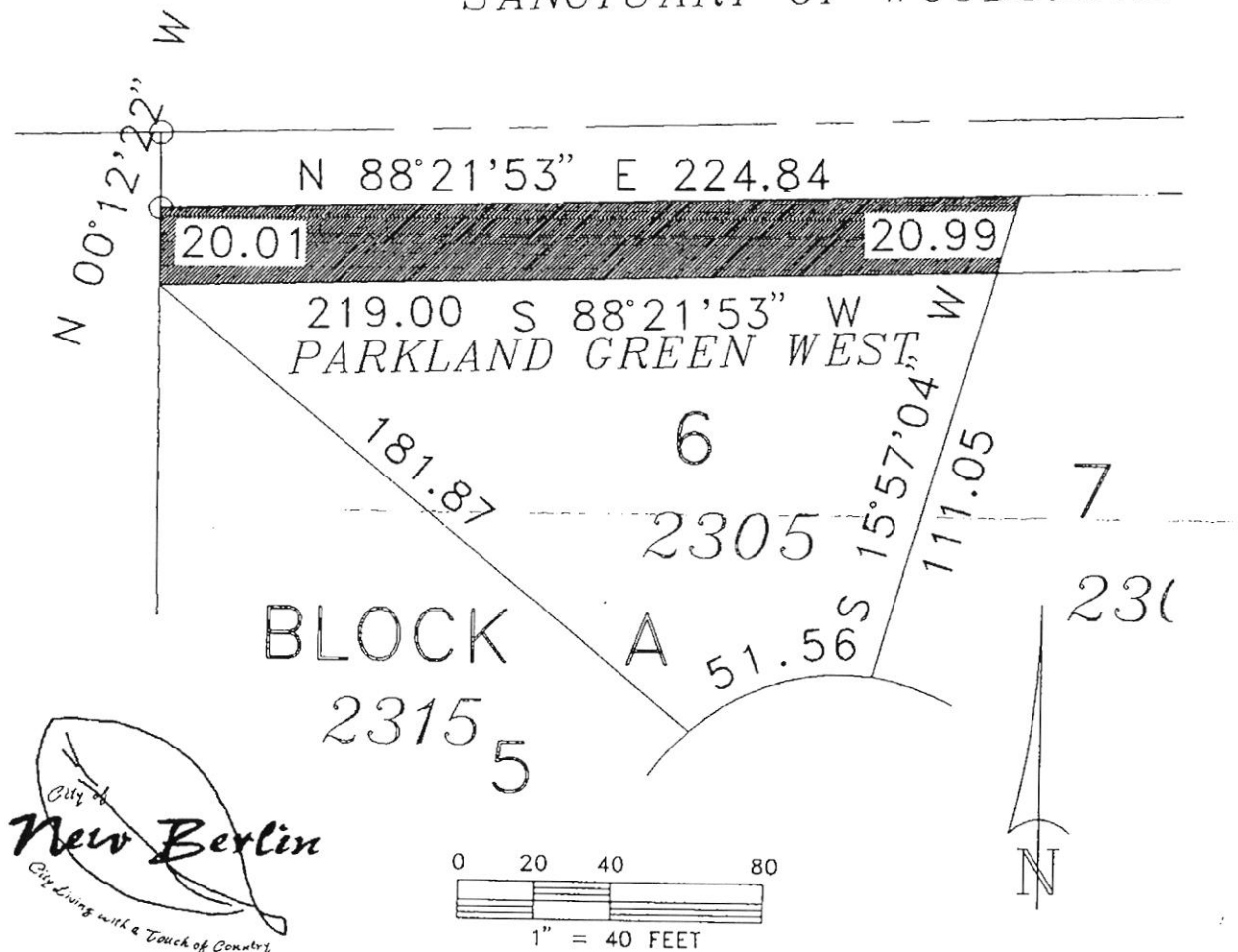
Wisconsin Legal Blank Co., Inc.
Milwaukee, Wis.

EXHIBIT "A"

ALL THAT PART OF LANDS WHICH HAVE BEEN DEEDED TO THE CITY OF NEW BERLIN WHICH WERE FORMERLY RESERVED FOR ROAD PURPOSES, WHICH ARE NORTH OF AND ADJACENT TO PARKLAND GREEN WEST SUBDIVISION, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 6 NORTH RANGE 20 EAST, IN THE CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENICING AT THE NORTHWEST CORNER OF LOT 6 BLOCK A OF SAID PARKLAND GREEN WEST SUBDIVISION, ALSO BEING THE POINT OF BEGINNING, THENCE NORTH $00^{\circ}12'22''$ WEST 20.01 FEET; THENCE NORTH $88^{\circ}21'53''$ EAST 224.84 FEET; THENCE SOUTH $15^{\circ}57'04''$ WEST 20.99 FEET TO THE NORTHEAST CORNER OF SAID LOT 6; THENCE SOUTH $88^{\circ}21'53''$ WEST ALONG THE NORTH LINE OF SAID LOT 6 219.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 6 AND THE POINT OF BEGINNING OF SAID PARCEL; SAID PARCEL CONTAINS 0.1000 ACRES MORE OR LESS.

SANCTUARY OF WOODSHIRE



DECISION

Case No. 1899, Appeal of James Kurtz

File: May 29, 1992

Hearing Held: July 2, 1992

2305 S Ronke La

In accordance with the Findings of Fact attached hereto and incorporated herein by reference, the Board of Appeals, by a four to one vote, determines as follows:

1. INTERPRETATION: The present code requires 35 feet of rear yard setback in the zoning district where Petitioner's property is located.

2. VARIANCE:

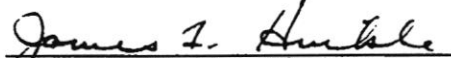
a. A literal enforcement of the terms of the ordinance would result in practical difficulties with regard to the 35 feet of rear yard setback because of the existing residence on the petitioner's lot.

b. That a variance with regard to the 35 feet of rear yard setback would not be contrary to the public interest.

c. The variance with regard to the 35 feet of rear yard setback would be in accordance with the spirit of the zoning ordinance because the neighborhood would not be adversely affected by the proposed deck on said property.

3. PERMIT: The Petitioner should be granted a variance reducing the 35 feet of rear yard setback to 10 feet. The decision of the Building Inspector is reversed with regard to the 35 feet of rear yard setback.

BOARD OF ZONING APPEALS
CITY OF NEW BERLIN


James F. Hinkle, Chairman

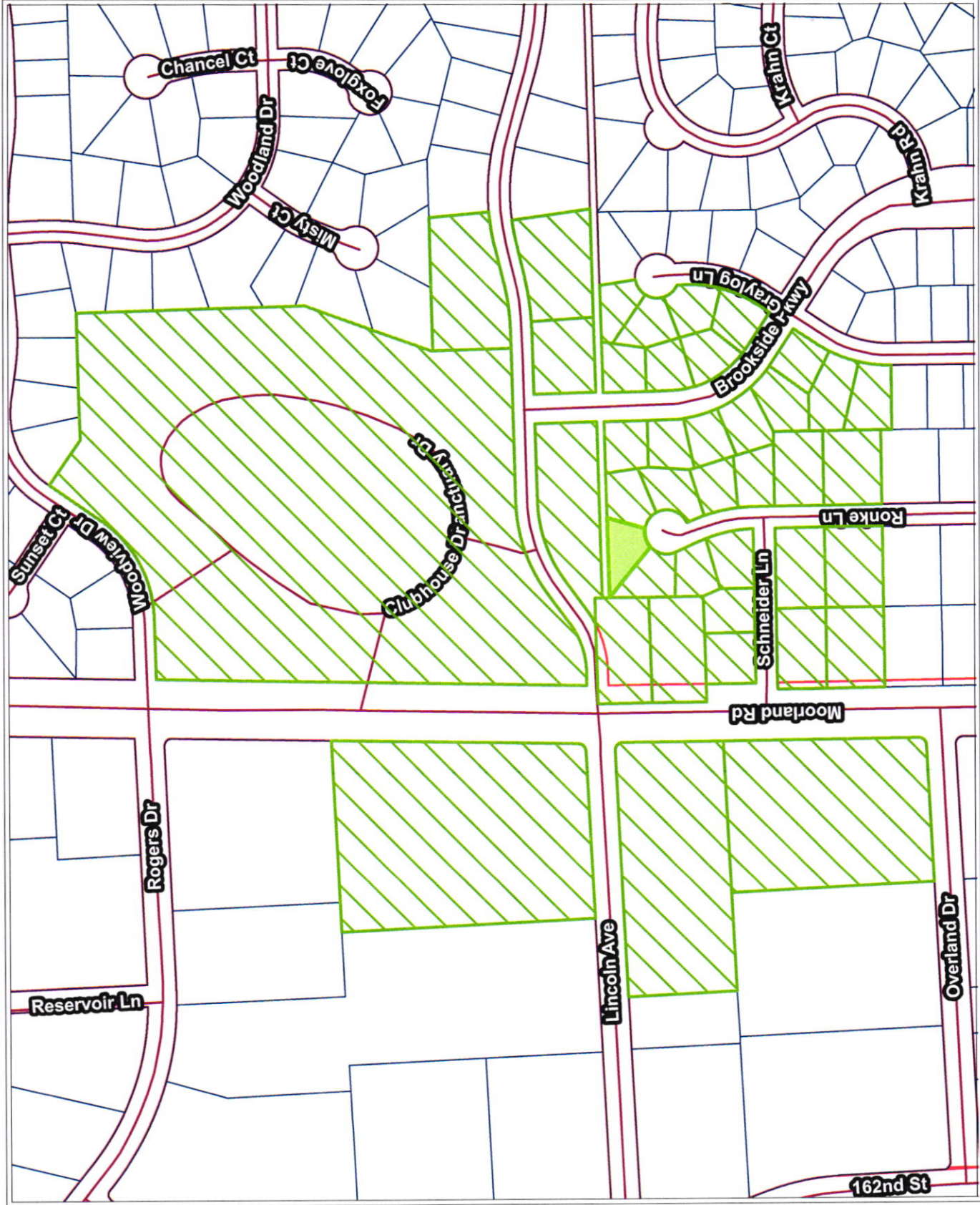
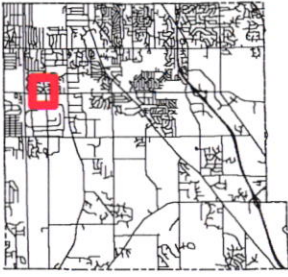
Dated: 13, July 1992

Filed: 16, July 1992

(Review of this decision may be obtained by filing a petition for a Writ of Certiorari in any Court of record in this county within thirty (30) days after the date of filing above.)

BOA -- 2305 Ronke Ln

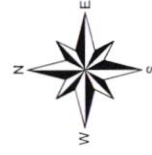
Overview Map



Legend

- Subject to Action
- Notified Parcels
- Other Parcels

Notified parcels (green hash lines) are those properties that fall within a certain distance of a property that is subject to City of New Berlin action.



1159118 ANDREW THOMPSON 15250 W LINCOLN AVE NEW BERLIN WI 53151	1194054 DOOLAN, EDWARD J & MARSHA L LIV TR 2365 S BROOKSIDE PKWY NEW BERLIN WI 53151	1194011 KELLY FRANCKOWIAK 2416 S MOORLAND RD NEW BERLIN WI 53151
1194072 AZAEL BRODHEAD 2305 S GRAYLOG LN NEW BERLIN WI 53151	1194070 GEORGE C BURDEY AND RUTH R BURDE 2335 S GRAYLOG LN NEW BERLIN WI 53151	1194042 KENNETH J. KALLAS 2339 S RONKE LN NEW BERLIN WI 53151
1194002 BONNIE S. CAROLLO 2406 S RONKE LN NEW BERLIN WI 53151	1194001 GERALD E. STRENG 2346 S RONKE LN NEW BERLIN WI 53151	1194041 LARRY J. LA MARCHE 15530 W SCHNEIDER LN NEW BERLIN WI 53151
1194068 CARMEN L. CEPEDA 2330 S BROOKSIDE PKWY NEW BERLIN WI 53151	1164010 HADER INDUSTRIES, INC PO BOX 510260 NEW BERLIN WI 53151	1194067 LAURENCE B. MALA 2310 S BROOKSIDE PKWY NEW BERLIN WI 53151
1194056 CHARLES W. HILSE 2415 S GRAYLOG LN NEW BERLIN WI 53151	1194051 JAMES G. DENSMORE 2315 S BROOKSIDE PKWY NEW BERLIN WI 53151	1194052 MARK A. MESKIN 2325 S BROOKSIDE PKWY NEW BERLIN WI 53151
1194057 DANIEL F. MAREK 2425 S GRAYLOG LN NEW BERLIN WI 53151	1194997 JASON MCRAE 2320 S MOORLAND RD NEW BERLIN WI 53151	1194071 MATTHEW C. KWAPICK 2315 S GRAYLOG LN NEW BERLIN WI 53151
1194996 DANIEL L. OLSON 2330 S MOORLAND RD NEW BERLIN WI 53151	1194049 JESSE T. KLEMA 2340 S RONKE LN NEW BERLIN WI 53151	1189001 MGD PRODUCTS 2, LLC N76 W29220 CNTY RD VV HARTLAND WI 53029
1159108 DAVID R. STRABEL 15365 W LINCOLN AVE NEW BERLIN WI 53151	1194053 JOEL J. HAEBERLIN 2345 S BROOKSIDE PKWY NEW BERLIN WI 53151	1194050 MICALENE J. SCHUYLER 2305 S BROOKSIDE PKWY NEW BERLIN WI 53151
1194046 DDKF TRANSITION TRUST OF JUNE 11 20 2300 S RONKE LN NEW BERLIN WI 53151	1194048 JOSHUA S. WISNESKI 2330 S RONKE LN NEW BERLIN WI 53151	1194009 MICK STEINER 2346 S MOORLAND RD NEW BERLIN WI 53151
1189005 DEER TRACKS, LLC 2525 S 162ND ST NEW BERLIN WI 53151	1194026 KEITH R. ROBINSON 2345 S RONKE LN NEW BERLIN WI 53151	1194043 PAUL M. JOHNSON 2335 S RONKE LN NEW BERLIN WI 53151

1194045

ROBERT P. DICKINSON
2305 S RONKE LN
NEW BERLIN WI 53151

1194047

RYAN T. DEAL
2320 S RONKE LN
NEW BERLIN WI 53151

1159177

SANCTUARY OF WOODSHIRE
5300 S 108 ST STE 1
HALES CORNERS WI 53130

1194040

SCOTT ABENDROTH
15560 W SCHNEIDER LN
NEW BERLIN WI 53151

1194055

STEVEN J. LUKACH
2385 S BROOKSIDE PKWY
NEW BERLIN WI 53151

1194069

STEVEN R. KRAFT
2350 S BROOKSIDE PKWY
NEW BERLIN WI 53151

1194044

THOMAS J. KEENAN
2315 S RONKE LN
NEW BERLIN WI 53151

1159109

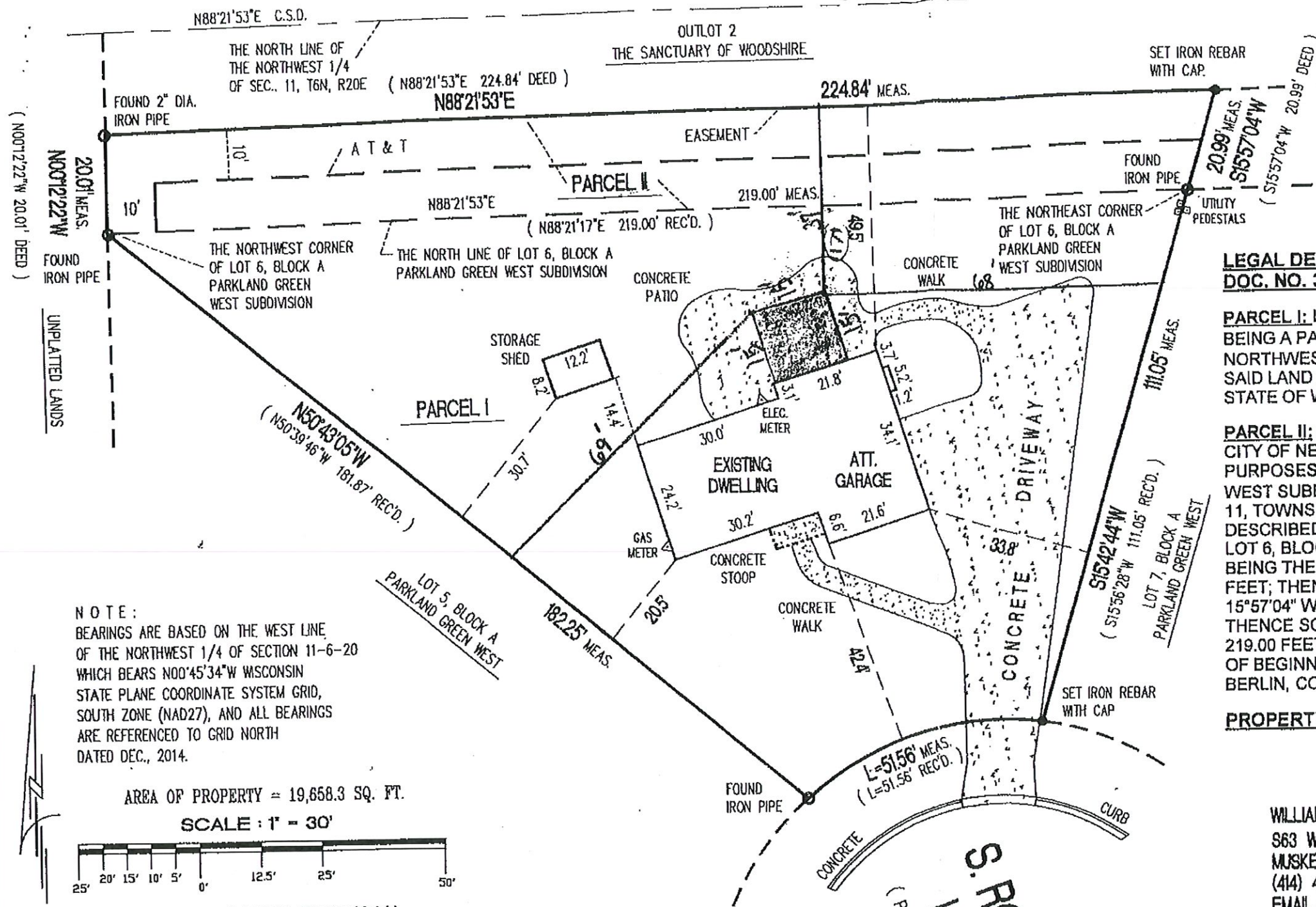
TIMOTHY F. CANDEK
15255 W LINCOLN AVE
NEW BERLIN WI 53151

1194025

TODD BARCZAK
2405 S RONKE LN
NEW BERLIN WI 53151

1194066

WILDE REVOCABEL LIVING TRUST, MARY
2300 S BROOKSIDE PKWY
NEW BERLIN WI 53151



**LEGAL DESCRIPTION FROM QUIT CLAIM DEED
DOC. NO. 3812162 RECORDED 01/21/2011**

PARCEL I: LOT 6, IN BLOCK LETTERED "A" IN PARKLAND GREEN WEST, BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 11, IN TOWNSHIP 6 NORTH, RANGE 20 EAST, SAID LAND BEING IN THE CITY OF NEW BERLIN, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

PARCEL II: ALL THAT PART OF LANDS WHICH HAVE BEEN DEEDED TO THE CITY OF NEW BERLIN WHICH WERE FORMERLY RESERVED FOR ROAD PURPOSES, WHICH ARE NORTH OF AND ADJACENT TO PARKLAND GREEN WEST SUBDIVISION, BEING A PART OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 6 NORTH, RANGE 20 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 6, BLOCK A OF SAID PARKLAND GREEN WEST SUBDIVISION, ALSO BEING THE POINT OF BEGINNING, THENCE NORTH 00°12'22" WEST 20.01 FEET; THENCE NORTH 88°21'53" EAST 224.84 FEET; THENCE SOUTH 15°57'04" WEST 20.99 FEET TO THE NORTHEAST CORNER OF SAID LOT 6; THENCE SOUTH 88°21'53" WEST ALONG THE NORTH LINE OF SAID LOT 6, 219.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 6, AND THE POINT OF BEGINNING OF SAID PARCEL. SAID LAND BEING IN THE CITY OF NEW BERLIN, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

PROPERTY ADDRESS: 2305 S. RONKE LANE, NEW BERLIN, WISCONSIN.

WILLIAM J. KARPEN R.P.L.S.
S63 W13007 JANESVILLE ROAD
MUSKEGO, WI 53150
(414) 469-2149 (CELL)
EMAIL: bklsurvey@gmail.com

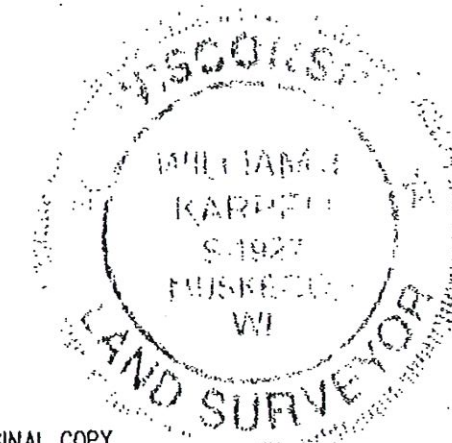
RECORDED CURVE DATA

RADIUS	CHORD	BEARING	DELTA
60.00'	49.99'	S72°50'41"W	49°14'00"

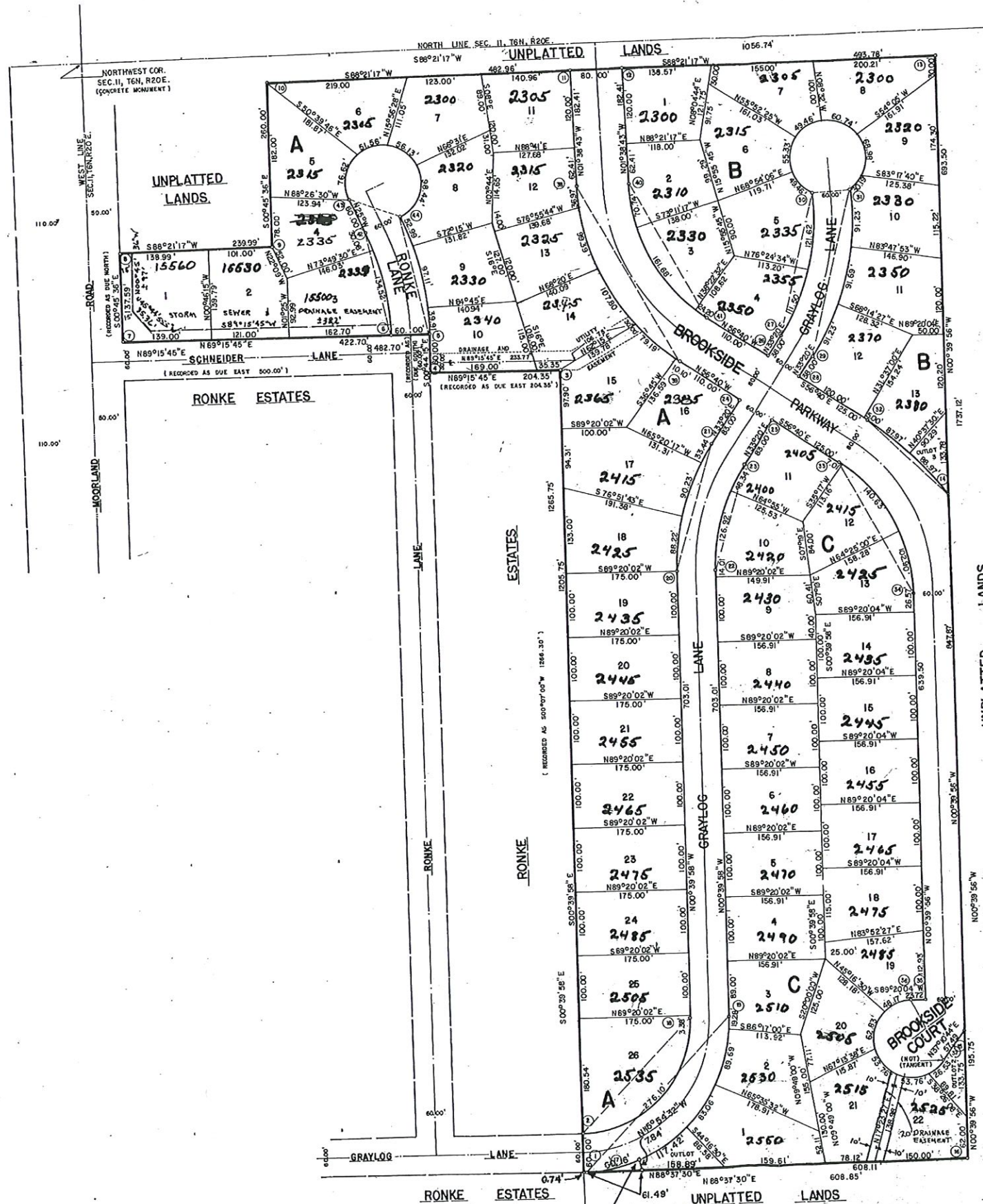
FIELD MEASURED CURVE DATA

RADIUS	CHORD	BEARING	DELTA
60.00'	49.99'	S72°51'08"W	49°14'17"

TO BE AN ORIGINAL COPY
THIS STAMP MUST BE RED



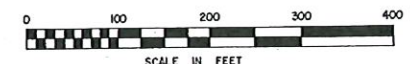
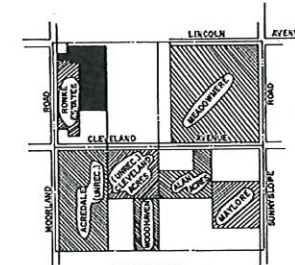
5-147



PARKLAND GREEN WEST

PART-NW 1/4 & SW 1/4 OF THE NW 1/4 OF
SECTION 11, T6N, R20E, CITY OF NEW BERLIN,
WAUKESHA COUNTY, WISCONSIN.

BY HOFFMANN, POLZIN & ASSOCIATES INC., WAUKESHA, WIS.
WAUKESHA COUNTY SURVEYORS OFFICE.



LEGEND,
o - INDICATES 2" X 30" IRON PIPE, 3.65 LBS. PER LINEAL FOOT
ALL OTHER LOT CORNERS 1" X 24" IRON PIPE, 1.13 LBS. PER LINEAL FOOT

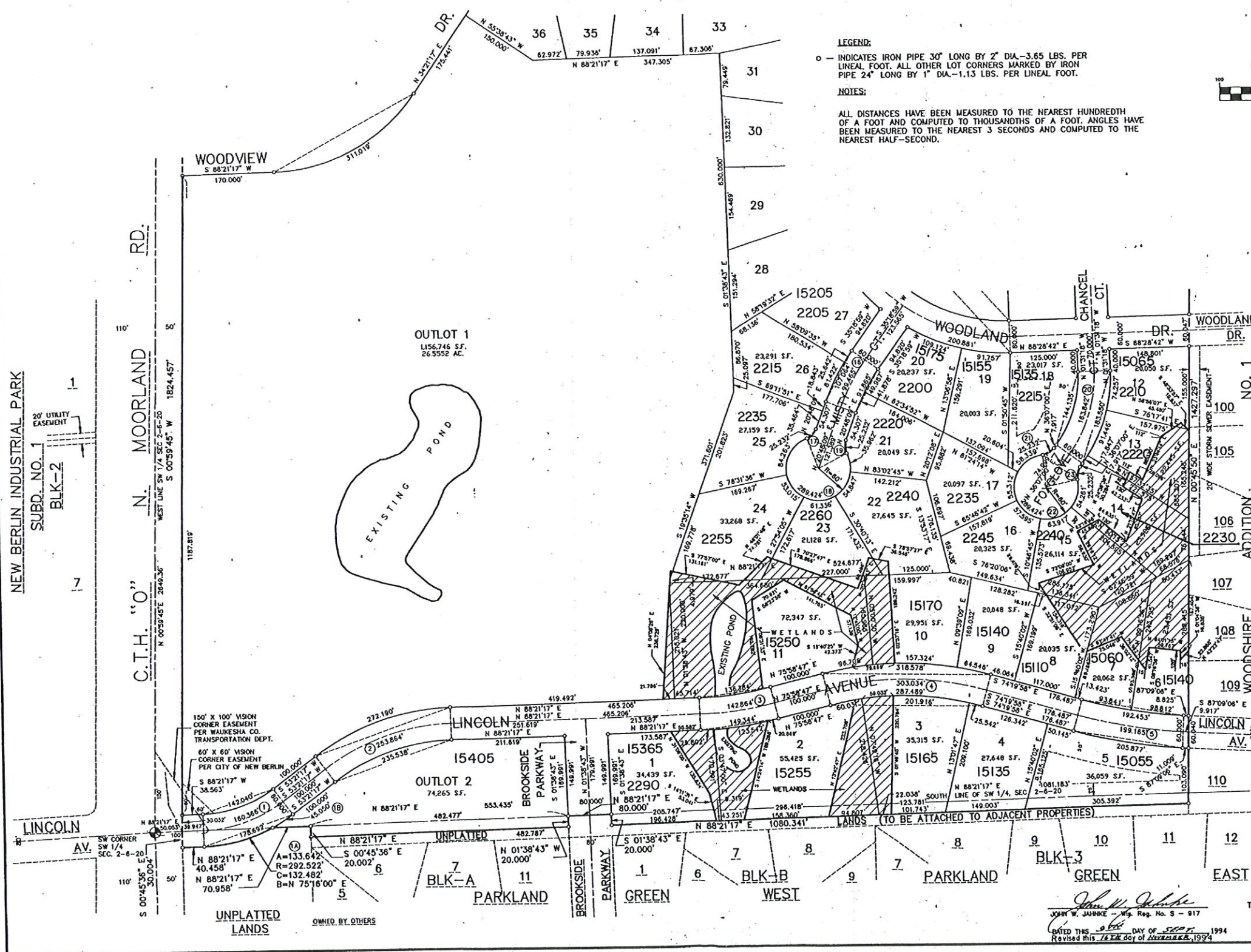
There are no objections to this plat with respect to Secs. 236.15,
236.16, 236.20 and 236.21 (1) and (2), Statutes, or by the County
Planning Agency.
Certified this 15th day of MAY, A.D. 1968.
[Signature]
Director, Local and Regional Planning
Department of Local Affairs & Development.

IDENTIFIED BY NEW BERLIN
WEST LIAISON, U.S. DEPT.
NAD 83, WISCONSIN
WISCONSIN SOUTH ZONE

5-147

THE SANCTUARY OF WOODSHIRE

BEING A SUBDIVISION OF PART OF THE NE 1/4, NW 1/4, SE 1/4 AND SW 1/4 OF THE SW 1/4 OF SECTION 2, T. 6 N., R. 20 E.
AND PART OF THE NW 1/4 AND NE 1/4 OF THE NW 1/4 OF SECTION 11, T. 6 N., R. 20 E. IN THE
CITY OF NEW BERLIN, WAUKESHA COUNTY, WISCONSIN



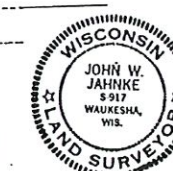
GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

NOTES:

8. LINCOLN AVE. DRIVEWAY ACCESS SHALL BE SUBJECT TO PARAGRAPH 4.14 OF DEED RESTRICTIONS REQUIRING T-TURNAROUNDS BE PROVIDED ON THE LOT.
9. LOT SIZE REQUIRED BY PRESENT ZONING OF LANDS WITHIN THIS PLAT ARE AS FOLLOWS:
 A) LOTS SHALL BE A MINIMUM OF 20,000 SQ. FT.
 B) LOTS SHALL BE 100' AT THE SETBACK LINE.
 C) CORNER LOTS SHALL BE 120' AT THE SETBACK LINE.
10. OUTLOT-1 WILL BE PERMITTED ONE POINT WHICH SHALL BE LIMITED TO A RIGHT TURN IN AND RIGHT TURN OUT ONLY.
11. NO ACCESS TO ANY ROADWAY SHALL BE PERMITTED OVER THE VISION CORNERS FROM THE ADJACENT LOTS.
12. LOTS 27, 28, AND 37 THROUGH 50 ARE PART OR COMPLETELY IN AN ISOLATED NATURAL AREA. DEVELOPMENT ON THESE LOTS SHALL CONFORM TO APPLICABLE REGULATIONS.
13. LOTS 5 AND 18 ARE RESTRICTED TO BUILDING PAD AREAS DELINEATED ON THIS PLAT. NO ZONING BOARD OF APPEALS REQUEST WILL BE HEARD.



JOHN W. JAHNKE - Reg. No. 5917
 DATED THIS 10th DAY OF SEPTEMBER, 1994
 Revised this 10th DAY OF SEPTEMBER, 1994

THIS INSTRUMENT DRAFTED BY: R. J. BORKOWSKI
 PLOT DATE: SEPTEMBER 9, 1994
 SHEET NO. 2 OF 4 SHEETS

S-269

STAFF REPORT SUMMARY

Board of Appeals

MEETING DATE: February 3, 2022

PETITIONER: Maria Koerner on behalf of WE Energies

CASE NUMBER: BA-22-2661

LOCATION: 17990 W. Cleveland Avenue (Tax Key # 1188-990)

REQUEST: Petitioner requests to construct a 498 square foot addition 4 feet from the east side property line. The property is zoned I-1 Institutional District and requires a side yard setback of 50 feet. A variance of 46 feet is required in order to obtain a building permit.

DETAILS IN ATTACHED STAFF REPORT

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
BOARD OF ZONING APPEALS STAFF REPORT
Meeting of February 3rd, 2022

**Maria Koerner on behalf of We Energies / Variance Request
17990 W. Cleveland Avenue**

DATE: January 5th, 2022

APPLICANT / OWNER(S): Maria Koerner on behalf of WE Energies / ANR Pipeline Company

REQUEST/DESCRIPTION OF VARIANCE: Petitioner requests to construct a 498 square foot addition 4 feet from the east side property line. The property is zoned I-1 Institutional District and requires a side yard setback of 50 feet. A variance of 46 feet is required in order to obtain a building permit.

DATE OF APPLICATION: December 23rd, 2021

SIZE OF PARCEL: 2.5515 Acres

CURRENT ZONING: I-1, Institutional District

CURRENT LAND USE: Institutional

PROPOSED LAND USE: No change

ADJACENT ZONING AND LAND USE:

North Zoning: P-1, C-1/C-2	Land Use: Stigler Nature Preserve, Upland Resource Conservancy District & Shoreland Wetland Holding District
South Zoning: R-1/R-2 SCA/C-2	Land Use: Rural Conservation Single Family Residential District & Shoreland Wetland Holding District
East Zoning: I-1	Land Use: Institutional District
West Zoning: P-1, C-1/C-2	Land Use: Milwaukee Casting Club Inc., Upland Resource Conservancy District & Shoreland Wetland Holding District

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Current use of property conforms to the Comprehensive Plan and Municipal Code.

Chapter 12: Neighborhood B: West Lincoln Avenue & Western Area: Yes, this submittal meets the intent of this Chapter

Land Use:

- *Future Land Use Map:* Institutional

ZONING CODE (CHAPTER 275): I-1 (Institutional District), C-1 (Upland Resource Conservancy District) 275-36B(1)

PROPOSED ARCHITECTURE: 498 Square Foot Addition

UNIQUE SITE CHARACTERISTICS:

Environmental Corridor: Yes

Wetland on Property: Yes, potential wetlands, however they are not located near the addition

Conservancy Districts (C-1, C-2): C-1

NRCS Map Classification: N/A

Floodplain: No

Topography / Geologic: flat

NATURAL RESOURCES PROTECTION:

-**Limits of Disturbance (LOD):** Shown on site plan. Area is currently hard surface.

-**Wildlife Habitat Protection:** N/A

-**Wildlife Management Plan:** N/A

ENVIRONMENTAL IMPACT: No impact to the local environment anticipated. Area is currently hard surface.

STORMWATER MANAGEMENT / DRAINAGE PLAN: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:

-**Within Current Sewer Service Area:** No

-**Basin Capacity Available:** N/A

-**Basin Balance (If known):** N/A

-**Adequate Linkage:** N/A

PREVIOUS BOARD OF APPEALS ACTION: No

CONSISTANCY WITH PREVIOUS ACTION: N/A

FINDINGS:

1. Table 275-36-2 of the Zoning Code requires a 50 foot side yard setback in the I-1 District.
2. The purpose of requesting an addition to the existing southeast building is to enclose and relocate the existing odorant tank that is currently located outside, north of the northwest building. See attached statement for additional information.
3. Plan Commission review and approval will be required if the BOA grants the variance.
4. Most recent activity, in 2005 the City approved a 20' x 30' accessory heater building to the WE Energies gas meter and regulation gate facility.

Attachments:

Applicant Letter

Location Map

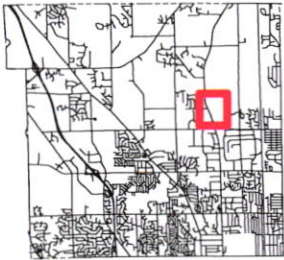
Board of Appeals Application

Mailing Labels Map

Site Survey

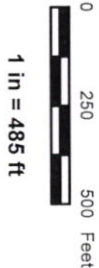
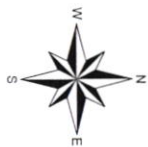
Building plans

Overview Map



Legend

- Parcels
- Road Right-of-Way
- Road ROW Ultimate



City of New Berlin
Department of Community Development
3805 S Casper Drive, New Berlin WI 53151
(262) 797-2445
www.newberlin.org

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City of New Berlin Department of Community Development
 3805 S. Casper Drive, New Berlin, WI 53151
 Phone (262) 797-2445 / Fax (262) 780-4612 / www.newberlin.org/dcd



Board of Appeals

Applicant / Contact

Name We Energies
 Address 231 West Michigan Street - P277
 City, State, Zip Milwaukee, WI 53203
 Phone 414-221-2750
 E-Mail real-estate@wecenergygroup.com
 Current Zoning I-1 Institutional

Agent

Name Maria Koerner
 Address 231 West Michigan Street - P277
 City, State, Zip Milwaukee, WI 53203
 Phone 414-221-2727
 Email maria.koerner@we-energies.com
 Property Owner's Address 17990 W. Cleveland Avenue
 Property Owner ANR Pipeline Company

NOTE: Should the Board of Appeals approve your variance, you will also need to obtain the appropriate zoning and/or building permits. A Board of Appeals approval does not grant final approval for your respective use or construction project. It is the property owner's responsibility to ensure that the appropriate permits have been received prior to the commencement of any construction and/or occupancy.

INSTRUCTIONS

All petitions must be accompanied by a survey showing the existence of the present use and the change required. Scaled drawings may be substituted for surveys. However, the Board may request a certified survey at the time of the hearing. Photographs and blueprints of proposed construction are helpful. A \$50.00 filing fee plus a \$200.00 administrative fee must be paid at the time the petition is filed for setback, square footage, height and floodplain variance. A \$500.00 administrative fee plus a \$50.00 filing fee is required for Plan Commission appeal.

Petitions must be received on or before 4:30 pm of the required due date in order for the petition to be scheduled for review by the board on first Thursday of the following month. Meetings are normally held at 6pm

At the hearing, proper documentation will be reviewed. Petitioner, or agent, will speak first along with those who favor the petition. Those who oppose the petition will be given the opportunity to speak after the affirmative case has been argued. All argument should be relevant to the appeal presented. The Board may, at its discretion, limit debate and place witnesses under oath.

Application Type (Time frame)*	Fees	Required Plans/Information (Failure to submit all required plans will result in rejection of the application.)
☒ Setback/Size Variance	\$200+ \$50 Filing Fee	☒ Nature of Appeal – 8 copies ☒ Hardship Argument – 8 copies ☒ Scaled Drawing/ Survey – 8 copies ☒ Photos – 8 copies
☐ Flood Plain	\$200+ \$50 Filing Fee	☐ Nature of Appeal – 8 copies ☐ Hardship Argument – 8 copies ☐ Scaled Drawing/ Survey – 8 copies ☐ Photos – 8 copies
☐ Plan Commission	\$500+ \$50 Filing Fee	☐ Nature of Appeal – 8 copies ☐ Hardship Argument – 8 copies

- - CONTINUED ON PAGE 2 - -

Fees:

Base Fee From Above	\$ 200.00
Filling Fee	\$ 50.00
Total	\$ 250.00

* Only if all required materials are submitted and satisfactory.

¹ Other plans and information may be required by staff upon further review of the project.

² Drawn to a scale no greater than 1"=100'.

³ All architectural plans at a scale no smaller than 1/8" = 1'

⁴ Colored building elevation, architectural rendering, or photos suitable for public presentation to fit on a single 8½" x 11" or 11" x 17" sheet.

No refunds for denied applications

By the execution of this application, applicant hereby authorizes the City of New Berlin or its agents to enter upon the property during the hours of 7:00 A.M. to 7:00 P.M. daily for the purpose of inspection. Applicant grants this authorization to enter to the City of New Berlin or its agents even if applicant has posted this land against trespassing pursuant to Section 943.13 Wis. Stats.

Signature Koerner, Maria S

Digitally signed by Koerner, Maria S
Date: 2021.12.28 12:11:39 -06'00'

Date: 12/28/2021

Only the property owner or property manager may sign, or letter/email of authorization required. The final responsible party is the property owner.

Please do not write below this line

Accepted by: _____ Date: _____

Board of Appeals Date: _____

Total Fee: _____

File Number: _____



**Make Checks Payable To:
CITY OF NEW BERLIN**

Nature of Appeal

The purpose of requesting an addition to the existing southeast building is to enclose and relocate the existing odorant tank that is currently located outside, north of the northwest building. Benefits to granting the variance for the proposed building addition on the southeast building are:

1. Relocating the tank next to the existing gas regulator station avoids additional pipe to transport the odorant to the regulator station. This will limit any unnecessary exposure to an odorant leak.
2. Enclosing the tank within the proposed addition provides an extra barrier from the elements.
3. In addition, the enclosure will contain the odorant should the tank ever be compromised. Containing an odorant leak is helpful to the environment and the public's perception of safety.

Statement of Unnecessary Hardship

This existing natural gas gate station and regulator station has demonstrated its ability to exist in the current location and in proximity to the property lines without undue conflict since the late 1950's. We Energies' request to update/expand the gas equipment infrastructure at this property with the proposed building addition is to continue with the industry and company's best management practices and our commitment to providing safe and reliable natural gas service.

The width of the property is 125 ft. from east to west. The existing four buildings are all within the 50 ft. setbacks. Alternate location options considered for the addition would require a variance also. The proposed addition will be within the current setback requirements. It will not cause harm to the public or neighboring interest, which is consistent with the spirit and intent of the zoning district.

A PROPOSED ADDITION TO UTILITY BUILDING FOR:

WE ENERGIES - MILWAUKEE TAP GATE STATION

17990 CLEVELAND AVENUE ■ NEW BERLIN , WI

DRAWING INDEX

SHEET NO. _____ DESCRIPTION

- 1

—

TITLE SHEET
SITE PLAN
- 2

—

GENERAL NOTES, SYMBOLS, AND
ABBREVIATIONS
STRUCTURAL NOTES
FOUNDATION DETAILS
- 3

—

DEMOLITION FLOOR PLAN
REMODELED FLOOR PLAN
FOUNDATION PLAN
ROOM & DOOR SCHEDULE
- 4

—

LIGHTING PLAN
ROOF PLAN / ROOF FRAMING PLAN
GROUNDING NOTES
- 5

—

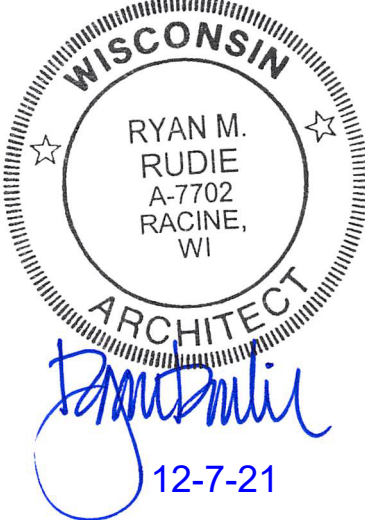
EXTERIOR ELEVATIONS
DETAILS
- 6

—

CROSS SECTIONS
DETAILS
- 7

—

CROSS SECTIONS
DETAILS



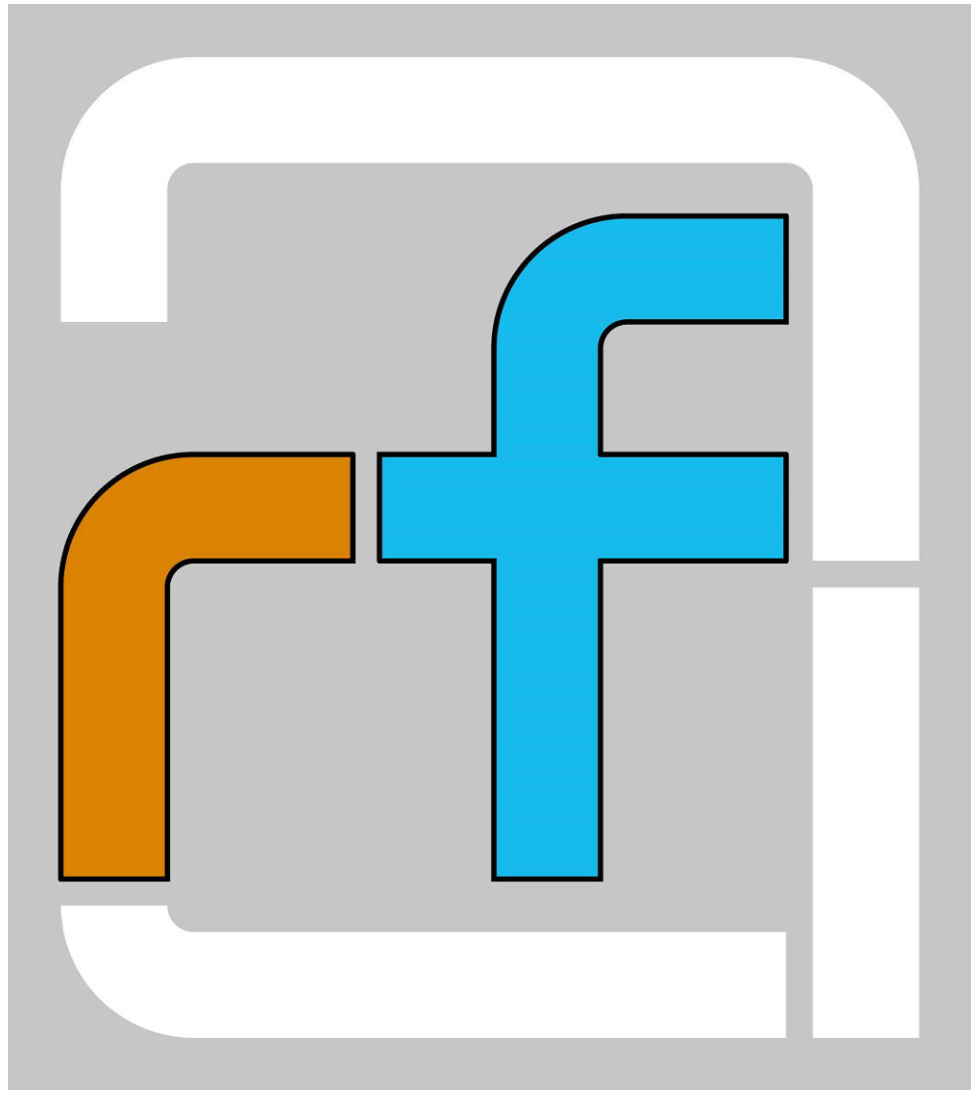
RUDIE | FRANK

ARCHITECTURE

920 GOOLD STREET ■ RACINE, WI 53402 ■ 262.634.5565
INFO@RUDIEFRANK.COM

PROJECT INFO

OCCUPANCY TYPE: UTILITY
GROUP: U
CONSTRUCTION CLASS: IIB
AREA OF PROJECT: 498 Sq. Ft.



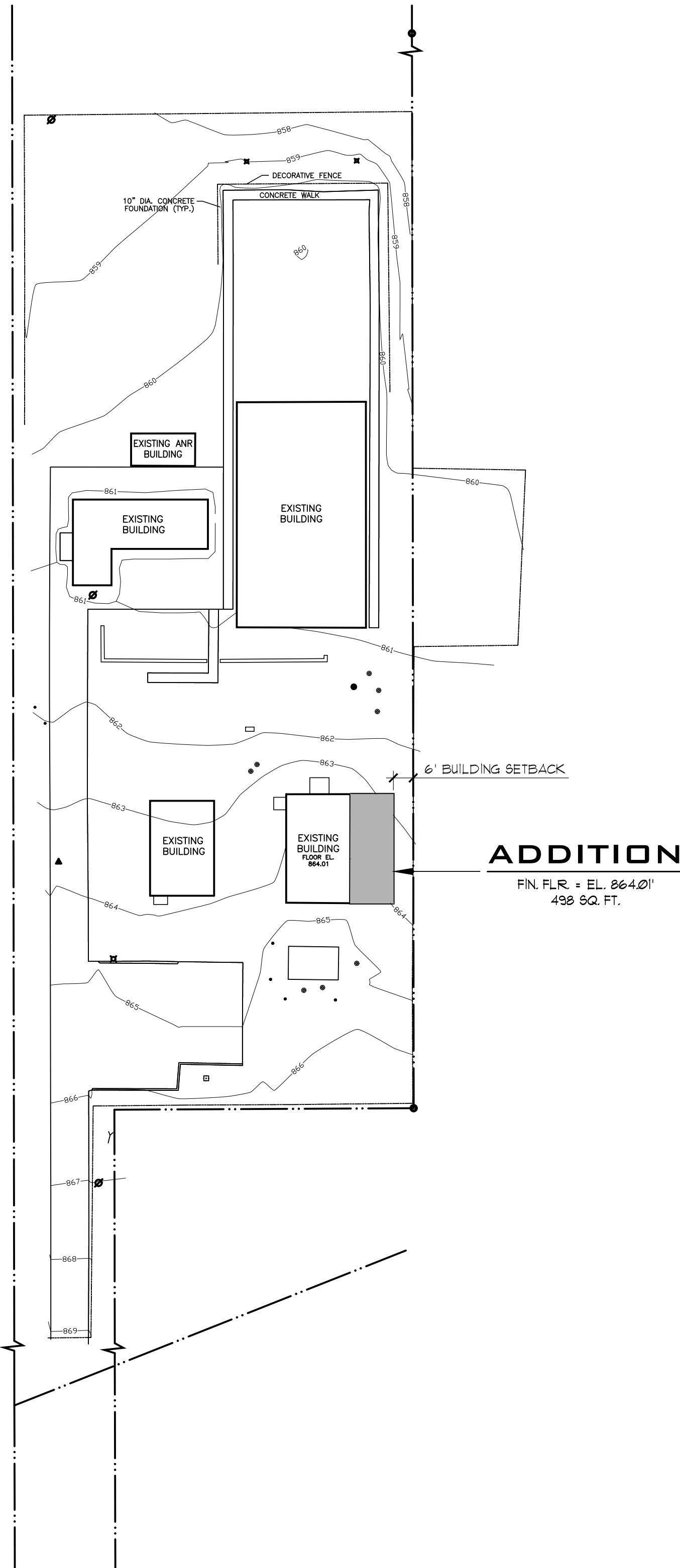
REVISIONS

DATE
DEC. 7, 2021

PROJECT NO.
52-21

SHEET NO.
1

WE ENERGIES - MILWAUKEE TAP GATE STATION



SITE PLAN
SCALE: 1" = 30'-0"

SKYLIGHT

UNITS SHALL BE FIXED THERMOFORMED ACRYLIC DOUBLE DOMED W/ EXTRUDED INSULATED CURB SIMILAR TO Wisco Products, Inc. MODEL C9'.

SIZE OF SKYLIGHT AS INDICATED ON FLOOR PLAN.

COLOR TO BE AS SELECTED BY OWNER.

SKYLIGHT SHALL BE FACTORY TESTED TO SUPPORT, WITHOUT FAILURE, A 40 PSF POSITIVE AND 20 PSF NEGATIVE TEST PRESSURE.

SKYLIGHT SHALL HAVE INTEGRAL CONDENSATION GUTTER AND DRAIN HOLES FOR DRAINING ANY MOISTURE OUTSIDE.

FURNISH AND INSTALL FLASHING AROUND SKYLIGHT UNIT IN ORDER TO PROVIDE WATER TIGHT CONSTRUCTION.

FOUNDATION NOTES

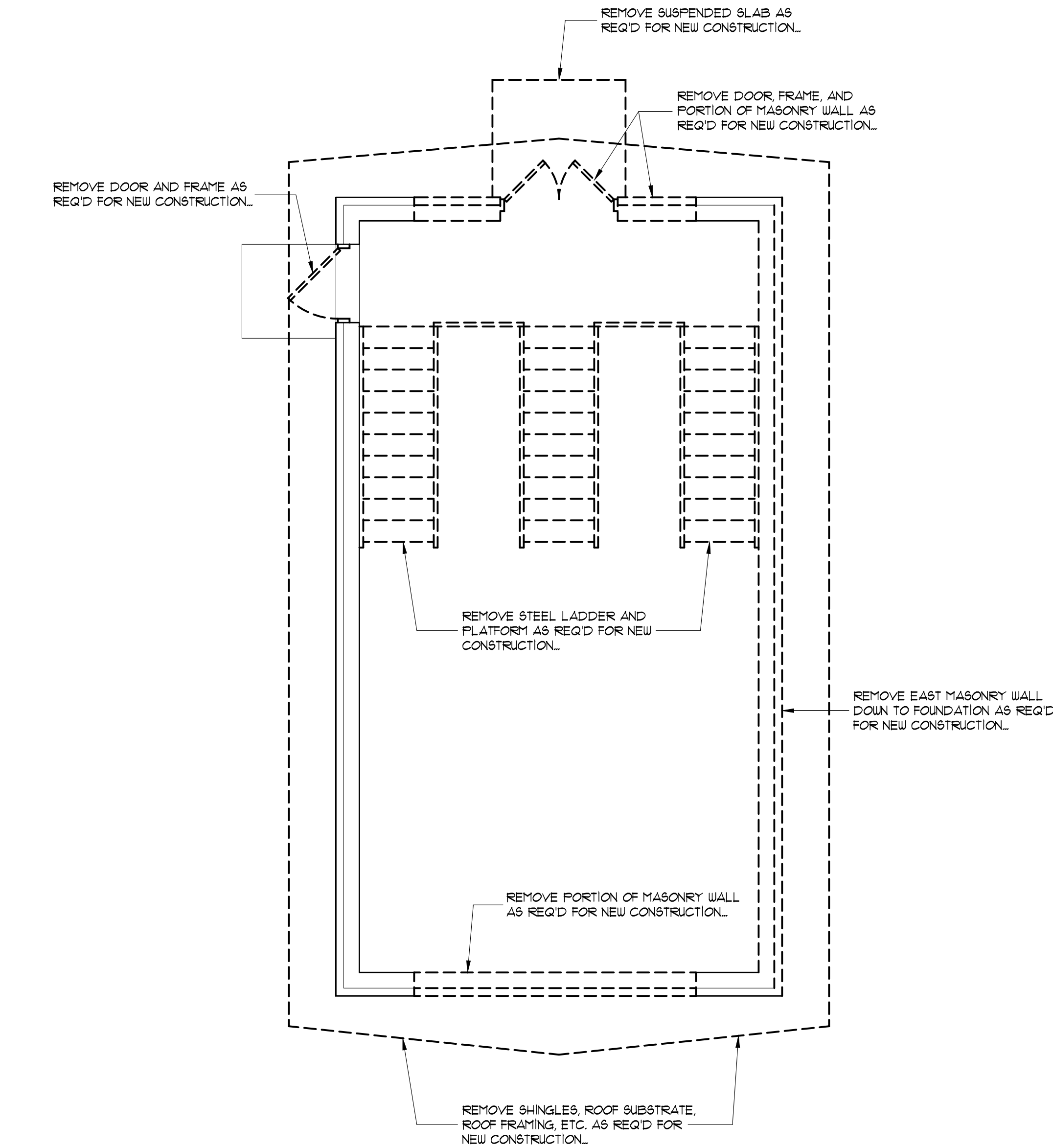
BOTTOM OF ALL FOOTINGS MUST BE 4'-0" MINIMUM BELOW FINAL ADJACENT EXTERIOR GRADE FOR FROST PROTECTION.

CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS AND ELEVATIONS CONFORM TO THOSE SHOWN ON ARCH PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

EXCAVATIONS FOR FOUNDATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL. CONTRACTOR SHALL HIRE SOILS ENGINEER TO FIELD VERIFY 2000 PSF NET ALLOWABLE SOIL BEARING CAPACITY.

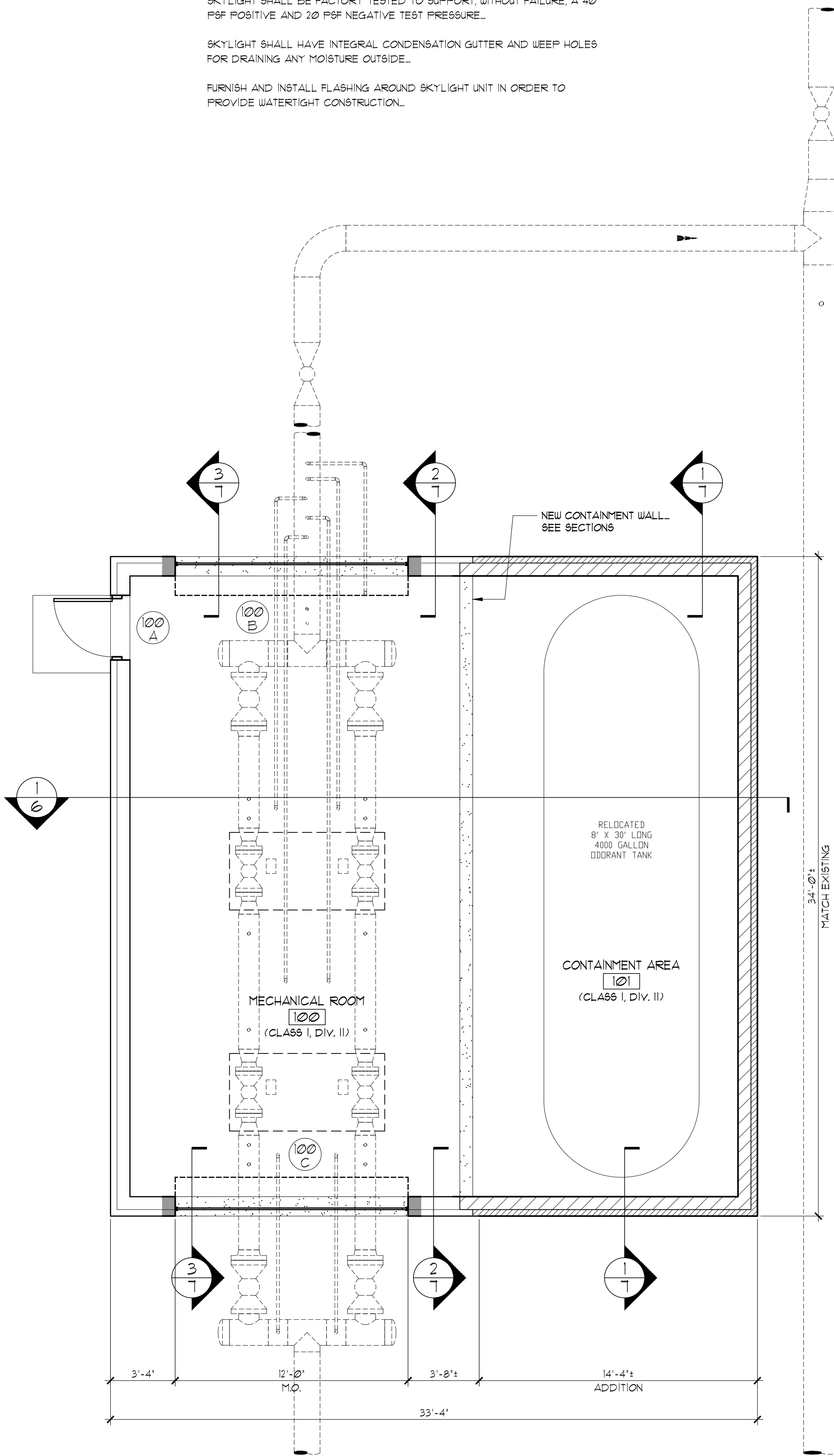
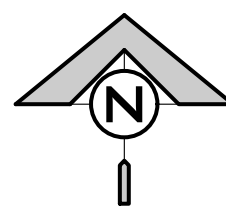
FOLLOW 'BURIED CONSTRUCTION ADJACENT TO FOOTING' DETAIL AT ANY UTILITY LINE INTERFERENCE W/ FOOTINGS. FIELD VERIFY EXISTING UTILITY LINE SIZE, LOCATION, AND ELEV. SEE ARCH AND MECH PLANS FOR NEW UTILITY LINES.

REMOVE UNSUITABLE EXISTING SOILS BELOW FOOTINGS AND SLABS ON GRADE. REPLACE WITH ENGINEERED FILL. FILL MATERIAL BELOW SLABS SHALL BE FREE DRAINING GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND PLACED IN 9" LIFTS. FILL BELOW FOOTINGS SHALL BE AS SHOWN IN 'ALTERNATE FOUNDATION SECTIONS' 1A' OR 1B'. FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER. FILL SHALL BE PLACED PER SOILS REPORT AND UNDER THE DIRECTION AND SUPERVISION OF THE SOILS ENGINEER.



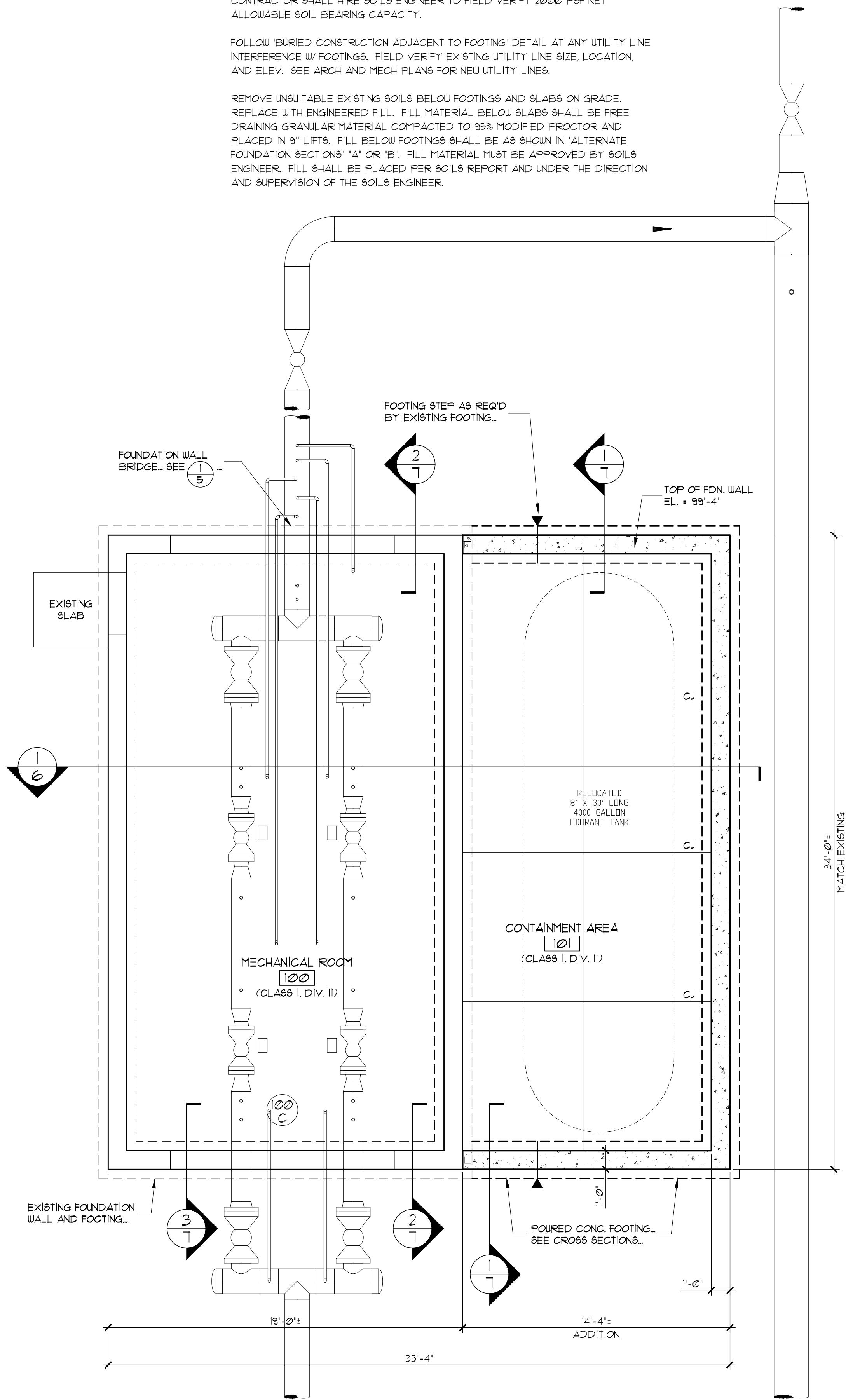
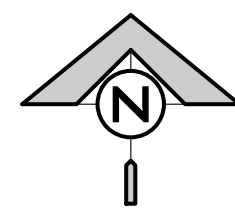
DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



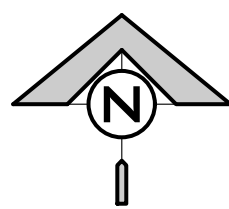
REMODELED FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



ROOM FINISH SCHEDULE								
NO.	ROOM NAME	FLOOR	BASE	WALLS				REMARKS
				NORTH	SOUTH	EAST	WEST	
100	MECHANICAL ROOM	COMPACTED STONE	NONE	PAINTED CMU	PAINTED CMU	---	PAINTED CMU	EXPOSED STRUCTURE ABOVE
101	CONTAINMENT AREA	SEALED CONCRETE	NONE	PAINTED CMU	PAINTED CMU	PAINTED CMU	---	EXPOSED STRUCTURE ABOVE

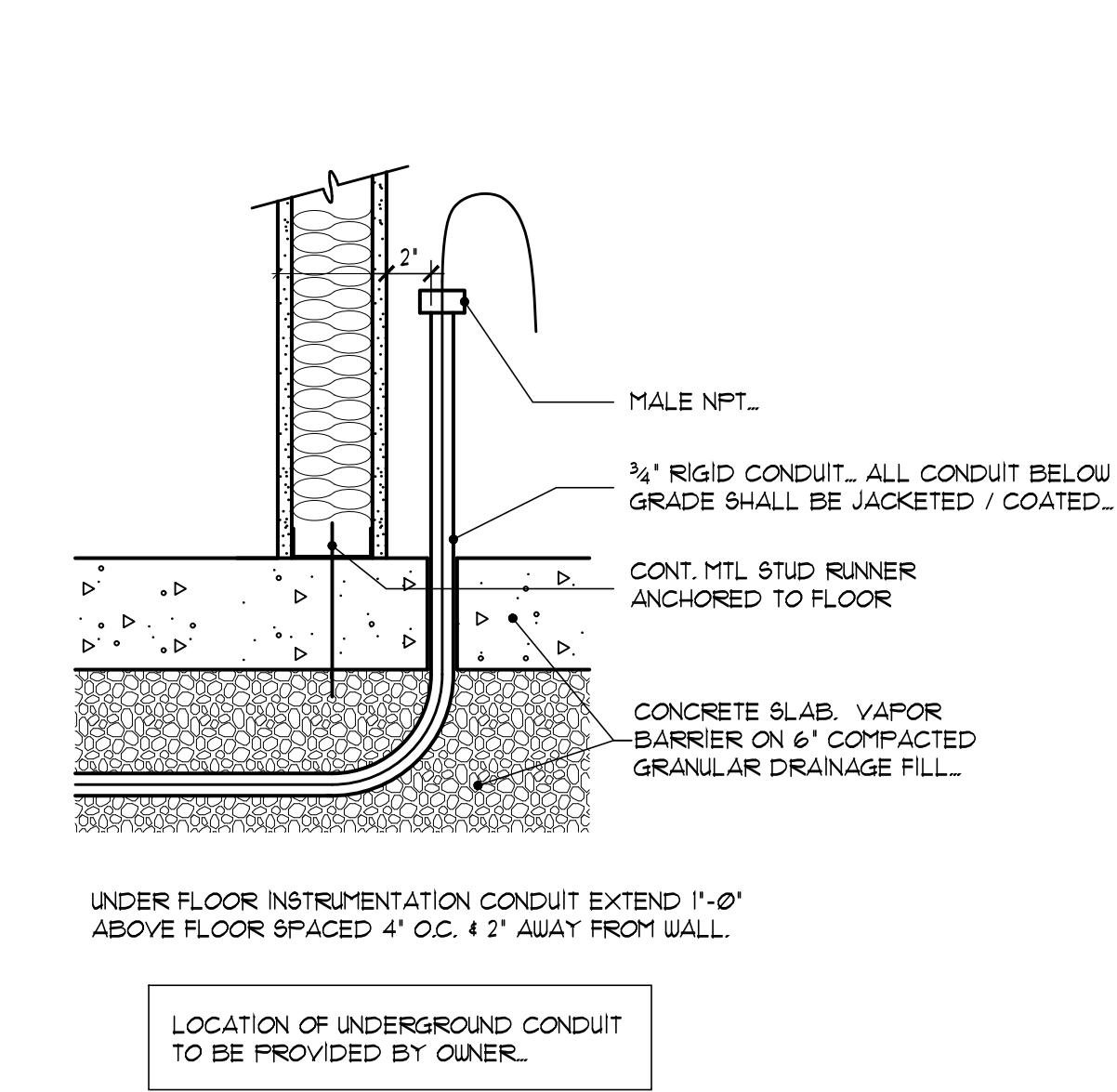
DOOR SCHEDULE											HARDWARE	
NO.	DOOR SIZE	DOOR					FRAME				DETAILS	NOTE: ALL LOCKS TO BE KEYED TO WE-ENERGIES YALE GC-1 KEY. CONTRACTOR TO INSURE PROPER LOCKSET HARDWARE BY WORKING W/ AAA LOCK COMPANY 1214 ST. MILWAUKEE, WI 44-342-1230 1 1/2" PAIR BUTTS, PANIC EXIT HARDWARE W/ MORTISE LOCK DEVICE 4 LEVER TRIM, CLOSER W/ HOLD-OPEN, FULL WEATHERSTRIPPING, ALUMINUM THRESHOLD
		TYPE	MATERIAL	FINISH	GLASS	LOUVER	TYPE	MATERIAL	FINISH	GLASS		
100A	3'-0" x WIDE x 7'-0" x HIGH (FIT IN EXISTING OPENING)	FLUSH	18 GAUGE INSULATED HOLLOW MTL.	PAINT	---	---	2" WIDE JAMB 4 HEAD	16 GAUGE HOLLOW MTL.	PAINT	---		
100B	12'-0" WIDE x 8'-8" HIGH COILING DOOR	---	---	---	---	---	---	---	---	---		
100C	12'-0" WIDE x 8'-8" HIGH COILING DOOR	---	---	---	---	---	---	---	---	---		

ELECTRICAL LEGEND

	LIGHT SWITCH		DUPLEX OUTLET 12" AFF		EXPLOSION PROOF SURFACE MOUNTED 48\"/>
	THREE-WAY LIGHT SWITCH		THERMOSTAT		EXPLOSION PROOF 48W LED LIGHT W/ GUARD (KILLARK LIGHTING "EPL4930X2G" OR EQUAL)
	EXPLOSION PROOF THREE-WAY LIGHT SWITCH		EXPLOSION PROOF 48W LED LIGHT W/ GUARD (KILLARK LIGHTING "EPL4930X2G" OR EQUAL)		LARGE LED FLOOD LIGHT FIXTURE MOUNTED ON TOP OF 50 FT. HIGH LIGHT POLE AND CONCRETE BASE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.
	EXPLOSION PROOF FOUR-WAY LIGHT SWITCH		EXPLOSION PROOF DOWNLEAD CASTING LED FLOOD LIGHT W/ WALL MOUNT IN COLOR AS SELECTED BY OWNER. (KILLARK "KFL60230" OR EQUAL)		
	EXPLOSION PROOF DUPLEX OUTLET (12" AFF) AND EXTENSION CORD PLUG (PIGTAIL)				

ELECTRICAL NOTES

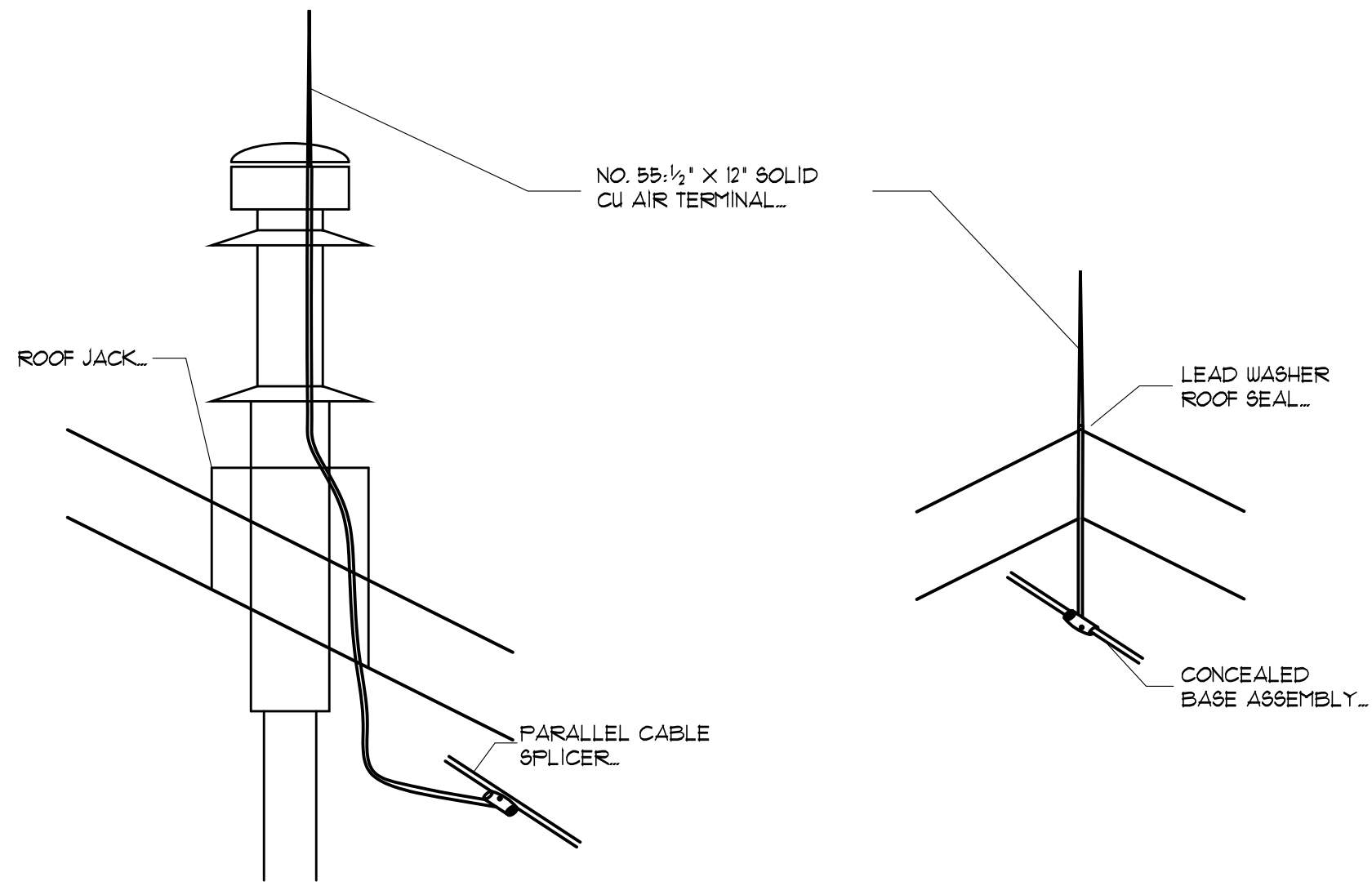
1. ALL CONDUIT FOR LIGHTING, POWER, ETC TO BE SURFACE MOUNTED IN FINISHED AREA 100%.
2. UNDER FLOOR CONDUITS SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR FOR OWNER'S USE - NOT TO BE USED FOR ELECTRICAL LINES.. ALL CONDUITS TO BE 1" UNLESS NOTED OTHERWISE.
3. ALL OUTLETS, SWITCHES & LIGHT FIXTURES IN MECHANICAL ROOM SHALL BE EXPLOSION PROOF.
4. SPACE ALL CONDUIT 4" O.C. & 4" AWAY FROM EXT. WALLS.



CONDUIT PLAN

NO SCALE

1



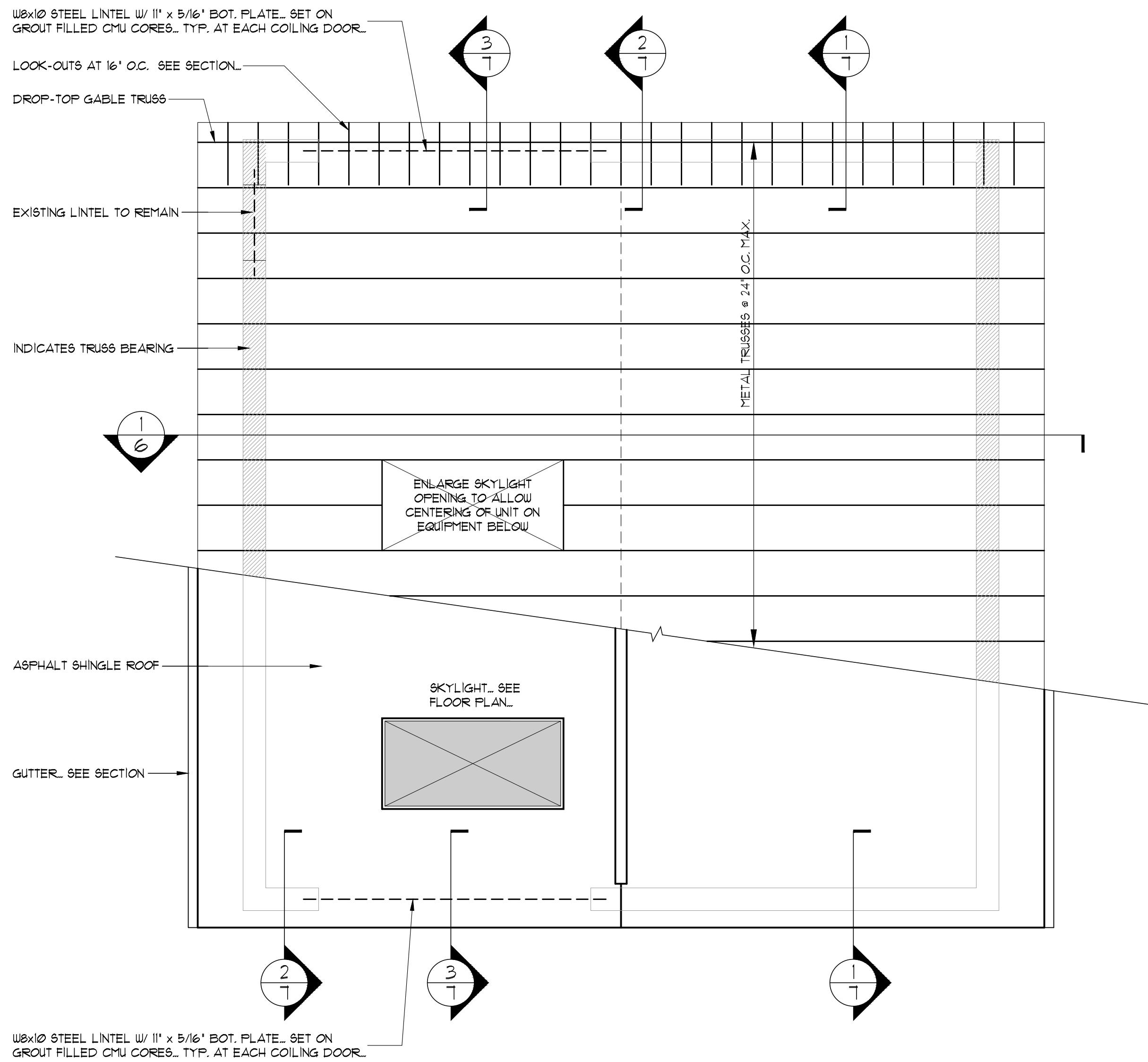
TYPICAL GROUNDING DETAILS

NO SCALE

2

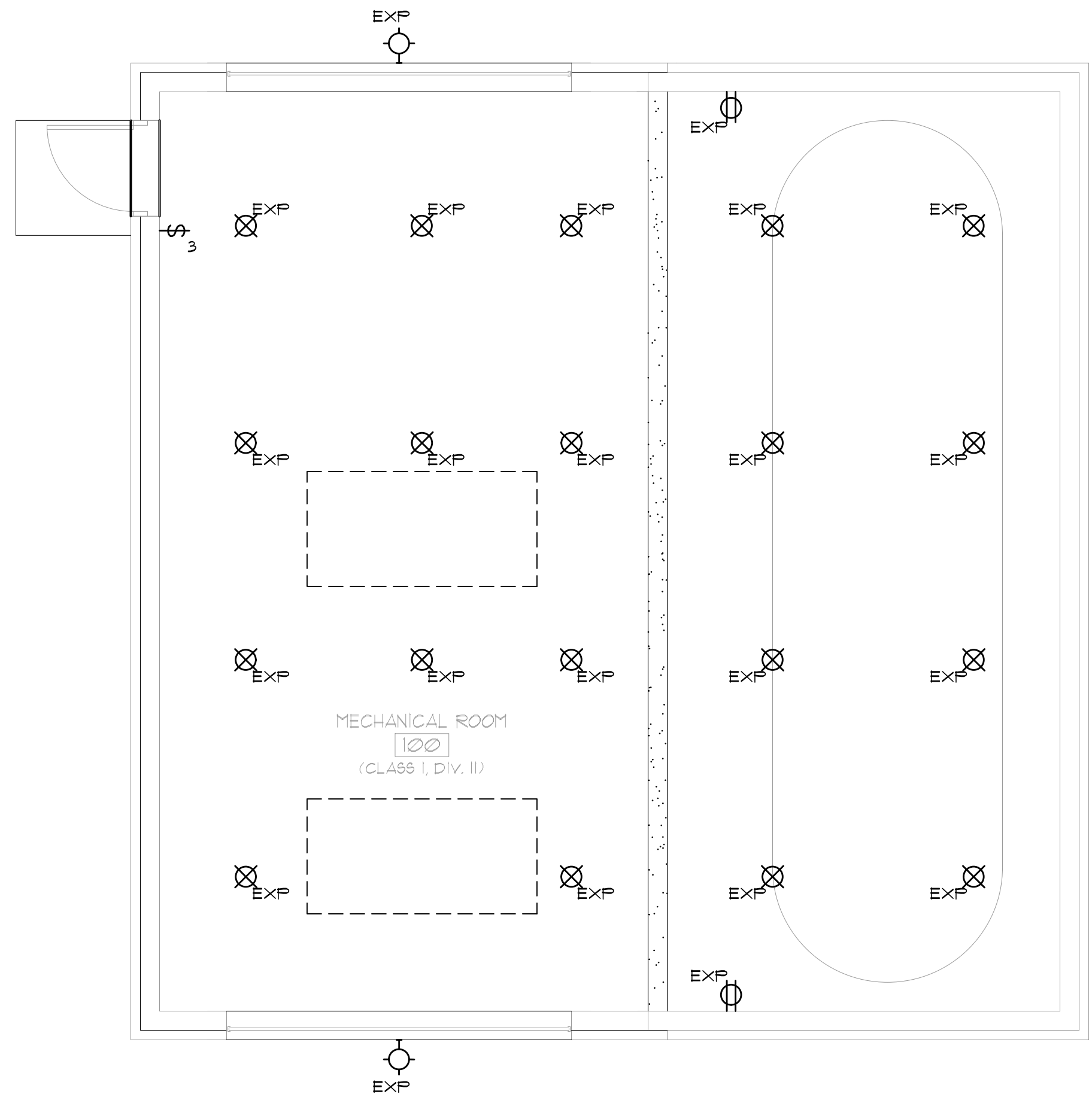
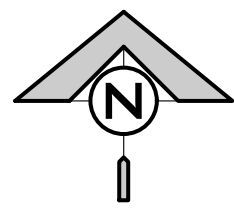
BUILDING GROUND SYSTEM

- 1) GENERAL/ELECTRICAL CONTRACTOR SHALL FURNISH, DESIGN, AND INSTALL A COMPLETE BUILDING GROUNDING SYSTEM BASED ON STATE AND LOCAL CODES AND THE FOLLOWING GUIDELINES.
- 2) PROVIDE 4# BARE COPPER WIRE LOOP 18\"/>
- 3) INTERCONNECT TO ELECTRIC, TELEPHONE AND OTHER BUILDING GROUNDING SYSTEMS.
- 4) PROVIDE AIR TERMINAL PER EITHER OF THE DETAILS, SEE DETAIL 2 ON THIS SHEET.. TAKE CARE TO INSURE THAT ALL POINTS ARE WITHIN 2'-0\"/>
- 5) MAINTAIN HORIZONTAL OR DOWNWARD COURSEING OF MAIN CONDUCTOR AND INSURE THAT ALL BENDS HAVE AT LEAST AN 8\"/>
- 6) ATTACH ALL EXPOSED ROOF, DOWN LEAD AND BONDING CABLES AT 3'-0\"/>
- 7) "AS-BUILT" DRAWING SHALL BE SUBMITTED IN ACCORDANCE WITH CERTIFICATION PROCEDURES.
- 8) ALL MATERIALS TO BE UNDERWRITER'S LABORATORIES APPROVED WITH LABELS ON CONNECTORS @ 10'-0\"/>
- 9) PROVIDE A TAIL FOR CONNECTION TO EXISTING PLANT GROUNDING GRID. OWNER WILL EXTEND EXISTING GRID TO TAIL PROVIDED BY CONTRACTOR.
- 10) GROUND WIRES INSIDE OF THE BUILDING SHALL BE RUN IN 1\"/>



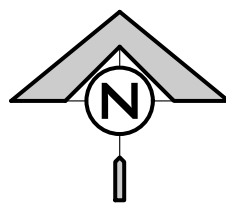
ROOF PLAN / ROOF FRAMING PLAN

SCALE: 1/4\"/>



LIGHTING PLAN

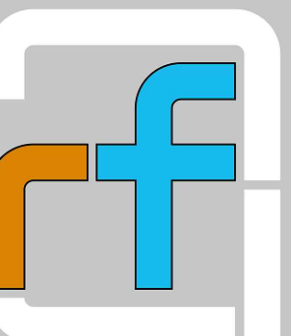
SCALE: 1/4\"/>



A PROPOSED ADDITION TO UTILITY BUILDING FOR:

WE ENERGIES - MILWAUKEE TAP GATE STATION

17990 CLEVELAND AVENUE ■ NEW BERLIN, WI



PROJECT NO.

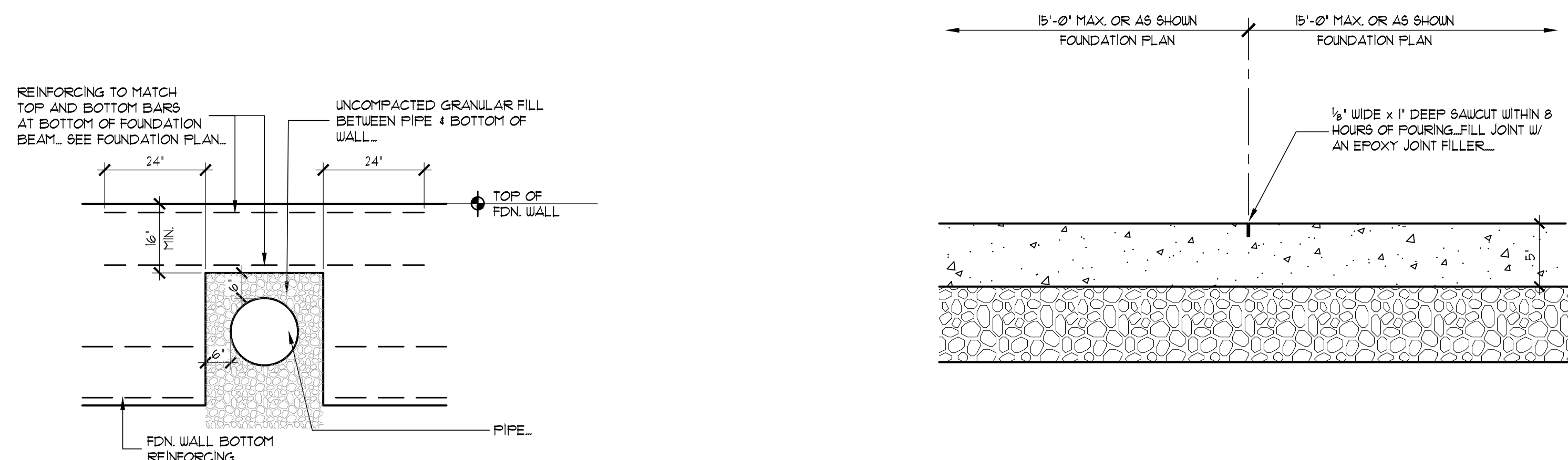
52-21
PERMIT SET
DEC. 7, 2021

REVISIONS

SHEET NO.

4

920 GOULD STREET
RACINE, WI 53402
262.634.5565
RUDIE | FRANK
ARCHITECTURE



FOUNDATION WALL BRIDGE

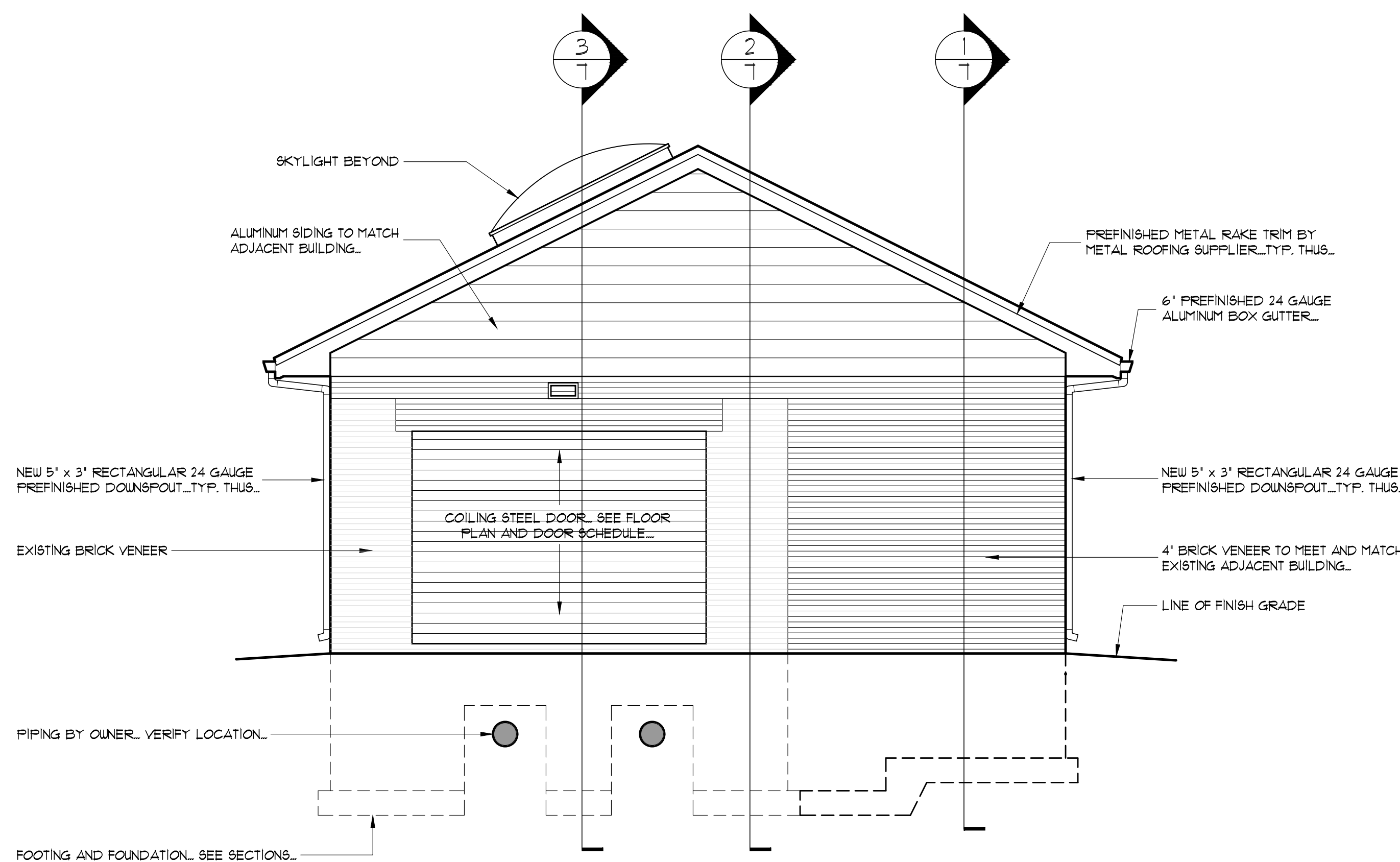
SCALE: 1/2" = 1'-0"

1

SLAB CONTROL JOINT DTL.

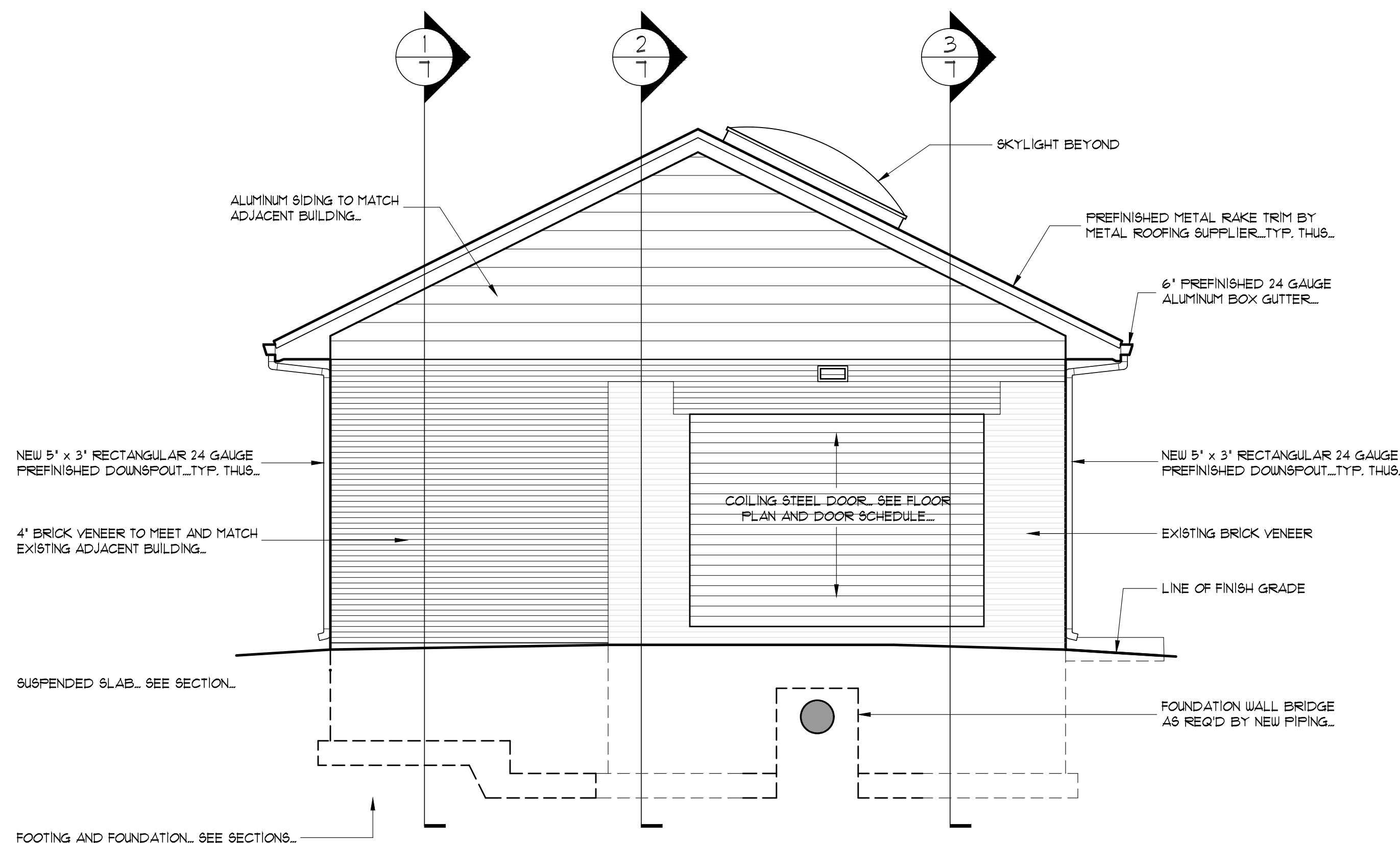
SCALE: 1 1/2" = 1'-0"

2



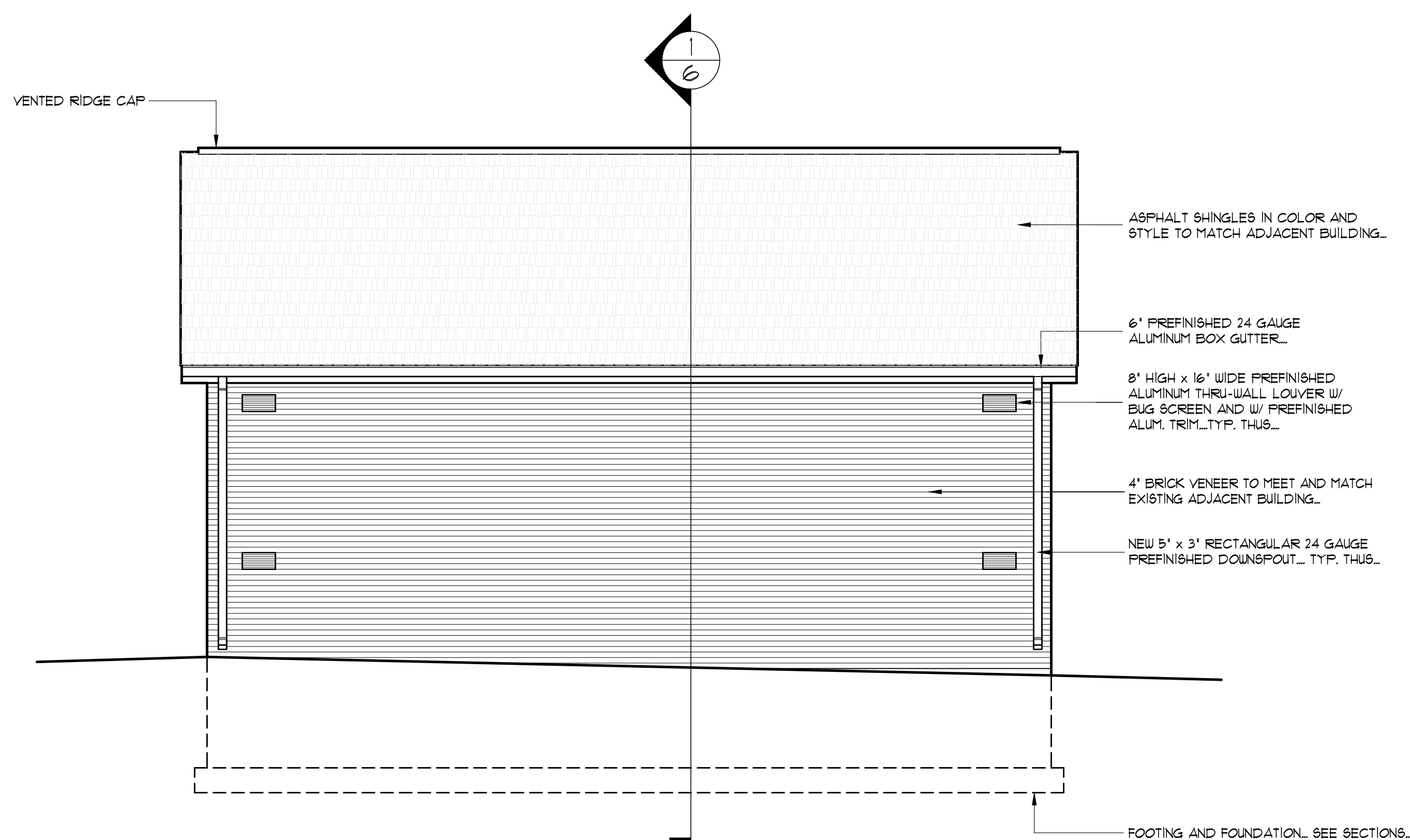
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



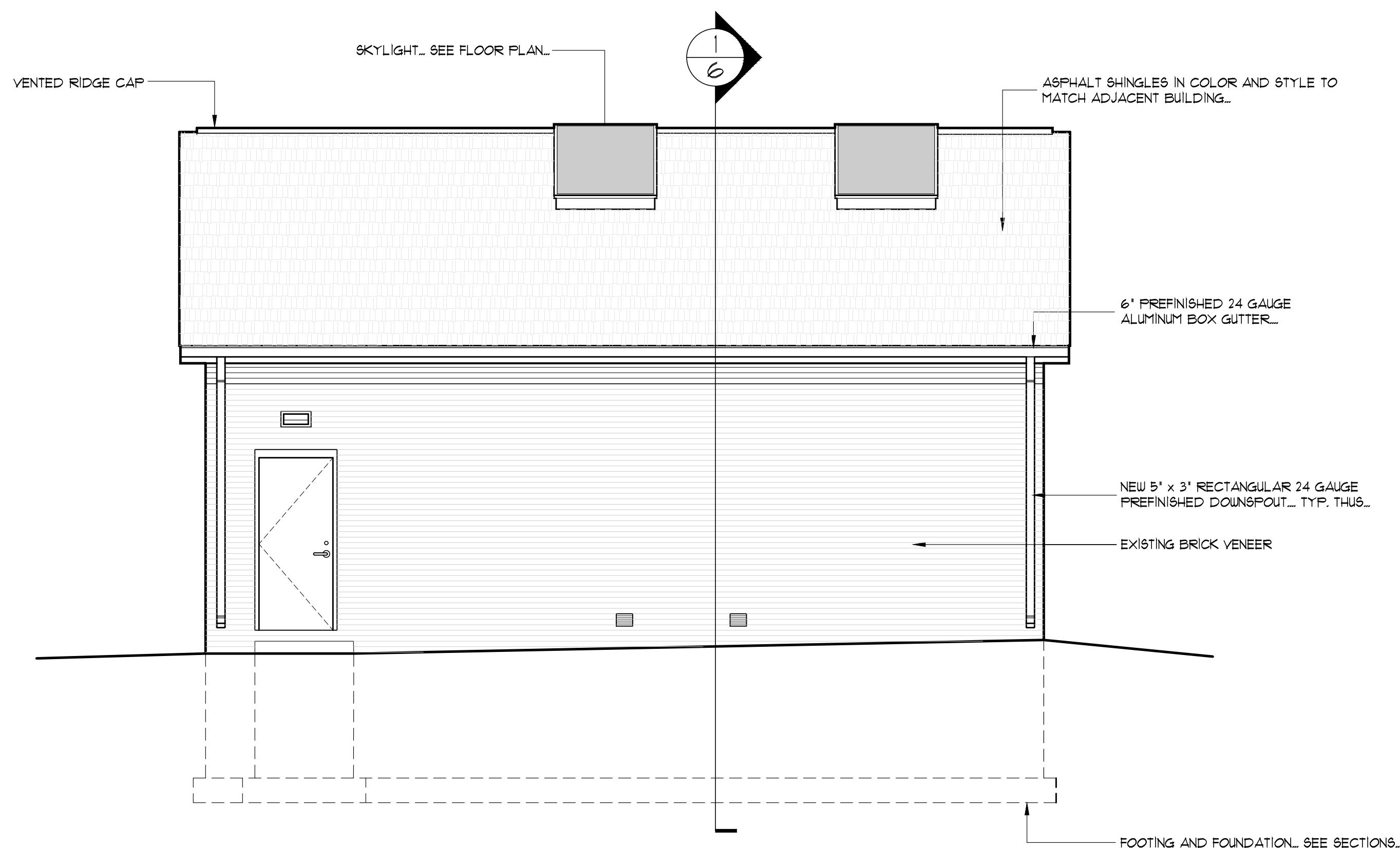
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



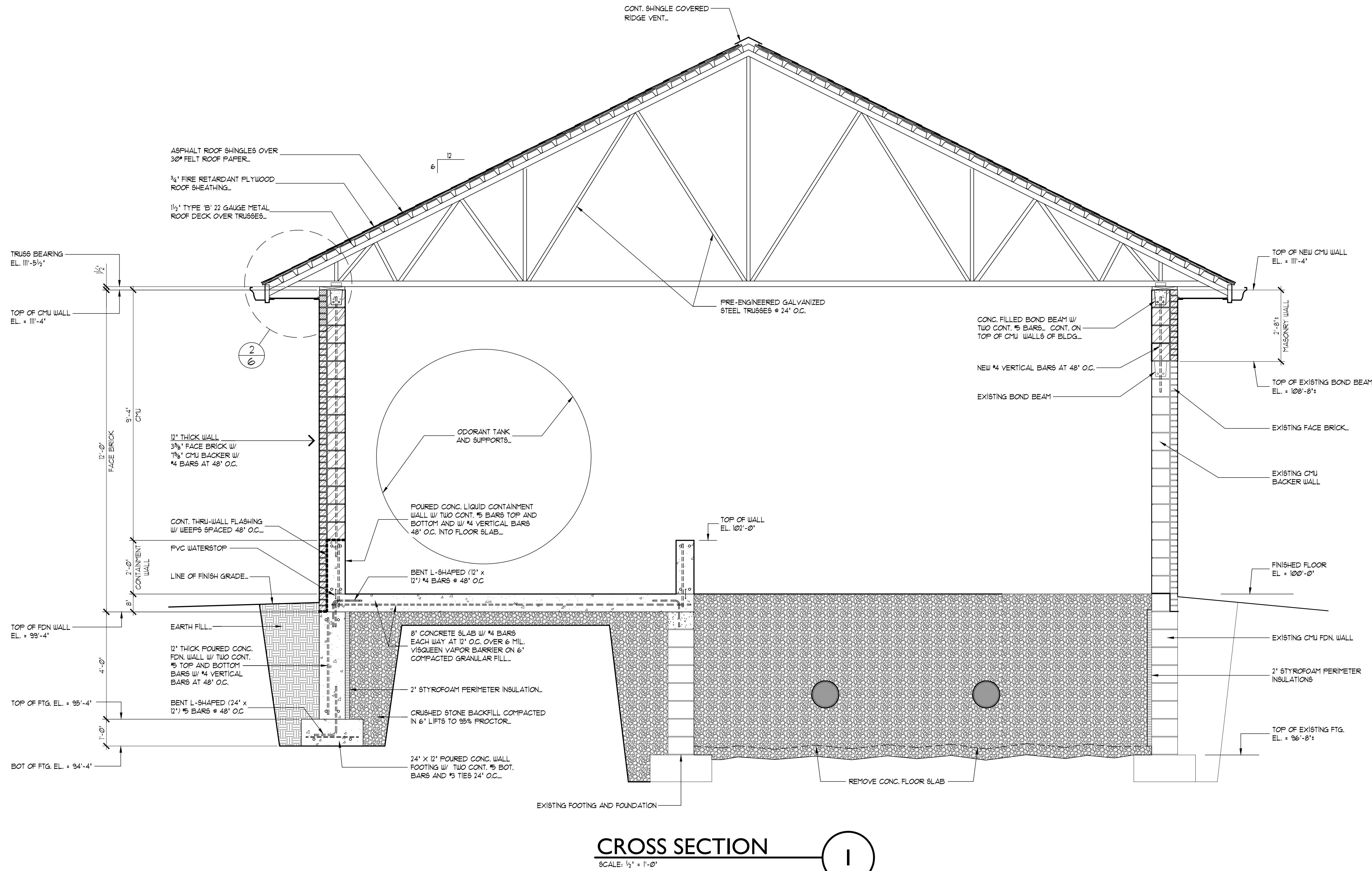
EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

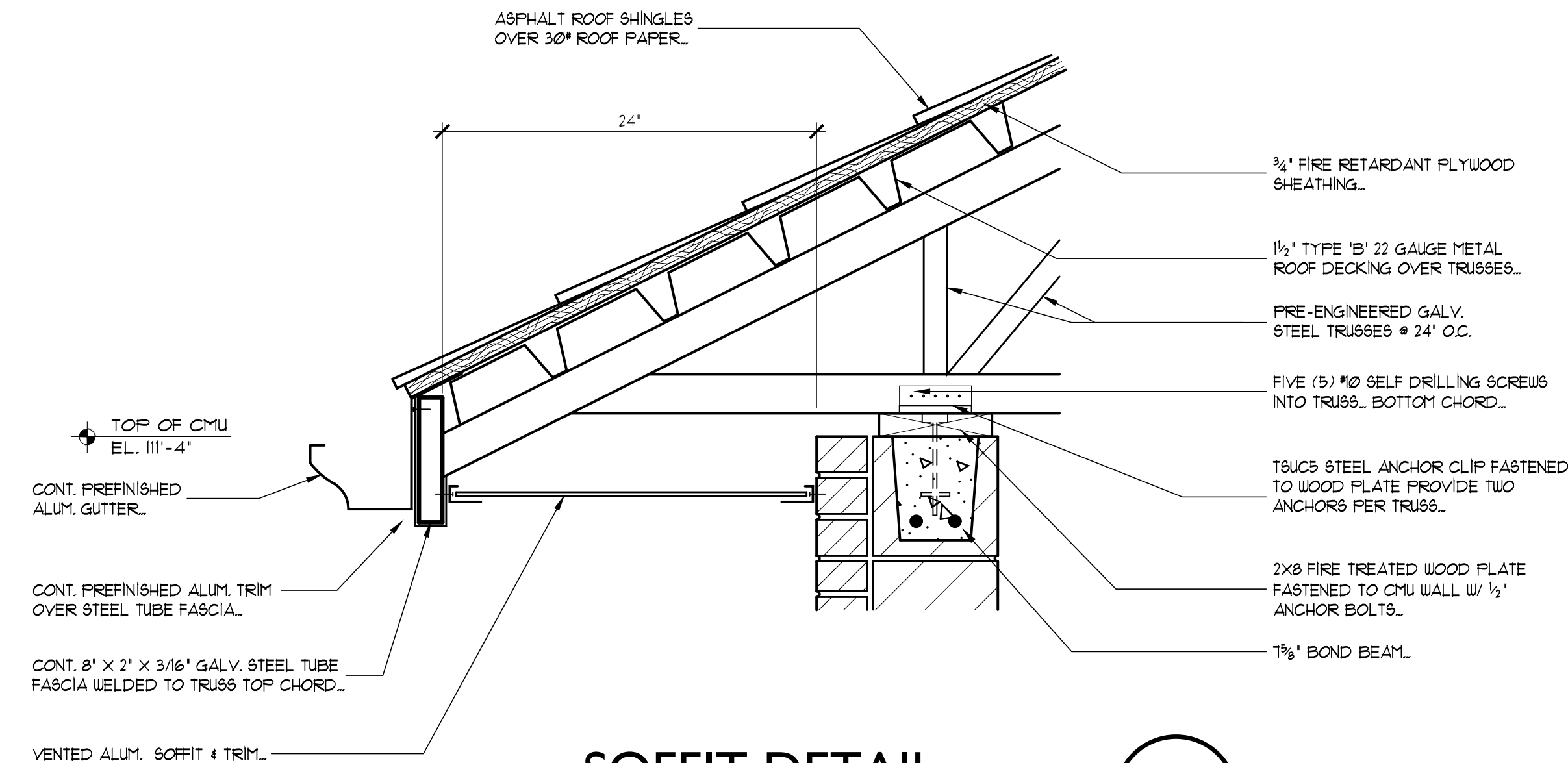
SCALE: 1/4" = 1'-0"



CROSS SECTION

SCALE: 1/2" = 1'-0"

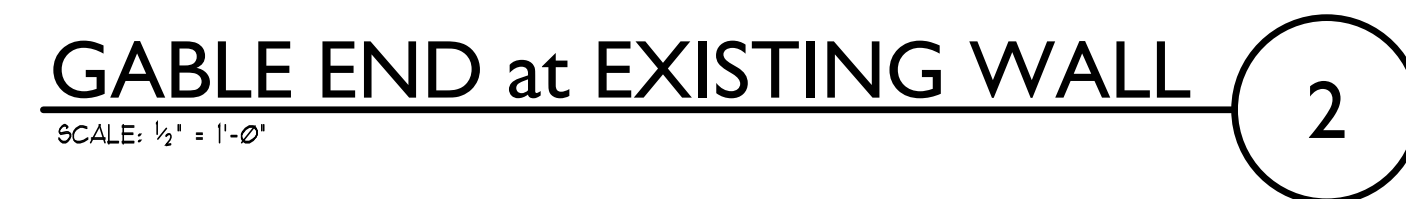
I



SOFFIT DETAIL

SCALE: 1 1/2" = 1'-0"

2



PHOTOS





12/16/2021 - Photo facing north of
SE building



12/16/2021 - Photo facing northwest
of SE building



12/16/2021 - Photo facing south of
SE building



12/16/2021 - Photo facing south of
SE building



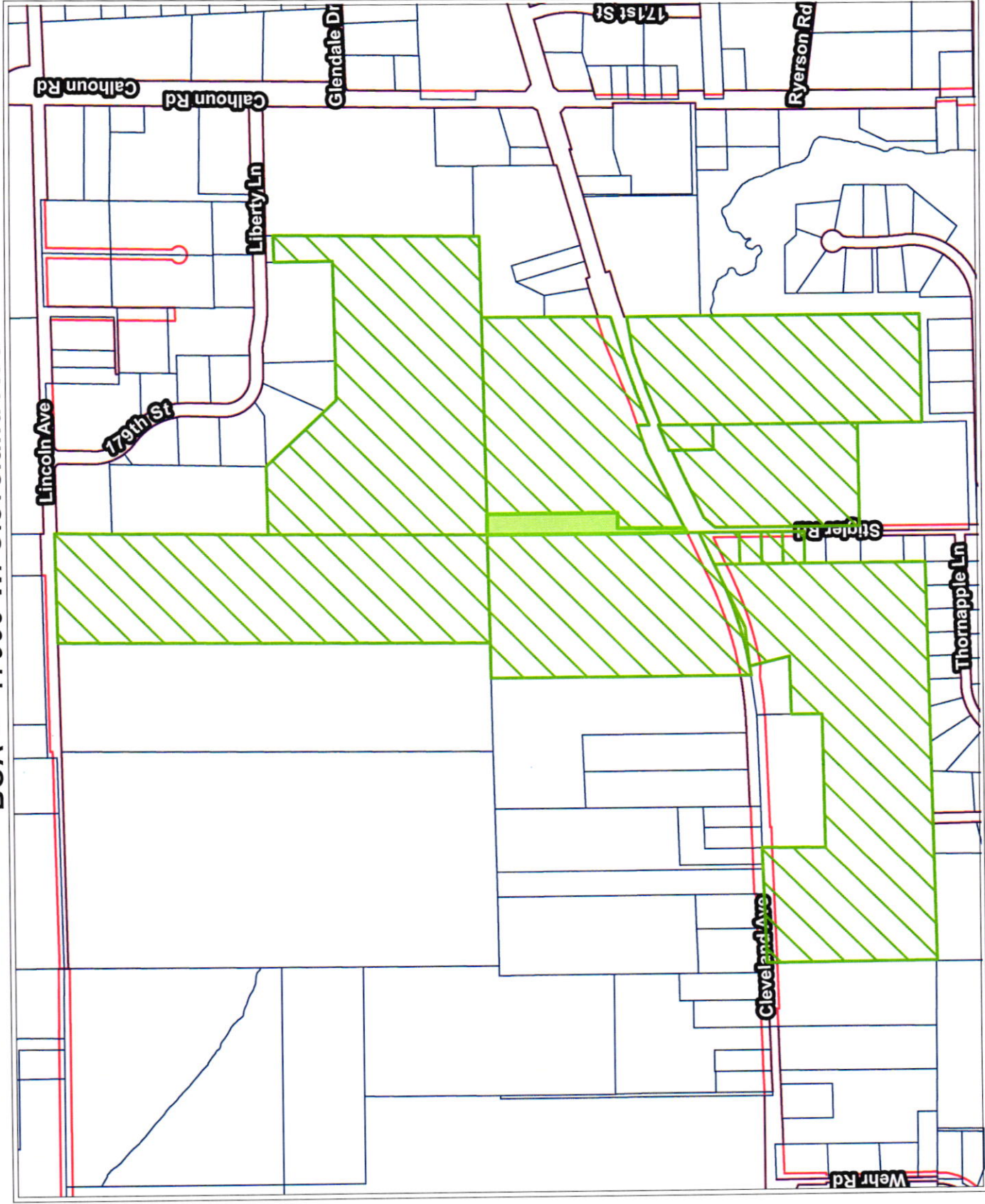
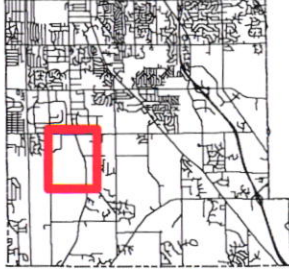
12/16/2021 - Photo facing
southeasterly of odorant tank behind
NW building



12/16/2021 - Photo facing east of
odorant tank behind NW building

BOA -- 17990 W. Cleveland Ave

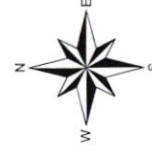
Overview Map



Legend

-  Subject to Action
-  Notified Parcels
-  Other Parcels

Notified parcels (green hash lines) are those properties that fall within a certain distance of a property that is subject to City of New Berlin action.



1188990

ANR PIPELINE COMPANY PROPERTY TAX
PO BOX 2168
HOUSTON TX 77252

1188991001

SAINTS CONSTANTINE & HELEN GREEK
2160 WAUWATOSA AVE
WAUWATOSA WI 53213

1185999002

CITY OF NEW BERLIN 17405 LIBERTY LA
3805 S CASPER DR
NEW BERLIN WI 53151

1187986

WIL A. WIRKUS
2925 S STIGLER RD
NEW BERLIN WI 53146

1186999

JOHN C. SPITZ
W267 N6389 TOP-O-HILL DR
SUSSEX WI 53089

1188989001

WISCONSIN GAS LLC A WISC LIMITED LI
PO BOX 2179
MILWAUKEE WI 53201

1187999

MILWAUKEE CASTING CLUB, INC
18245 W CRAB TREE LN
NEW BERLIN WI 53146

1187988

NEW BERLIN PUBLIC SCHOOLS (NEW BE
4333 S SUNNYSLOPE RD
NEW BERLIN WI 53151

1187985

PAUL MINER
2965 S STIGLER RD
NEW BERLIN WI 53146

1187987

PEGGY L. JONES
2915 S STIGLER RD
NEW BERLIN WI 53151

1187984

PETER K. YEP
2945 S STIGLER RD
NEW BERLIN WI 53146

1188991

POPLAR CREEK CHURCH
17770 W CLEVELAND AVE
NEW BERLIN WI 53146

1188989

SAINTS CONSTANTINE & HELEN GREEK
2160 WAUWATOSA AVE
WAUWATOSA WI 53213