Community Development Authority
MEETING AGENDA

May 4, 2023 - 8:00 AM
Council Chambers
3805 S. Casper Dr.

AGENDA

1. **CALL TO ORDER, PLEDGE OF ALLEGIANCE**
2. **ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE**
3. **APPROVAL OF MINUTES**
   - **A.** September 1, 2022
   - **B.** February 2, 2023
4. **ADMINISTRATIVE REPORTS**
5. **NEW BUSINESS**
   - **A.** (3) KH UA-2300599 Robert Gosse with the Sigma Group - 2400 S. Calhoun Road - Use, Site and Architecture approval for a 2,109 square foot addition for Denali Ingredients
6. **COMMUNICATIONS**
7. **ADJOURN**

Supplemental Information:

- *The meeting agenda and agenda packet are available online at www.NewBerlin.org. The minutes are published online and are approved at the next regularly scheduled meeting.*
- *It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order.*
- *You may provide comments to the City Clerk via email at CitizenComments@NewBerlin.org. Comments will be forwarded to the Mayor and members of the governing body. Emailed comments are not read during the meeting.*
- *The City of New Berlin strives to host inclusive, accessible meetings that enable all individuals to engage and participate fully. Any person who has a qualifying disability under the Americans with Disabilities Act that requires that the meeting be accessible, please contact City Clerk Rubina R. Medina at (262) 786-8610 or via email at CityClerk@NewBerlinWI.gov at least 48 hours before the scheduled meeting time. Efforts will be made to accommodate the needs of disabled individuals through appropriate aids and/or services.*
- *It is also possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to in the above notice.*

CITY OF NEW BERLIN
COMMUNITY DEVELOPMENT AUTHORITY - MINUTES
Thursday, September 1, 2022

Regular Meeting	Zoom Meeting	7:30 AM

Please note: Minutes are unofficial until approved by the Community Development Authority at the next regularly scheduled meeting.

The Community Development Authority has satisfied the requirements as directed by the Common Council on June 22, 2021 and Ordinance No. 2651 to hold this meeting via electronic means. The full text of this ordinance and the minutes from the above mentioned meeting can be viewed at www.newberlin.org

To participate in the meeting, view the meeting, and/or ask questions, the public was able to do so by downloading the ZOOM app located at https://zoom.us/ and utilize Meeting ID # 839 6076 5621 to join.

All votes were taken via a voice roll call vote.

CALL TO ORDER; PLEDGE OF ALLEGIANCE

Mayor Ament called the meeting to order at 7:31AM and lead the Pledge of Allegiance.

City Clerk Rubina R. Medina read the rules to this meeting as it was held via Zoom. Rubina also stated that no public comments were received via the citizen comments email address.

ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Present: Mayor Ament, Commissioners Schulpius, Patterson, Vaclav, DCD Director Greg Kessler, Ald. Horbinski, Ald. Hopkins

Excused: Commissioner Felda

Staff Present: City Attorney Mark Blum, Principal Planner Kelly Wall, City Clerk Rubina R. Medina

APPROVAL OF MINUTES

ITEM: December 2, 2021 CDA Meeting Minutes

MOTION: **Motion to approve the minutes.**

VOTE: Motion by: Horbinski
Second by: Hopkins

Motion Passed unanimously

EXECUTIVE DIRECTOR'S REPORT

No Report.

NEW BUSINESS

ITEM: (2) KW UA-2201689 David O'Brien with Bayland Buildings - 3033 S. 166th Street - Use, Site and Architecture approval for an 18,518 square foot addition for McKey Perforating.

MOTION: **To approve including waiver #1**

VOTE: Motion by: Hopkins
Second by: Vaclav

Motion Passed unanimously

ADJOURN

Motion by Ald. Horbinski to adjourn at 7:36AM. Seconded by Commissioner Schulpius. Motion approved unanimously.

Respectfully Submitted,
Rubina R. Medina, City Clerk

Community Development Authority
MEETING MINUTES

February 2, 2023 - 7:30 AM
Council Chambers
3805 S. Casper Dr.

Please note: Minutes are unofficial until approved at the next regular scheduled meeting.

MINUTES

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE

Mayor Ament called the Common Council meeting to order at 07:30 AM.
Mayor Ament led the Pledge of Allegiance.

2. ROLL CALL; DECLARATION OF QUORUM; PUBLIC NOTICE

Deputy City Clerk Megan Godshall took the roll call as follows:

Alderpersons Present: Mayor Ament, Alderperson Hopkins, Alderperson Horbinski, Board Member Schulpius, Commissioner Vaclav

Alderpersons Excused: Commissioner Patterson, Commissioner Felda

Staff Present: DCD Director Greg Kessler, City Attorney Mark Blum, Principal Planner Kristen Hogan, Deputy City Clerk Megan Godshall

3. APPROVAL OF MINUTES

No minutes to approve

4. ADMINISTRATIVE REPORTS

5. NEW BUSINESS

A. (2) KH RO-2300053 Central Bark – 16700 W. Victor Road - Use, Site and Architecture approval to construct an 8’ tall fence in the rear yard

MOTION: Motion to recommend construction of an 8' tall fence in the rear yard at 16700 W. Victor Road

VOTE: Motion by: Alderperson Hopkins
Second by: Board Member Schulpius

Motion Passed 5-0

6. ADJOURN

MOTION: Motion to Adjourn Meeting

VOTE: Motion by: Alderperson Horbinski
Second by: Commissioner Vaclav
Motion Passed 5-0

Respectfully Submitted,
Megan Godshall, Deputy City Clerk

STAFF REPORT
EXECUTIVE SUMMARY

APPLICANT/PROJECT:	**Robert Gosse with the Sigma Group / Denali Ingredients Waste Water Treatment Addition**
LOCATION:	**2400 S. Calhoun Road**
REQUEST:	**Use, Site and Architecture approval for a 2,109 square foot addition for Denali Ingredients located at 2400 S. Calhoun Road.**
D.R.C. RECOMMENDATION:	**Approval of the Use, Site and Architecture for a 2,109 square foot addition for Denali Ingredients located at 2400 S. Calhoun Road subject to the application, plans on file and the following conditions of approval:**

1. **Planning:**
    a. **Plan of operation shall be consistent with submitted plans on file. Applicant is proposing an addition to the south side of the building for dissolved air flotation system/wastewater pre-treatment. The addition is 37' by 57' for a total of 2,109 square feet.**
    b. **The Zoning Code allows for a maximum of 75% of the site as impervious surfaces, per Table 275-39-3. The applicant is proposing 76.24% of the site as impervious surfaces.**
        i. **Per Section 275-35D(7) of the Zoning Code: *"Modification of standards. The Plan Commission or Community Development Authority may modify the open space requirement, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard. Such elements may include, but are not limited to, additional landscaping, low-impact/sustainable design, alternative stormwater best management practices/green infrastructure (which may include, but are not limited to, bioretention, infiltration, pervious surfaces, green roofs, rain gardens, underground storage, and/or rain harvesting/reuse)."***
        ii. **Applicant is proposing 2,384 square feet of porous pavement. Staff supports this modification request.**
    c. **Architecture Review Committee approval required prior to issuance of the Zoning Permit.**
2. **Building Inspection:**
    a. **Building plans shall be signed and stamped by a licensed architect or professional engineer per the Wisconsin Enrolled Commercial Building Code (SPS.361.31).**
    b. **Building plans shall be approved by the State of Wisconsin Department of Commerce Safety and Buildings Division (SPS.361.60). State letter required with permit application.**
    c. **Plumbing: Exterior storm sewer system and DAF system will require state review.**

   d. **Apply and obtain appropriate building, HVAC, electric, plumbing and fire permits from the City of New Berlin Building Inspection Division.**
   e. **Zoning Permit approval will be required before applying for the building permit. Separate application and plans are required.**
   f. **Plumbing: State review is required for over 16 fixtures - new and/or replacements**
   g. **The building shall be fully accessible from the parking lot to the interior elements SPS.363.1101 and ICC/ANSI A117.1)**

3. **Fire Department:**
   a. **Maintain fire sprinkler and fire alarm coverage throughout.**
   b. **Provide fire extinguishers every 75' of travel.**
   c. **Maintain egress/emergency lighting throughout.**
   d. **Maintain 24' fire access width for fire lane.**
4. **Storm Water Utility:**
   a. **MMSD Chapter 13 requirements will be triggered with any future addition of impervious surface, unless an equal amount is removed. Impervious Calculations were based on site conditions existing in 2005 based on the 2005 Aerial.**
5. **Engineering:**
   a. **Per 275-57A(7)(e)(3): Wheel stops, continuous curbs, and/or bollards shall be located a minimum of four feet from any structures, buildings, walls, or plant material, excluding ground cover, to prevent a vehicle from driving onto the landscaped area or hitting any structure or plant material at the edge of a parking area.**
      i. **Consider adding the wheel stops and stripping the parking stalls adjacent to the building longer to account for the 4' building parking setback.**
   b. **The applicant is proposing parking in front of the overhead door. Provide more detailed information on how frequently this door is used and how will it be controlled so the exit is not blocked.**
6. **Utilities:**
   a. **Applicant shall identify if the treated wastewater will be discharged into an existing sanitary line/lateral.**

<u>DETAILS IN ATTACHED STAFF REPORT</u>

CITY OF NEW BERLIN
DEPARTMENT OF COMMUNITY DEVELOPMENT
COMMUNITY DEVELOPMENT AUTHORITY STAFF REPORT

Meeting of May 4, 2023

Robert Gosse with the Sigma Group / Denali Ingredients Waste Water Treatment Addition
2400 S. Calhoun Road

DATE STAFF REPORT CREATED: April 21, 2023

APPLICANT / OWNER(S): Robert Gosse with the Sigma Group / Denali New Berlin LLC

REQUEST / DESCRIPTION OF PROJECT: Use, Site and Architecture approval for a 2,109 square foot addition for Denali Ingredients located at 2400 S. Calhoun Road.

DATE OF APPLICATION / DATE FILED WITH CITY CLERK: 4/10/23

DATE OF COMPLETENESS DETERMINATION: 4/10/23

PRE-APPLICATION CONFERENCE HELD: Yes
Date(s) of Meeting(s): 11/9/22
Site Visit(s): 4/12/23

CONCEPTUAL PLAN: N/A

SIZE OF DEVELOPMENT / PARCEL(S):
77,148 SF - Existing Building
2,109 SF – Proposed Building Addition
4 acres – Parcel Size

CURRENT ZONING: M-1 SPO

CURRENT LAND USE: Industrial

PROPOSED ZONING: N/A

PROPOSED LAND USE: N/A

PROPOSED LOT SIZE: N/A

PROPOSED DENSITY: N/A

ADJACENT ZONING AND LAND USE:

North:	Zoning: M-1 SPO	Land Use: Light Industrial
South:	Zoning: M-1 SPO	Land Use: Light Industrial
East:	Zoning: M-1 SPO	Land Use: Light Industrial
West:	Zoning: M-1 SPO	Land Use: Light Industrial

CONFORMANCE WITH COMPREHENSIVE PLAN AND MUNICIPAL CODE: Yes

Chapter 13: Neighborhood "C": New Berlin Industrial Park: Yes, this submittal meets the intent of this Chapter.

Planning Context / Vision / Development Policies:

Vision:

- *The New Berlin Industrial Park will continue to be a major economic engine and job center for the City. Public and private reinvestment should focus on upgrading both the infrastructure and building quality to ensure long-term viability. Whenever possible, sustainable development guidelines should be followed for new development and redevelopment as outlined in this Plan. The primary land use should continue to be business, with some limited retail and service businesses located along the eastern edge of the Industrial Park.*

Development Policies:

- *The City should develop standards that are designed to gradually upgrade the architectural quality and sustainability of the building stock as businesses expand or reconstruct in the future.*
- *The City shall work with business owners to implement acceptable alternative stormwater techniques, both along the street right-of-way and within parcels.*
- *The City should explore land coverage and density strategies for allowing building expansions in the Industrial Park.*

Land use:

- *Future Land Use Map: Business Park / Industrial*

ZONING CODE (Chapter 275): Yes, meets the requirements of Sections 275-35B(4) and 275-39F of the Zoning Code.

DEVELOPMENT CODE (CHAPTER 235): N/A

PUBLIC HEARING REQUIRED: No

CONDITIONAL USE REQUIRED: No

USE / SITE /ARCHITECTURAL REVIEW:
Use Approval Required: Yes
Site Plan Required: Yes
Architectural Review Required: Yes, the Architectural Review Committee will review this request at their May 8, 2023 meeting.

PROPOSED ARCHITECTURE: Materials shall match the existing facade with painted precast wall panels.

UNIQUE SITE CHARACTERISTICS:
Environmental Corridor: No
Wetland On Property: No
Conservancy Districts (C-1, C-2): No
NRCS Map Classification: Not Inventoried
Floodplain: No
Topography / Geologic: The site is relatively flat.

BIKE & PEDESTRIAN FACILITIES PLAN: No improvements identified.

PARK & OPEN SPACE PLAN: No improvements identified.

NATURAL RESOURCES PROTECTION:
Limits of Disturbance (LOD): Shown on plans.
Woodland, Tree, and Vegetation Protection: Trees to be removed and trees to be protected during construction are identified on the plans.
Wildlife Management Plan: N/A

ENVIRONMENTAL IMPACT: Trees to be removed and trees to be protected during construction are identified on the plans.

STORM WATER MANAGEMENT / DRAINAGE: Applicant is required to adhere to all City of New Berlin Codes, Ordinances and Plans regarding storm water conveyance and maintenance as identified by the Department of Community Development.

SANITARY SEWER PROVISION:
Within Current Sewer Service Area: Yes
Sewer Shed Capacity Available: Yes
Adequate Linkage: Yes
Onsite System Required: No

WATER USAGE CALC.: No increase.

TRAFFIC IMPACT: N/A

SCHOOL DISTRICT IMPACT: N/A
Notice Sent to Affected School District(s): No

PREVIOUS ACTION:

9/16/1967	Plan commission approval of building for Midwest Ready Food
4/2/1984	Plan Commission approval of a 12,788 SF building addition
10/1/1984	Plan Commission approval of a 2,227 SF Building Addition
7/2/1990	Plan Commission approval of a 20,010 SF building addition
3/6/1995	CDA approval of a 3,960 SF freezer addition
9/11/2008	CDA approval of a building addition for storage tanks

CONSISTENCY WITH PREVIOUS ACTION: Yes

FINDINGS:

1. Plan of operation shall be consistent with submitted plans on file. Applicant is proposing an addition to the south side of the building for dissolved air flotation system/wastewater pre-treatment. The addition is 37' by 57' for a total of 2,109 square feet. No additional employees will be needed for this addition.
2. The Zoning Code allows for a maximum of 75% of the site as impervious surfaces, per Table 275-39-3. The applicant is proposing 76.24% of the site as impervious surfaces.
    a. Per Section 275-35D(7) of the Zoning Code: *"Modification of standards. The Plan Commission or Community Development Authority may modify the open space requirement, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard. Such*

elements may include, but are not limited to, additional landscaping, low-impact/sustainable design, alternative stormwater best management practices/green infrastructure (which may include, but are not limited to, bioretention, infiltration, pervious surfaces, green roofs, rain gardens, underground storage, and/or rain harvesting/reuse).”

b. Applicant is proposing 2,384 square feet of porous pavement. Staff supports this modification request.

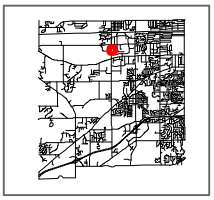
3. No parking stalls are being lost as part of this proposal.
4. Storm system sizing calculations from 2014 appear to have contemplated a future addition in this area.

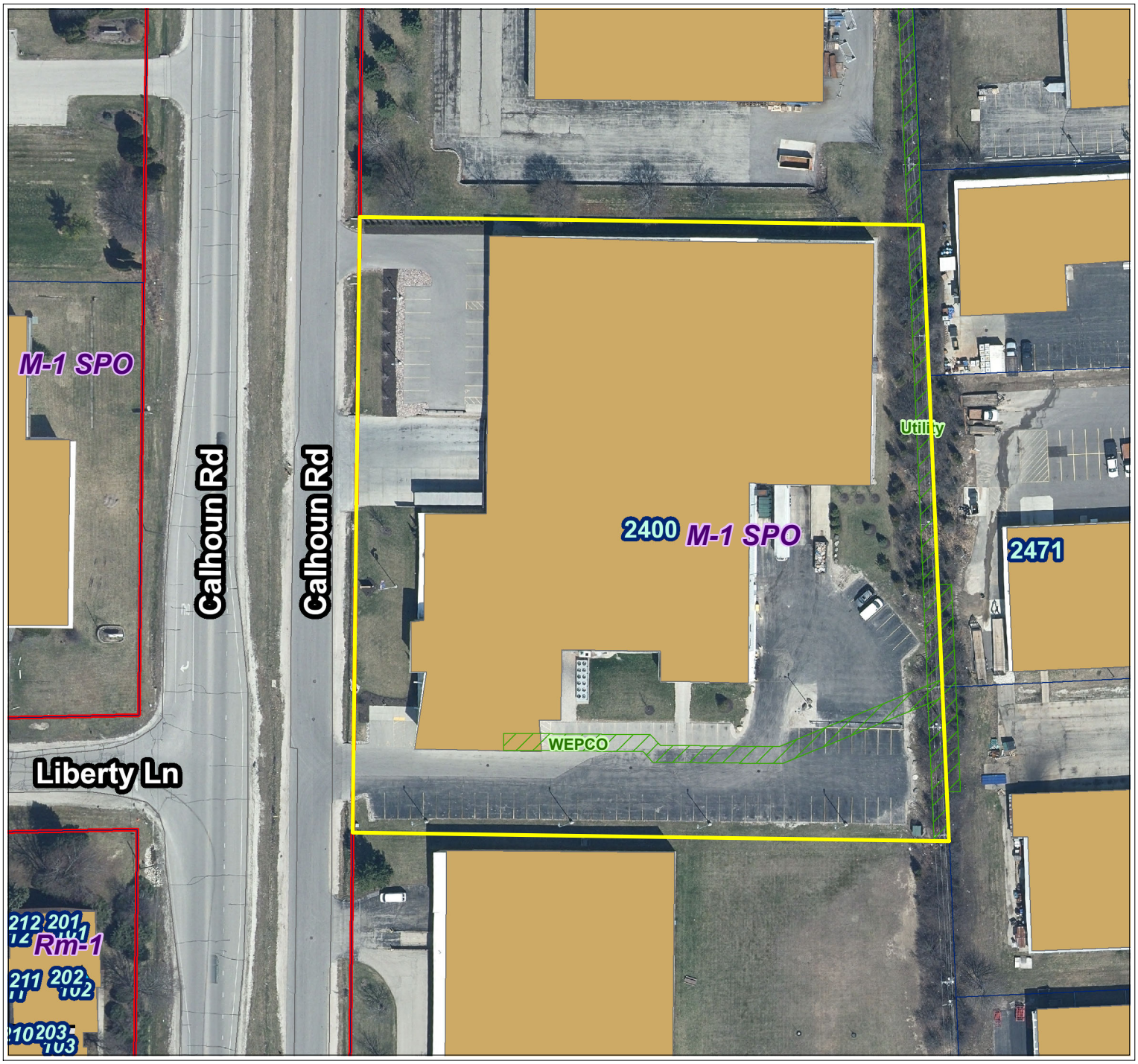
D.R.C. RECOMMENDATION: Approval of the Use, Site and Architecture for a 2,109 square foot addition for Denali Ingredients located at 2400 S. Calhoun Road subject to the application, plans on file and the following conditions of approval: **See Executive Summary.**

ATTACHMENTS:
Location Map
Plan of Operation
Civil Plans
Architecture Plans

City of New Berlin
Community Development

UA-2300599
Denali Addition
2400 S. Calhoun Road





Legend

- Parcels
- Road Right-of-Way

Floodplain DFIRM (FEMA 2014)

Flood Zone

- FEMA DFIRM - Zone A
- FEMA DFIRM - Zone AE
- FEMA DFIRM - 0.2% Annual Chance
- Zoning Boundaries

Zoning Wetland Registration

Wetland Registration Type

- Registered Wetland
- Outside Wetland

Environmental Corridor

Corridor Type

- Isolated Natural Resource Area
- Primary Environmental Corridor
- Secondary Environmental Corridor

Sewer Service Area (MMSD)

Sewershed

- Current
- Ultimate

N

0 37.5 75 Feet

City of New Berlin
Department of Community Development
3805 S Casper Dr.
New Berlin WI 53151
(262) 797-2445
www.newberlin.org

The information and depictions herein have been produced using data available through photogrametric means by the City of New Berlin. The informations and depictions herein are for informational purposes and the City of New Berlin specifically disclaims accuracy in this reproduction and specifically admonishes and advises that any and all depiction, measurements, distances depicted herein and as to which specific or precise accuracy is required should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means.

Map Printed: 4/4/2023 9:47:49 AM

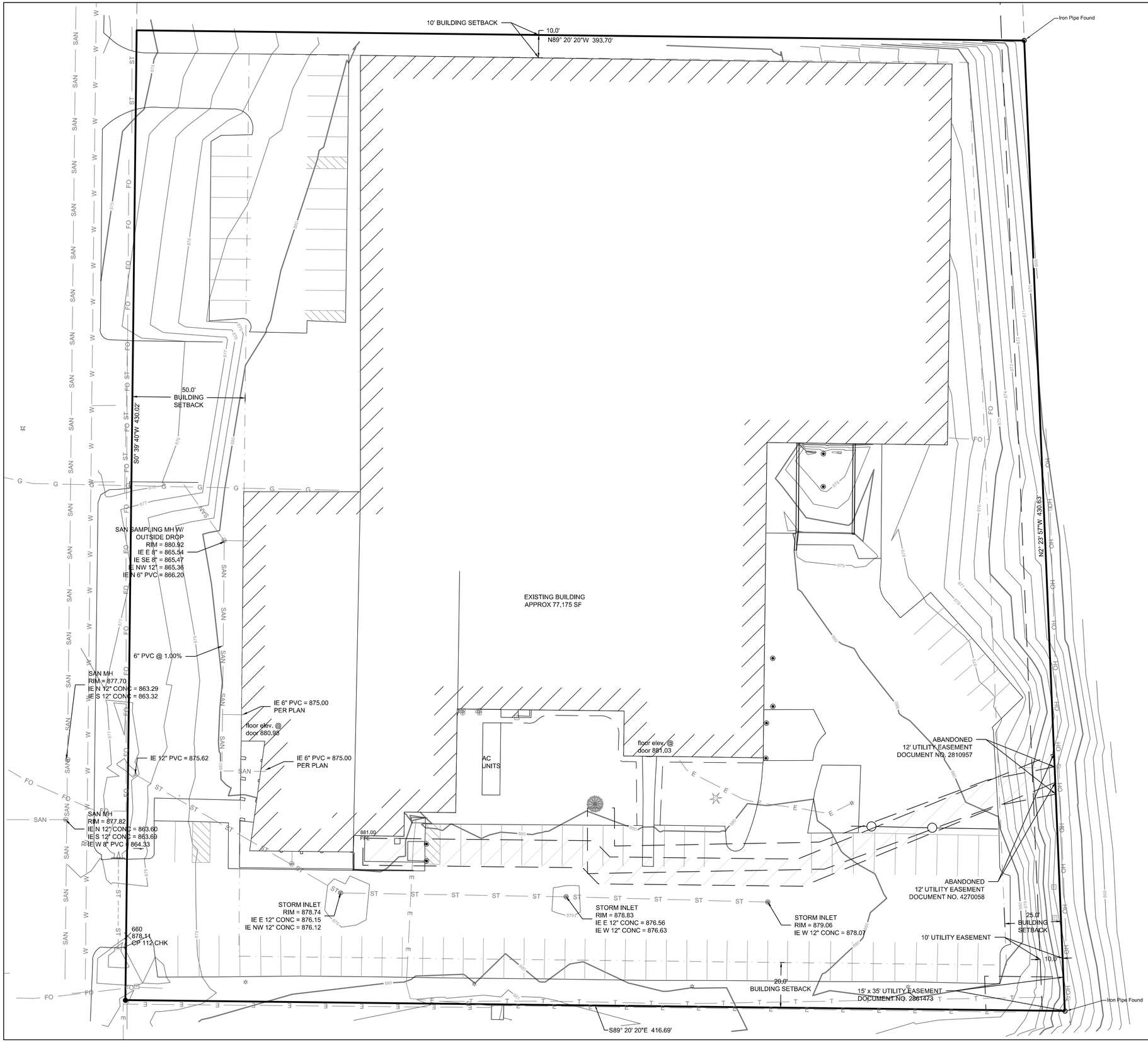
March 23, 2023

Subject: Denali Ingredients
Dissolved Air Flotation System/ Wastewater Pre-Treatment Building Addition
2400 S. Calhoun Road, New Berlin WI

City of New Berlin Representatives:

Please find this letter describing the proposed project at the above address which is coming before the staff as Administrative Use Approval.

1. Land Use: Denali Ingredients, an existing food manufacturing plant, seeks approval for a building addition to house a Dissolved Air Flotation (DAF) System capable of pretreating industrial process wastewater generated from food processing operations before being discharged into the domestic sanitary sewer system. The proposed building is 37' x 57' with a gross square footage of the building at 2,109 sq ft.
2. Site and Building Activities: Activities to occur on site will be periodic forklift access through the overhead door, two (2) man doors for emergency exiting, and a hose connection for periodic pumping/ removal of solids generated by the pretreatment system for disposal off site. The building will usually be unoccupied, except when inside activities require system monitoring, cleaning, screen changing, maintenance, and restocking of required chemicals.
3. Hours of Operation: The DAF system will operate in conjunction with the continued operations of the manufacturing plant. The plant currently operates two 8-hour work shifts, plus one cleaning shift, except weekends and holidays.
4. Employees: No additional employees will be hired beyond the current workforce, due to this activity and building addition.
5. Vehicles associated with use: The existing parking stall count on site will remain the same, including maintaining parking in front of the building addition.
6. Traffic Impact Analysis: N/A
7. The expected start of construction is July 26, 2023 with construction completion by December 28, 2023. Equipment installation and system start-up, training, and commissioning to be completed by February 17, 2024.
8. Project Phasing: N/A
9. Mitigation of Hazards/ Adverse Impacts: The tank for the DAF float/sludge will have secondary containment for spill prevention and will be included in the required Spill Prevention Control and Countermeasures (SPCC) Plan. Chemicals will be stored inside the building addition and have secondary containment. The floor of the entire building will be sloped toward a trench/sump system which provides additional spill protection.



LEGEND:

	SECTION 1/4 SECTION LINE
	PROPERTY LINE
	EASEMENT
—X—	CHAIN LINK FENCE
	TREE LINE
— OH —	OVERHEAD UTILITY LINE
— E —	ELECTRIC
— TEL —	TELEPHONE
— FO —	FIBER OPTIC
— CTV —	CABLE TV
— SAN —	SANITARY SEWER
— FM —	FORCE MAIN
— ST —	STORM SEWER
— W —	WATER MAIN
— G —	GAS
670	EXISTING CONTOUR
WET	WETLAND
FP	FLOODPLAIN

MANHOLE	IRON PIPE FOUND/SET
CATCH BASIN	REBAR FOUND/SET
CATCH BASIN (ROUND)	CHISELED CROSS FOUND/SET
ROOF DRAIN	PK NAIL FOUND/SET
HYDRANT	SPIKE/NAIL
WATER VALVE	MONUMENT
GAS VALVE	BENCHMARK
UTILITY POLE	SIGN
GUY WIRE	DECIDUOUS TREE
GAS METER	
ELECTRIC METER	CONIFEROUS TREE
UTILITY PEDESTAL	
TRAFFIC SIGNAL	BUSH
LIGHT POLE	POST
SOIL BORING	
MONITORING WELL	

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY SIGMA ON 2/13/23.

4. DATUM FOR THE PROJECT SURVEY IS NAVD 88. BENCHMARK FOR THE PROJECT SURVEY IS CP 112.

5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

GRAPHIC SCALE
0 65.62 131.23

DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

SITE SURVEY

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	1"=20'
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	3/29/2023
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C001

14:34
PFINN
C001
21341

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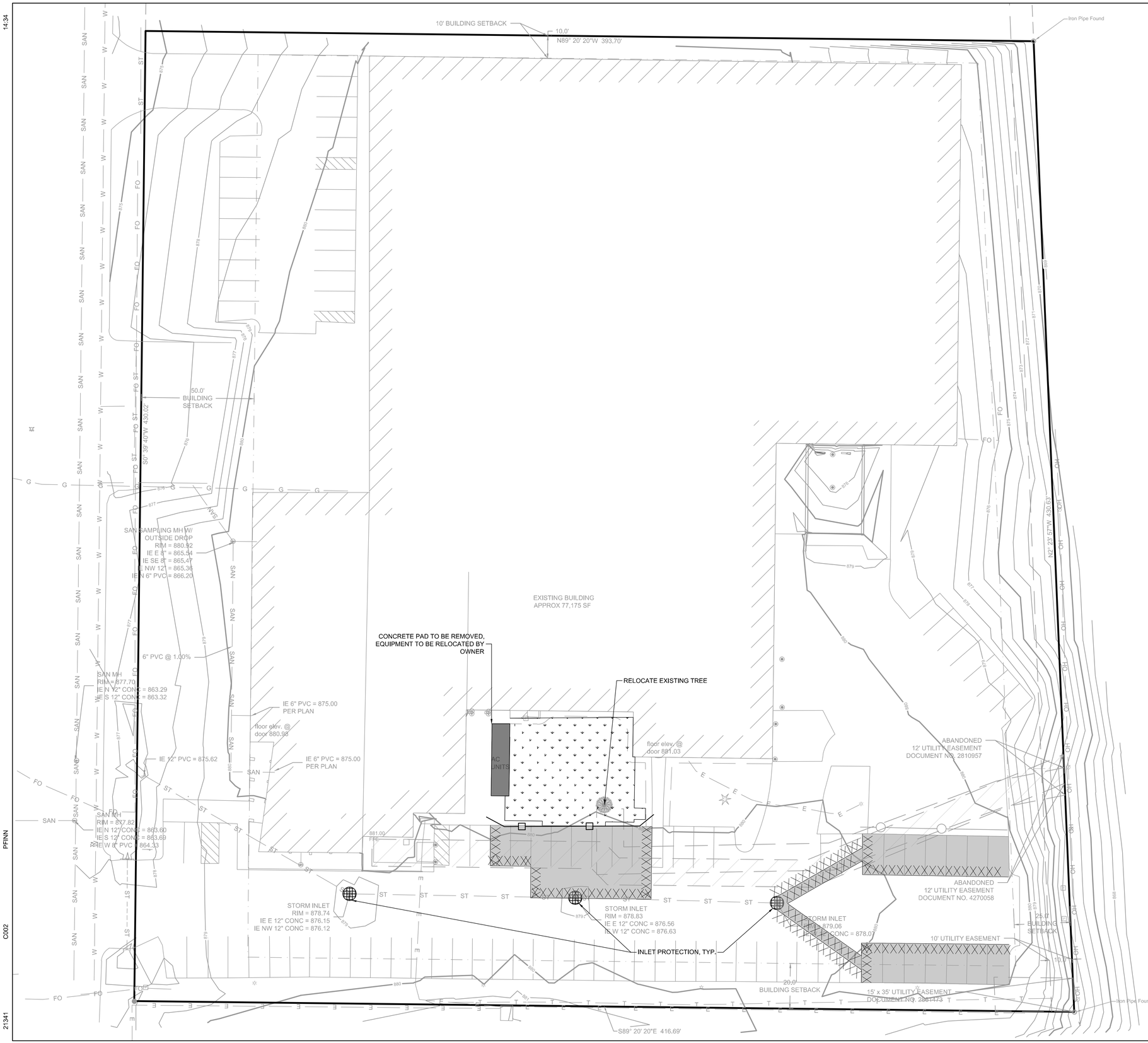

LEGEND:

- PROPOSED SEDIMENT LOG
- PROPOSED INLET PROTECTION
- LANDSCAPE REMOVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PAVEMENT SAW CUT
- STRUCTURE REMOVAL
- PAVEMENT REMOVAL

GENERAL NOTES:

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2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C401 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

MILW. AREA 259-1181

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

GRAPHIC SCALE
0 20 40

DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

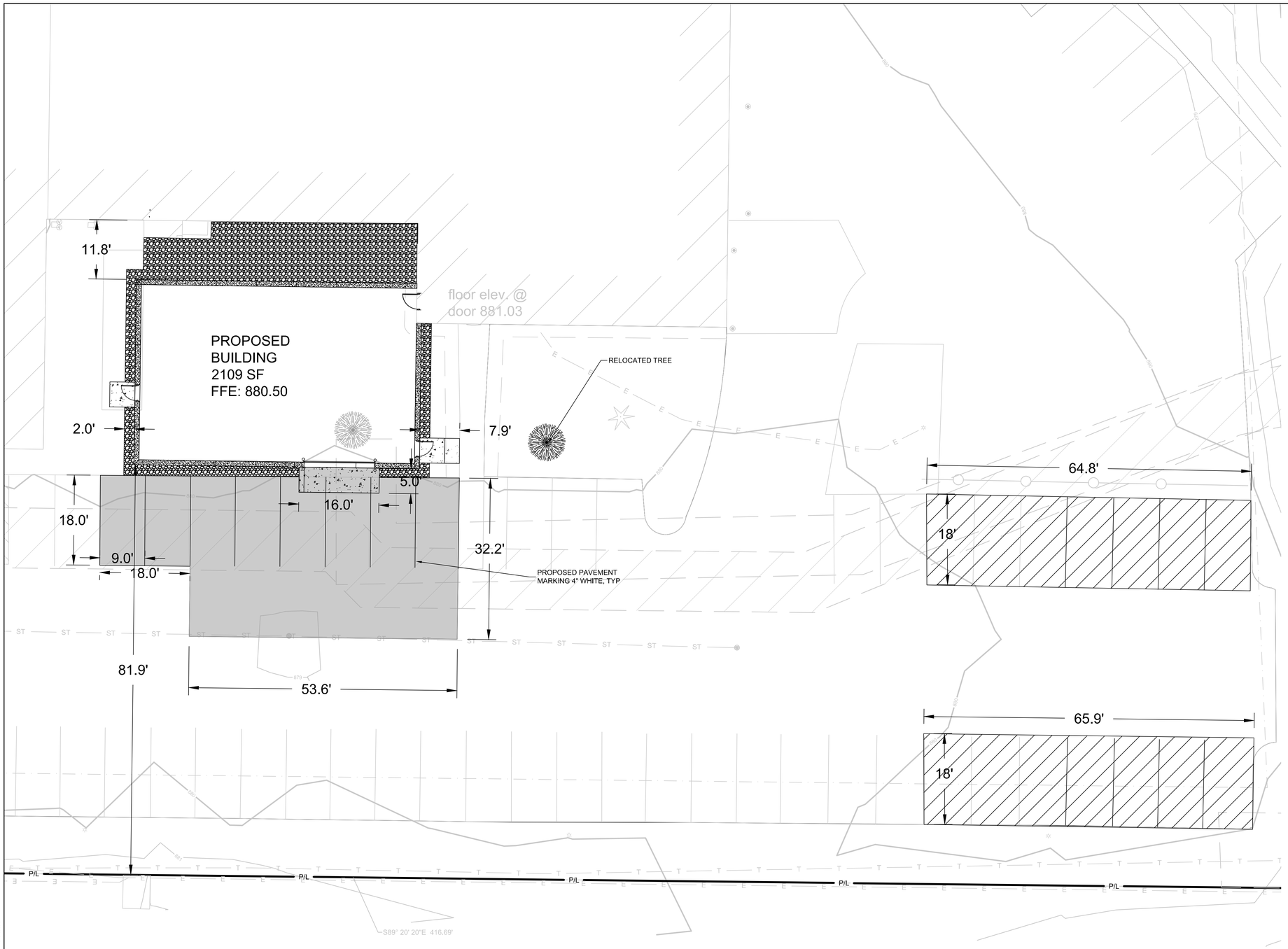
EROSION CONTROL PLAN

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	1"=20'
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	2023.03.29
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C002

14:34 PFINN C002 21341

i:\Denali\21341- wwt building design build\060 CAD\030_Production Sheets\100_Civil\C002 Erosion Control Plan.dwg



EXISTING SITE DATA			
SITE AREA	174245	4.00 AC	
EXISTING IMPERVIOUS AREA	130572	3.00 AC	74.94 %
EXISTING LANDSCAPE AREA	43671	1.00 AC	25.06 %

PROPOSED SITE DATA			
SITE AREA	174245	4.00 AC	
PROPOSED IMPERVIOUS AREA	132840	3.05 AC	76.24 %
PROPOSED GREENSPACE AREA	41405	0.95 AC	23.76 %
PROPOSED PERVIOUS PAVEMENT	2384	0.05 AC	1.37 %

SITE INFORMATION:

LEGAL DESCRIPTION: Lot 2 of Certified Survey Map Number 2448 filed in Volume 5 of Certified Survey Maps on Page 74-75 as Document Number 932619. Part of the NW 1/4 section 10, T6N. R20E. City of New Berlin, Waukesha County, Wisconsin.

PROPERTY AREA: AREA = 174,243 S.F. (4.00 ACRES).

EXISTING ZONING: M-1 SPO LIGHT MANUFACTURING SPEC PURPOSE OVERLAY

PROPOSED ZONING: M-1 SPO LIGHT MANUFACTURING SPEC PURPOSE OVERLAY

PROPOSED USE: UNOCCUPIED BUILDING

AREA OF SITE DISTURBANCE: 8,500 SF

SETBACKS:
BUILDING: FRONT = 50'
SIDE = 30' TOTAL (20' SOUTH 10' NORTH)
REAR = 25'
PAVEMENT: FRONT = 10'
SIDE = 5'
REAR = 5'

PARKING PROVIDED: 94 SPACES

HANDICAP STALLS REQUIRED: 4, HANDICAP STALLS PROVIDED: 4

HOURS OF OPERATION: 7:00 AM - 6:00 PM M-F

SITE SURFACE RATIOS:
-MAXIMUM 75% IMPERVIOUS SPACE REQUIRED
-MAXIMUM 50% BUILDING AREA REQUIRED

LEGEND:

- I C401 — 5" THICK CONCRETE WALK
- B C401 — CONCRETE PAVEMENT
- C C401 — ASPHALT SURFACE
- A C401 — POROUS ASPHALT PAVEMENT
- G C401 — BUILDING PERIMETER STONE

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

N

GRAPHIC SCALE
0 10 20

DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	1"=10'
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	3/29/2023
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C100

14:34
PFINN
C100
21341

i:\Denali\21341- wwt building design build\060 CAD\030_Production Sheets\100_Civil\C100 Site Plan.dwg

EXISTING SITE DATA			
SITE AREA	174245	4.00 AC	
BUILDING COVERAGE	77148	1.77 AC	44.28 %
EXISTING IMPERVIOUS AREA	130572	3.00 AC	74.94 %
EXISTING LANDSCAPE AREA	43671	1.00 AC	25.06 %

PROPOSED SITE DATA			
SITE AREA	174245	4.00 AC	
BUILDING COVERAGE	79257	1.82 AC	45.49 %
PROPOSED IMPERVIOUS AREA	130456	2.99 AC	74.87 %
PROPOSED GREENSPACE / POROUS ASPHALT AREA	43789	1.01 AC	25.13 %

SITE INFORMATION:

LEGAL DESCRIPTION: Lot 2 of Certified Survey Map Number 2448 filed in Volume 5 of Certified Survey Maps on Page 74-75 as Document Number 932619. Part of the NW 1/4 section 10, T6N. R20E. City of New Berlin, Waukesha County, Wisconsin.

PROPERTY AREA: AREA = 174,243 S.F. (4.00 ACRES).

EXISTING ZONING: M-1 SPO LIGHT MANUFACTURING SPEC PURPOSE OVERLAY

PROPOSED ZONING: M-1 SPO LIGHT MANUFACTURING SPEC PURPOSE OVERLAY

PROPOSED USE: UNOCCUPIED BUILDING

AREA OF SITE DISTURBANCE: 8,500 SF

SETBACKS:
BUILDING: FRONT = 50'
SIDE = 30' TOTAL (20' SOUTH 10' NORTH)
REAR = 25'
PAVEMENT: FRONT = 10'
SIDE = 5'
REAR = 5'

PARKING PROVIDED: 94 SPACES

HANDICAP STALLS REQUIRED: 4, HANDICAP STALLS PROVIDED: 4

HOURS OF OPERATION: 7:00 AM – 6:00 PM M-F

SITE SURFACE RATIOS:
-MAXIMUM 75% IMPERVIOUS SPACE REQUIRED
-MAXIMUM 50% BUILDING AREA REQUIRED

LEGEND:

PROPOSED BUILDING ADDITION

POROUS ASPHALT PAVEMENT

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
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TO OBTAIN LOCATIONS OF FACILITIES OWNED BY MEMBERS OF CNF FACILITIES BEFORE YOU DIG IN WISCONSIN

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Fax: 414-643-4210

N

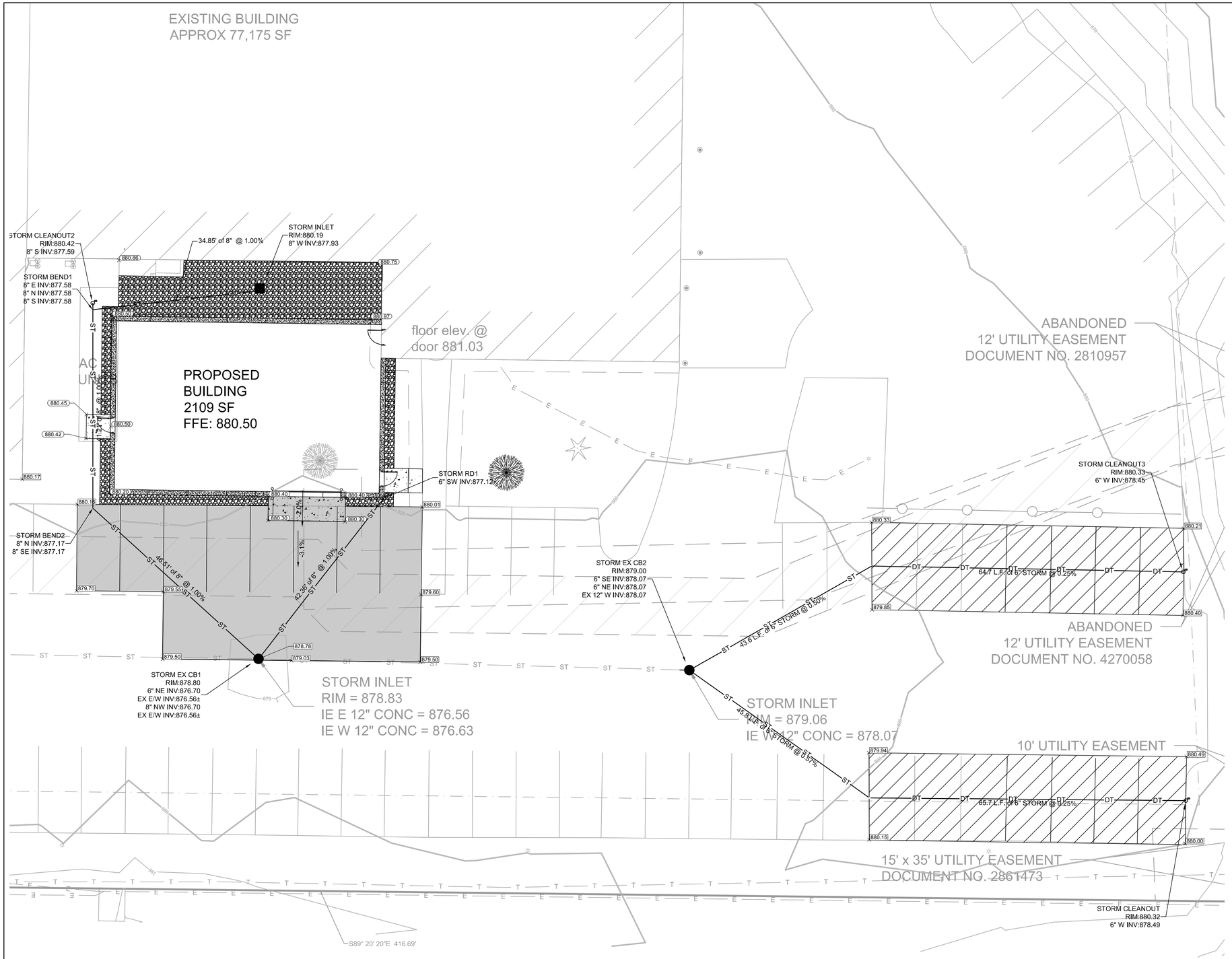
GRAPHIC SCALE
0 20 40

DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

OVERALL SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	1"=20'
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	4/6/2023
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C101



LEGEND:

I C401	5" THICK CONCRETE WALK
B C401	CONCRETE PAVEMENT
C C401	ASPHALT SURFACE
A C401	POROUS ASPHALT PAVEMENT
G C401	BUILDING PERIMETER STONE
—ST—	PROPOSED STORM SEWER
—DT—	PROPOSED DRAIN TILE (UNDERDRAIN)
■	PROPOSED STORM INLET
5	EXISTING CONTOUR
5	PROPOSED CONTOUR
100.50 T/C 100.00 FL	PROPOSED CURB & GUTTER SPOT GRADE T/C: TOP OF CURB GRADE FL: FLOW LINE CURB GRADE
100.00	PROPOSED ASPHALT SPOT GRADE
100.00	EXISTING SURFACE SPOT GRADE (MATCH)

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
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GRAPHIC SCALE
0 10 20

DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

GRADING PLAN

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	1"=10'
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	3/29/2023
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C200

14:34 PFINN C200 21341

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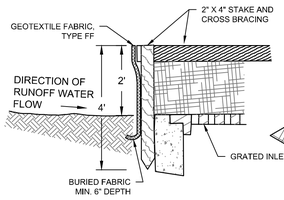
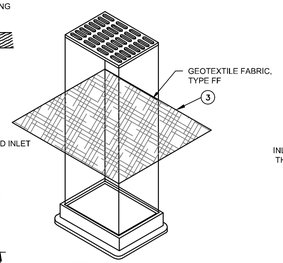
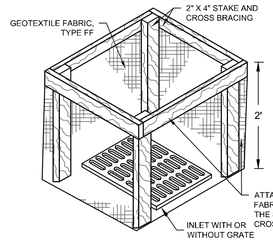
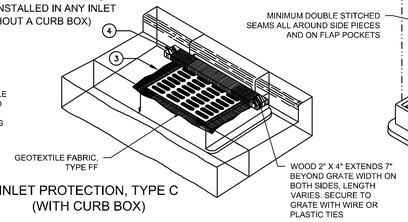




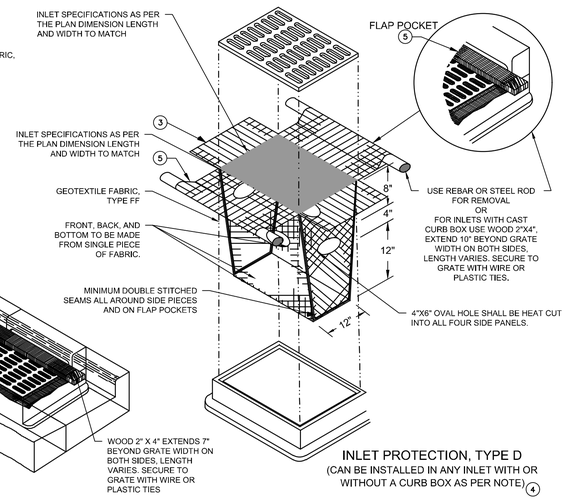
INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE C
(WITH CURB BOX)



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE) 4

GENERAL NOTES:

1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL
4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
6. INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060
7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

INSTALLATION NOTES:

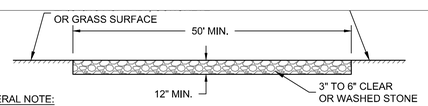
TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACES AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

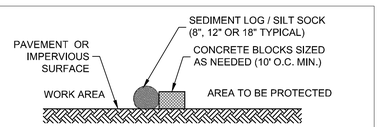
EROS_INLET PROTECTION - WDNR TS-1060
SCALE: 1" = 1'



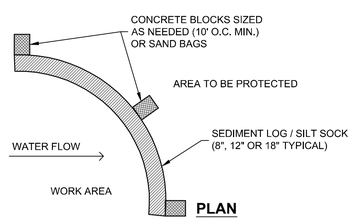
GENERAL NOTE:

1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

EROS_CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE: 1" = 1'



SECTION



PLAN

EROS_SEDIMENT LOG - SILT SOCK ON PAVEMENT
SCALE: 1" = 1'

THE SIGMA GROUP
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Milwaukee, WI 53233
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Fax: 414-643-4210

GRAPHIC SCALE
0 98.43 196.85

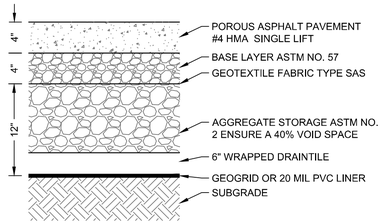
DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

EROSION CONTROL DETAILS

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	######
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	3/29/2023
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C400

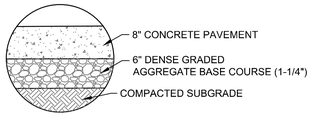
14:35
ZMEYER
C400
21341



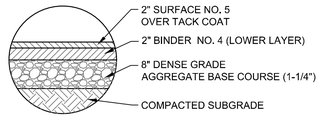
NOTES:

1. PAVEMENT SURFACE PERCENT VOIDS SHOULD BE LESS THAN 25%.
2. JOINT STONE AND BEDDING COURSE SHALL CONSIST OF ASTM C-33, 8, 9, 89, OR 57 AGGREGATE.
3. AGGREGATE STORAGE RESERVOIR DEPTH SHALL BE A MINIMUM OF 12 INCHES. AGGREGATE STORAGE RESERVOIR SHALL USE AN OPEN GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE.
4. UNDERDRAINS CAN BE LOCATED WITHIN OR BELOW THE AGGREGATE STORAGE RESERVOIR. UNDERDRAINS (OR EQUIVALENT) ARE REQUIRED IF THE AGGREGATE STORAGE RESERVOIR DRAIN DOWN TIME WILL EXCEED 72 HOURS. THE SLOPE OF THE SUBGRADE SHALL BE AS FLAT AS POSSIBLE BE NO GREATER THAN 2%.
5. POROUS PAVEMENT SHALL CONFORM TO THE WDNR TECHNICAL STANDARD # 1008

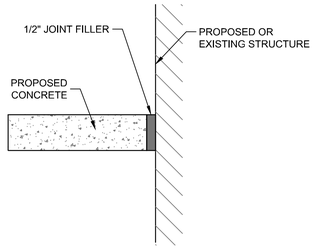
A POROUS ASPHALT PAVEMENT
SCALE:NTS



B CONCRETE PAVEMENT SECTION
SCALE:NTS

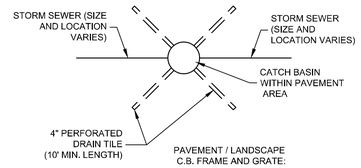


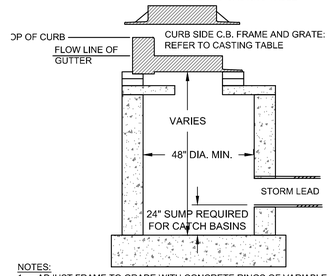
C ASPHALT PAVEMENT SECTION
SCALE:NTS



D CONCRETE JOINT - ISOLATION
SCALE:NTS

CATCH BASIN
WITHIN LOW POINT OF PAVEMENT AREA

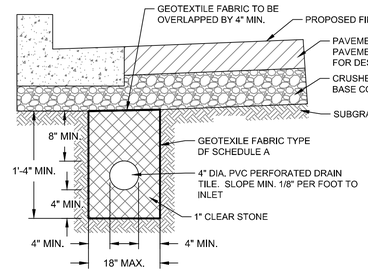




NOTES:

1. ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 6". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
2. CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
3. 3" MIN. BEDDING OF STONE UNDER BASE REQUIRED . ADDITIONAL BEDDING STONE MAY BE REQUIRED ON WET SUB-GRADE.
4. UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

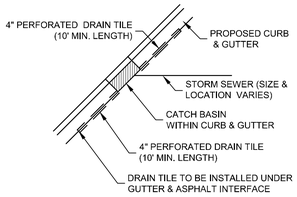
F INLET AND CATCH BASIN
SCALE:1" = 1'



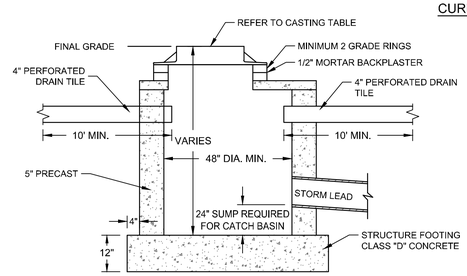
CURB INLET LOCATION SECTION

NOTE:

DRAIN TILE SHALL HAVE TWO (2) SEGMENTS POSITIONED ALONG THE GUTTER & ASPHALT INTERFACE.

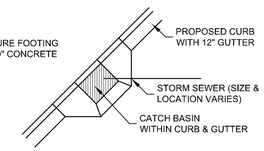


CURB INLET WITHIN CURB & GUTTER PLAN

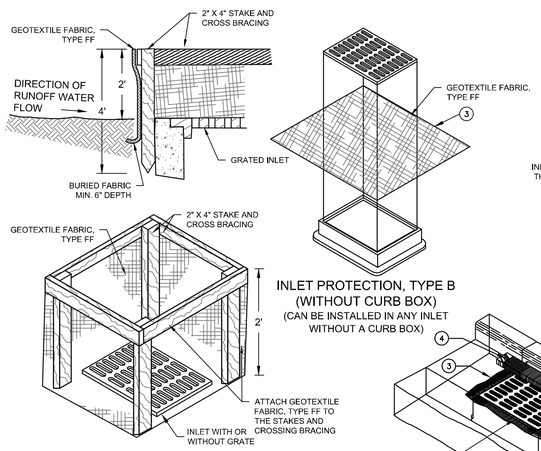


CATCH BASIN / INLET CASTING TABLE

	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3067	A	NEENAH R-3067	A	NEENAH R-3226H	C
AREA INLET	NEENAH R-2050	C				

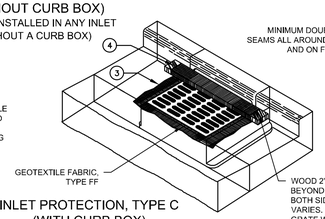


CONCRETE BUMP OUT TO BE APPLIED FOR 12" GUTTER PAN

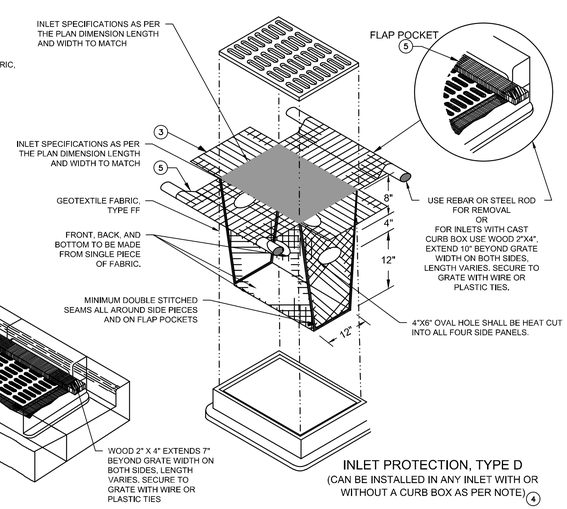


INLET PROTECTION, TYPE A

INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE) 4

GENERAL NOTES:

1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL
4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
6. INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060
7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

E INLET PROTECTION - WDNR TS-1060
SCALE:NTS

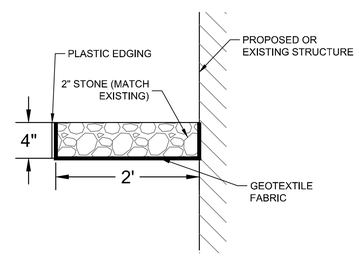
INSTALLATION NOTES:

TYPE B & C

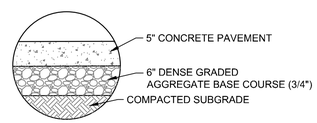
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

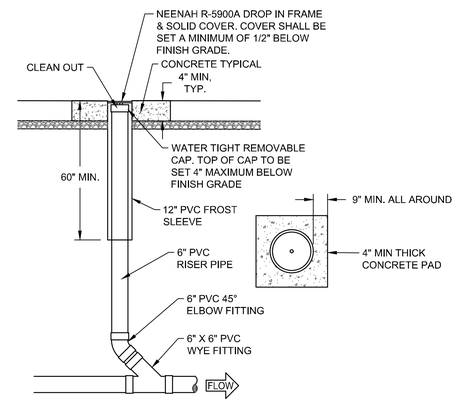
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACES AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



G STONE STRIP SECTION
SCALE:1" = 1'



I CONCRETE SIDEWALK SECTION
SCALE:NTS



COMM TABLE 82.35		
DIA. OF LATERAL	MIN. DI. OF CLEANOUT RISER	MIN. DI. OF RISER CAP
1.5	1.5	1.5
2	1.5	1.5
3	3	2.5
4	4	3.5
5	5	4
6	6	5
8+	6	6

H CLEANOUT
SCALE:NTS

THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

DENALI INGREDIENTS
2400 CALHOUN ROAD
NEW BERLIN, WI 53151

SITE DETAILS

PRELIMINARY NOT FOR CONSTRUCTION

SCALE:	######
PROJECT NO:	21341
DESIGN DATE:	3/23/23
PLOT DATE:	3/29/2023
DRAWN BY:	----
CHECKED BY:	----
APPROVED BY:	----
SHEET NO:	C401

CONCRETE PAVING:

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

ASPHALTIC PAVING:

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
5. AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
6. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
7. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
8. HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED.
9. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS ¼ INCH FOR BINDER COURSE AND PLUS ¼ INCH FOR SURFACE COURSE, NO MINUS.
18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS: BINDER COURSE: ¼ INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/MILE FOR A CONTINUOUS 4" LINE.
22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

GENERAL:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

SITE CLEARING:

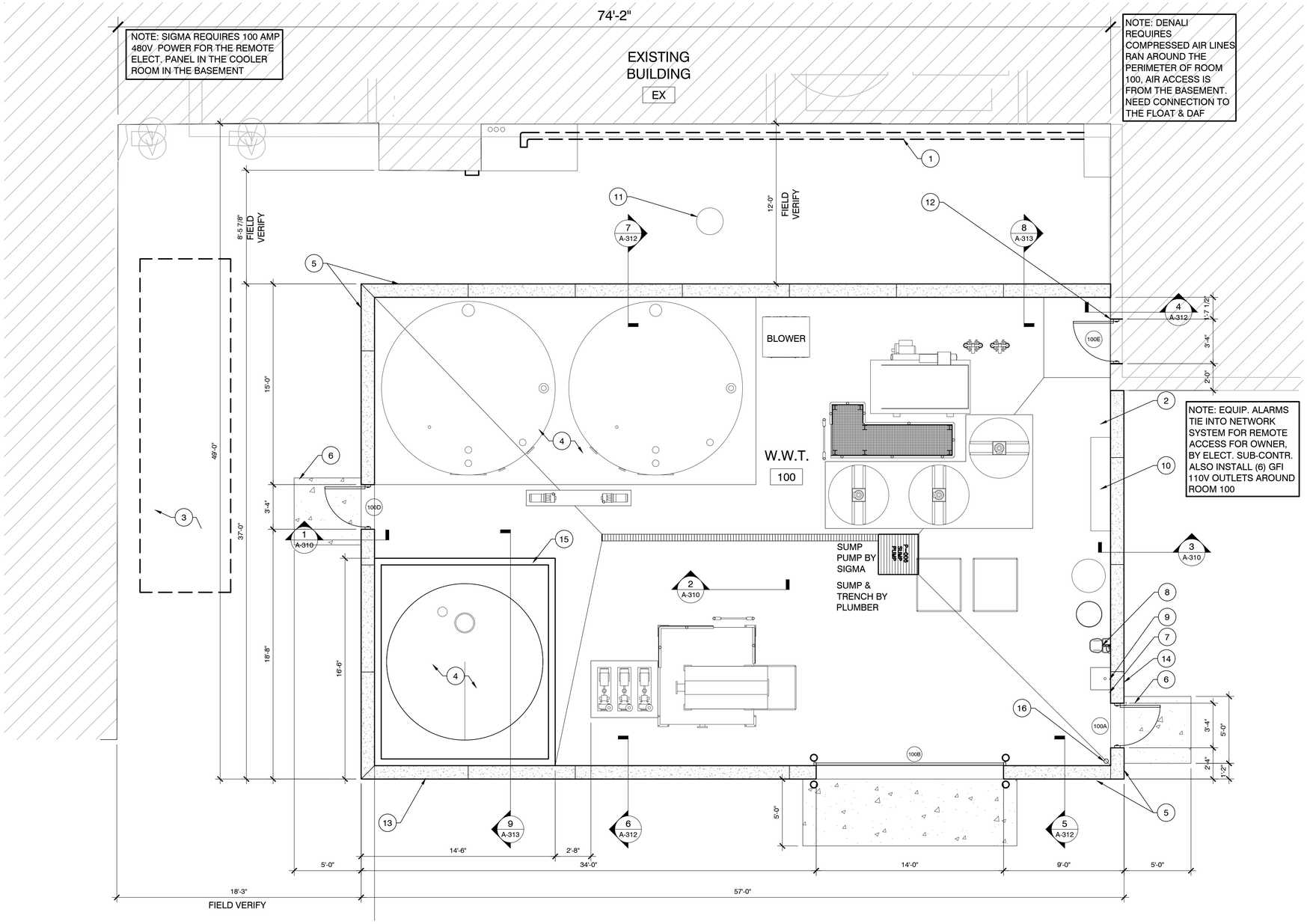
1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
3. SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
4. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
5. DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
6. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
7. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
8. PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
9. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
10. EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
11. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
12. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
13. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
14. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
15. REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
17. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
18. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

STORM DRAINAGE:

1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
4. REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
5. HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
6. CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
7. FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.
8. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
9. MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
10. SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
11. PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
12. CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
13. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
14. MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
15. CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.
16. AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)4 OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

EARTH MOVING:

1. ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
3. CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.
4. OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
5. FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.
6. SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER.
7. UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.
8. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.
9. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.
10. BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
11. DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.
12. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
13. PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
14. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.
15. SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
16. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.
17. PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER TIRED VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.
18. DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINTILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINTILES SHALL BE 0.5%.
19. CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.
20. ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIM



FLOOR PLAN NOTES

1. REMOVE OR RELOCATE EXISTING EXTERIOR PIPING; VERIFY WITH OWNER IF REQUIRED
2. 400 AMP ELECT. PANEL THIS LOCATION, PROVIDE A 400 AMP, 480V 3 PHASE POWER TO EQUIP. PANEL TO THE SOUTH
3. REMOVE EXISTING CONDENSOR FAN UNITS (BY DENALI) & CONCRETE SLAB (BY DEMO SUB)
4. REINFORCED THICKENED SLAB FOR TANKS; VERIFY THICKNESS AND LOCATION WITH STRUCTURAL ENGINEER AND FINAL EQUIPMENT LAYOUT.
5. 12" INSULATED GRAY PRECAST WALL PANLS; SEE ELEVATIONS FOR HEIGHT (PAINT WHITE)
6. FROST DEPTH CONCRETE STOOPS
7. RETRACTABLE HOT & COLD WATER HOSE REEL
8. EMERGENCY EYE & BODY WASH (60 & 80 DEGREES MAINTAINED)
9. SLOP SINK W/ H&C WATER HOSE BIB
10. W.W.T. ELECT. PANEL & LOW VOLTAGE PANEL AREA (SIZE T.B.D.)
11. STORM SEWER AREA DRAIN
12. DEMO CMU WALL FOR NEW PASSAGE DOOR & TOOTH IN JAMBS & CONC. HEADER
13. INSTALL THROUGH WALL PIPE FOR TANK DRAIN (HEIGHT & LOCATION T.B.D.) CABINET ON EXT. SIDE OF WALL TO BE LOCKABLE STAINLESS STEEL CABINET W/ DRIP CONTAINMENT (TYPE OF HOSE CONNECTION VERIFIED BY SIGMA EQUIP. SUPPLIER)
14. COLD WATER EXT. FROST FREE HOSE BIB
15. SEE SECTION 9/A-313 FOR THE 4 POURED CONC. WALLS OF THE SLUDGE TANK CONTAINMENT
16. ROOF CONDUCTOR

GENERAL NOTES:

25' HIGH INSIDE CLEAR DIMENSION AT EQUALIZATION TANKS (EXISTING BUILDING IS ONLY 20'-8"H, FIELD VERIFY)

NEW ROOFTOP HVAC UNIT; VERIFY SIZE, LOCATION, VENTING AND ACCESS.

VERIFY EXISTING ELECTRICAL SERVICE CAPACITY.

CONCRETE FLOOR PITCHED TO TRENCH DRAIN.

EXTEND EXISTING FIRE SPRINKLER SYSTEM INTO ADDITION; VERIFY.

PROVIDE WATER FOR HOSE BIBS EVERY 50', EYE WASH AND HANDSINK; LOCATIONS TBD.

ADD XYPEX TO CONC. MIX

DOOR AND FRAME SCHEDULE

	DOOR						FRAME								
		SIZE						DETAIL							
DOOR #	TYPE	PR WxH	MATERIAL	SWING	GLASS SIZE	FINISH	MATERIAL	JAMB	HEAD	FINISH	LABEL	REMARKS	Door Keying	Door Hardware	DOOR #
100A	FG 1A	3'-0" x 7'-0"	FIBERGLASS	Left		WHITE	FIBERGLASS	2"	2"	WHITE	--	--	--	ENTRY LOCK	100A
100B	M 3	14'-0" x 14'-0"	STND	NA		--	MASONRY	STND	STND	--	--	NOTE 2	--	--	100B
100D	FG 1A	3'-0" x 7'-0"	FIBERGLASS	Right		WHITE	FIBERGLASS	2"	2"	WHITE	--	--	--	ENTRY LOCK	100D
100E	FG 1A	3'-0" x 7'-0"	FIBERGLASS	Right		WHITE	FIBERGLASS	2"	2"	WHITE	2-HR	--	--	ENTRY LOCK	100E

DOOR SCHEDULE NOTES:
1. ALL HARDWARE TO BE STAINLESS STEEL.
2. DOOR TO HAVE OPERATOR.

MATERIAL LEGEND

MATERIAL CODE	DESCRIPTION	MANUFACTURER	STYLE	COLOR	SIZE	NOTES	CONTACT
EPX-1	EPOXY FLOORING AND BASE						
P-1	PAINT	--	EPOXY	--	--	DOORS AND DOOR FRAMES	--
P-2	PAINT (EPOXY)	--	EPOXY	--	--	INTERIOR ON CMU	--
P-3	PAINT (EXTERIOR)	--	--	--	--	EXTERIOR ON CMU	--
P-4	PAINT (DRYFALL)	--	EPOXY	--	--	CEILING	--

ROOM FINISH SCHEDULE

NOTE: TYPICAL DIRECTION FOR ROOM FINISH SCHEDULE IDENTIFICATION

ROOM NUMBER	ROOM NAME	FLOORING	BASE	CASEWORK		TRIM	WALLS (UPER / LOWER)				CEILING	KEYED NOTES
				CABINETS	COUNTERS		A	B	C	D		
100	W.W.T.	EPX-1	EPX-1	--	--	P-1	P-2	P-2	P-2	P-2	P-4	--

1 FLOOR PLAN 1/4"= 1'-0"

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PHONE: 262-367-3661

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PROJECT ADDRESS:

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STREET ADDRESS
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CITY/ STATE / ZIP
NEW BERLIN WI 53151

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: AMH
Engineer: --
Reviewed By: --

Sheet Title:
FLOOR PLAN

Sheet Number:
A-100

Project Number: --
P13485

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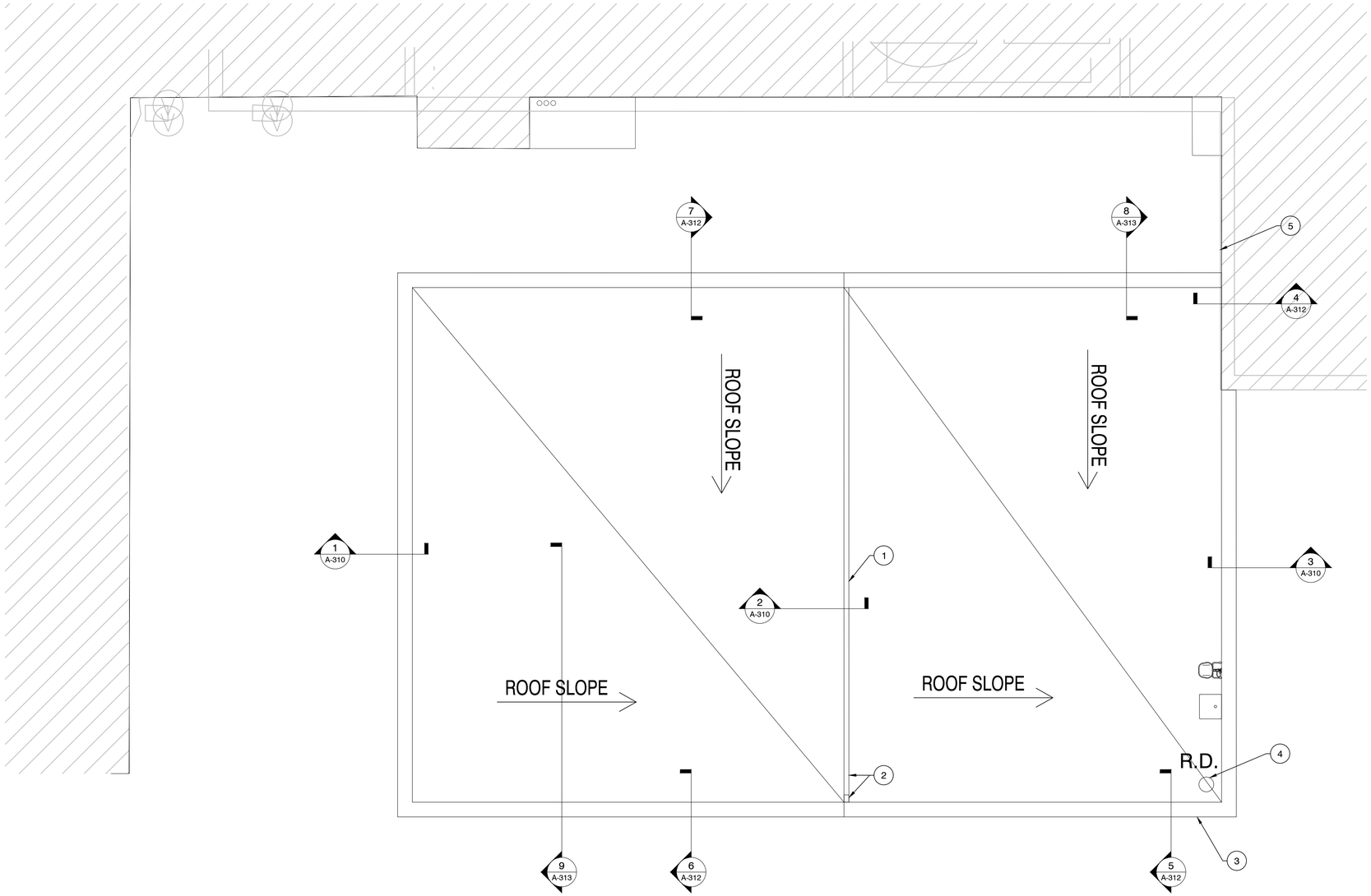

ROOF PLAN NOTES

1. PREFINSHED INSUL. METAL PANEL WALL FROM LOWER ROOF TO UPPER ROOF
2. GUTTER WITH DOWNSPOUT TO LOWER ROOF W/ CONC. SPLASH BLOCK
3. THRU-WALL SCUPPER
4. ROOF DRAIN CONNECTED INTERNALLY TO STORM; VERIFY LOCATION.

GENERAL NOTES:

25' HIGH INSIDE CLEAR DIMENSION AT EQUALIZATION TANKS (EXISTING BUILDING IS ONLY 20'-8"H, FIELD VERIFY)

NEW ROOFTOP HVAC UNIT; VERIFY SIZE, LOCATION, VENTING AND ACCESS.

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Architect:	Engineer:	Reviewed By:
AMH	--	--

Sheet Title:
ROOF PLAN

Sheet Number:
A-110

Project Number: --
P13485

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1 ROOF PLAN 1/4"= 1'-0"

EXISTING STREET VIEW FROM CALHOUN RD

EXISTING VIEW FROM ENTRY OFF OF CALHOUN RD

PROPOSED ENTRY VIEW W/ NEW ADDITION

EXISTING VIEWS AND PROPOSED EXTERIOR RENDERING NOT TO SCALE

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Architect:	Engineer:	Reviewed By:
AMH	--	--

Sheet Title:
EXTERIOR RENDERING

Sheet Number:
A-200

Project Number: --
P13485

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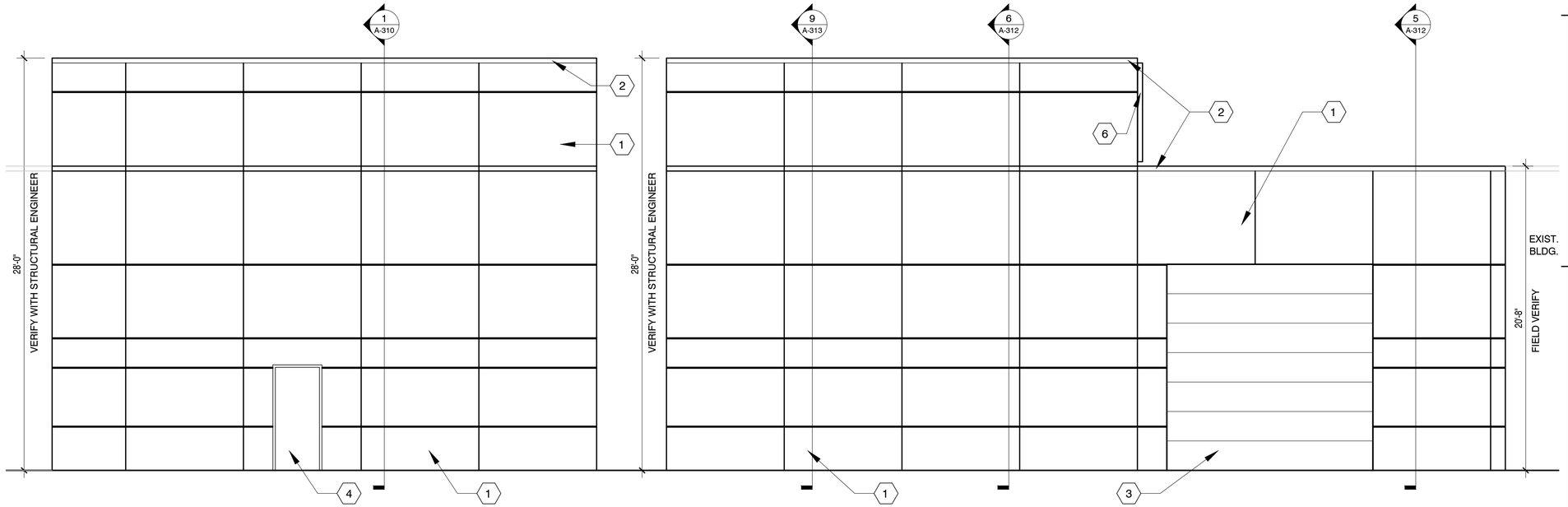
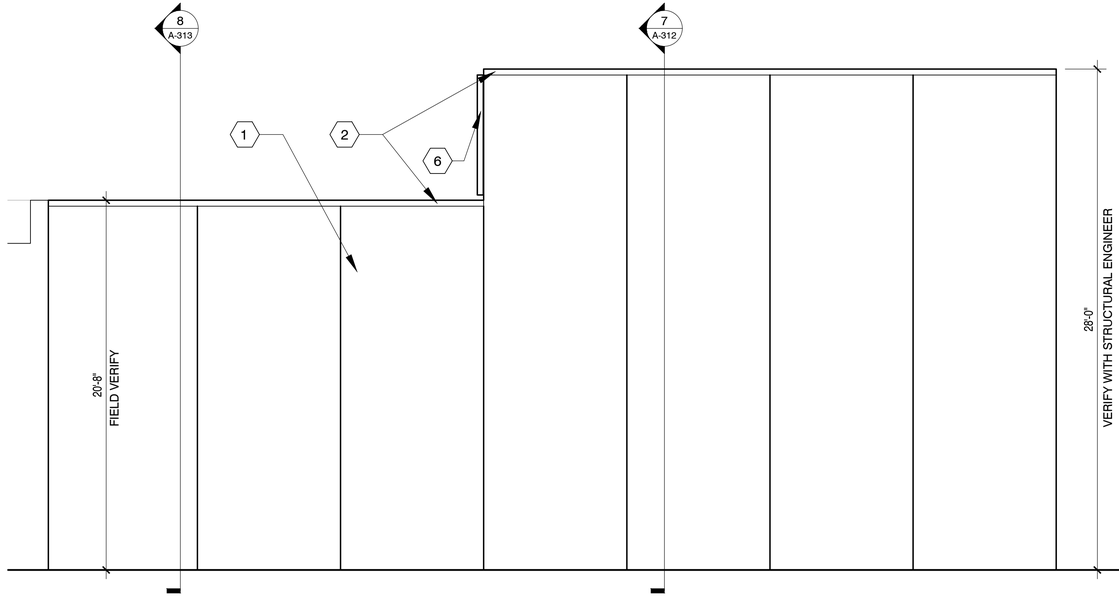
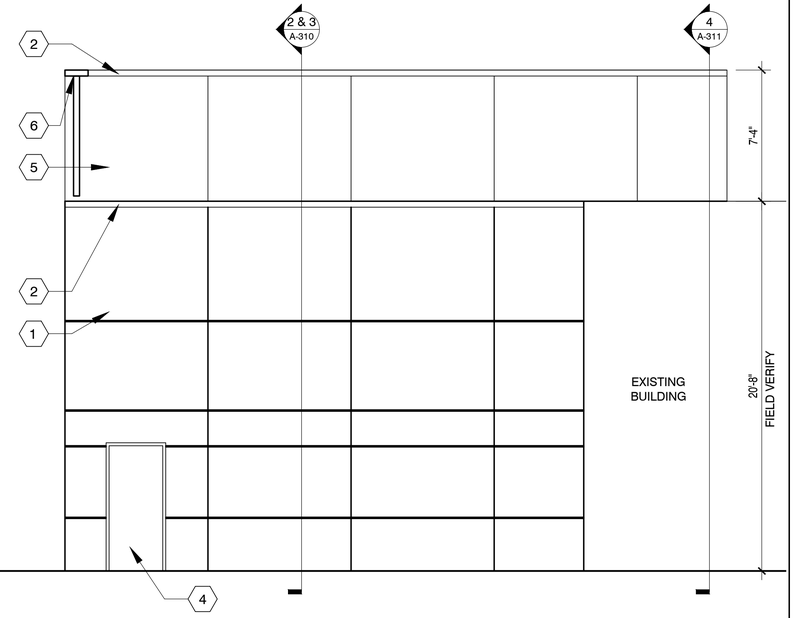


WEST ELEVATION

SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

EXTERIOR MATERIAL KEY NOTES

1. PAINTED PRECAST WALL PANEL; COLOR: WHITE
2. PRE-FINISHED METAL COPING (MATCH EXIST.)
3. METAL INSULATED OVERHEAD DOOR; COLOR: WHITE
4. FIBERGLASS DOOR AND FRAME, PAINT TO MATCH WALL PANEL
5. PREFINISHED WHITE INSUL. METAL WALL PANEL
6. PERFINISHED METAL SCUPPER & DOWNSPOUT

ELEVATIONS 1/4" = 1'-0"

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CITY/ STATE / ZIP
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Architect:	Engineer:	Reviewed By:
AMH	--	--

Sheet Title:
EXTERIOR ELEVATIONS

Sheet Number:
A-201

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